



CITY OF DALLAS
CITY PLAN COMMISSION
Thursday, November 30, 2017
AGENDA

BRIEFINGS:	5ES	10:00 a.m.
PUBLIC HEARING:	Council Chambers	1:30 p.m.

*The City Plan Commission may be briefed on any item on the agenda if it becomes necessary.

David Cossum, Director
Neva Dean, Assistant Director of Current Planning

BRIEFINGS:

DCA 145-002 - Consideration of amending Chapter 51A of the Dallas Development Code, Article X Landscape and Tree Preservation regulations

Phil Erwin, Chief Arborist
Donna Moorman, Chief Planner

Subdivision Docket
Zoning Docket

ACTION ITEMS:

Subdivision Docket

Planner: Paul Nelson

(1) **S178-016**
(CC District 14)

An application to replat a 14.272-acre tract of land containing all of Lots 1B and 2B in City Block C/5188, all of Lot 1 in City Block D/5188, and all of City Block 5188 to create one lot on property bounded by Milton Street, Greenville Avenue and University Boulevard.

Applicant/Owner: US Energy Square, LLC and US Meadows, LLC

Surveyor: Tetra Surveys

Application Filed: November 1, 2017

Zoning: MU-3 and CS

Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

- (2) **S178-017**
(CC District 2)
- An application to replat a 1.519-acre tract of land containing all of Lots 2 through 7 in City of Block A/2365 to create a 30-lot shared access area development with lots ranging in size from 0.04-acre to 0.091-acre on property located on Lovedale Avenue at Rural Avenue, south corner.
- Applicant/Owner: Lovedale II, LTD
Surveyor: Texas Heritage
Application Filed: November 1, 2017
Zoning: MF-2(A)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (3) **S178-018**
(CC District 2)
- An application to replat a 1.188-acre tract of land containing all of Lot 5 in City Block A/5719 and part of abandoned Collville Avenue to create one lot on property located on Mockingbird Lane at Collville Avenue, south corner.
- Applicant/Owner: Mockingbird Partners, L.P.
Surveyor: Raymond L. Goodson JR., Inc.
Application Filed: November 1, 2017
Zoning: IR
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (4) **S178-019**
(CC District 6)
- An application to replat a 2.38-acre tract of land containing all of Lots 4 through 8 and part of Lot 9 in City Block C/7705 to create one lot on property located on Top Line Drive north of Black Gold Drive, northwest corner.
- Owners: Mestek, Inc.
Surveyor: Halff Associates, Inc.
Application Filed: November 1, 2017
Zoning: IR
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (5) **S178-021**
(CC District 2)
- An application to replat a 3.241-acre tract of land containing all of Lot 1 in City Block A/116 and a requested abandoned of a portion of St. Paul Street to create one lot on property bounded by Ervay Street, Griffin Street, and St. Paul Street.
- Applicant/Owner: Ambassador Hotel Partners, LP
Surveyor: Stantec Consulting Services, Inc.
Application Filed: November 1, 2017
Zoning: PD 317 (Subdistrict 2)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

- (6) **S178-023**
(CC District 13) An application to create one 4.631-acre lot from a tract of land in City Block 6388 on property located on Northaven Road east of Quincy Lane.
Applicant/Owner: Oncor Electric Delivery Company
Surveyor: Halff Associates, Inc.
Application Filed: November 2, 2017
Zoning: R-16(A)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (7) **S178-024**
(CC District 2) An application to replat a 1.241-acre tract of land containing all of Lots 1B and Lots 6 through 8 in City Block 6/2289 to create one lot on property located on Maple Avenue at Kings Road, west corner.
Owners: Quintanilla Technologies, Inc.
Surveyor: Raymond L. Goodson JR., Inc.
Application Filed: November 2, 2017
Zoning: PD 193 (GR)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (8) **S178-025**
(CC District 2) An application to replat a 30.783-acre tract of land containing City Block B/2368 and abandoned Log Cabin Avenue and Fielder Court to create two lots on property located on Mockingbird Lane between Forest Park and Maple Avenue.
Applicant/Owner: Board of Regents of the University of Texas System
Surveyor: Raymond L. Goodson JR., Inc.
Application Filed: November 1, 2017
Zoning: MU-2
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (9) **S178-027**
(CC District 2) An application to replat a 0.344-acre tract of land containing all of Lots 15 and 16 in City Block 2/1335 to create an 8-lot shared access area development on property located on Reagan Street northeast of Brown Street.
Applicant/Owner: JL Highgate Homes, LLC / Robert D. Dildine
Surveyor: CBG Surveying, Inc.
Application Filed: November 2, 2017
Zoning: PD 193 (MF-2)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

- (10) **S178-028**
(CC District 6) An application to replat a 0.656-acre tract of land containing all of Lots 5 and 6 in City Block 4004 to create a 16-lot Shared Access Development with two common areas on property located on Commerce Street at Topeka Avenue, northwest corner.
Owners: Fuller Land Company, LP
Surveyor: Kadleck & Associates
Application filed: November 3, 2017
Zoning: PD 714, Sub-district 1B
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (11) **S178-029**
(CC District 6) An application to replat a 2.273-acre tract of land containing all of Lots 1 through 8 and 12 through 16 in City Block B/7240 and part of an abandoned 15-foot-wide alley to create one lot on property located on West Commerce Street between Brunderett Street and Pollard Street.
Owners: Listocon Group, LLC
Surveyor: Peiser & Mankin Surveying Inc.
Application Filed: November 3, 2017
Zoning: IR
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (12) **S178-030**
(CC District 8) An application to replat a 0.826-acre tract of land containing part of City Block 7554 to create one lot on property located on Hampton Road, north of Cliff Creek Crossing.
Owners: Hampton/I20, Ltd.
Surveyor: A&W Surveyors, Inc.
Application filed: November 3, 2017
Zoning: CR
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (13) **S178-031**
(CC District 6) An application to create one 2.5054-acre lot from a tract of land containing part of City Blocks 8467, 8469, and 8470 on property fronting on Ranch Trail, east of Chaparal Waters Way.
Owners: Billingsley Company
Surveyor: Kimley-Horn & Associates, Inc.
Application Filed: November 2, 2017
Zoning: PD 741 (Subarea A)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

- (14) **S178-033**
(CC District 2)
- An application to replat a 1.923-acre tract of land containing Lots 1 through 4, and Lots 7 through 12 and part of two alleys in City Block I/660 to create one lot on property bounded by Cabell Drive, Carroll Avenue, Lafayette Street, and Ashby Street.
Applicant/Owner: AHC Development Dallas I, LLC, and AHC Development Prairie Carrol, LLC
Surveyor: O'Neal Surveying Co.
Application Filed: November 3, 2017
Zoning: MF-2(A)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

Building Line Removal:

- (15) **S178-026**
(CC District 6)
- An application to replat a 1.795-acre tract of land containing part of City Block 45/7940 to create one lot and to remove existing 50 feet platted building lines along Mockingbird Lane and existing 100 feet platted building lines along Ambassador Row on property located on Mockingbird Lane at Ambassador Row, north corner.
Applicant/Owner: Racetrack Petroleum, Inc./Group 701, LLC
Surveyor: Spiars Engineering
Application Filed: November 3, 2017
Zoning: IR
Staff Recommendation: **Denial** of the building line removals; and **approval** of the creation of one lot, subject to compliance with the conditions listed in the docket.

Residential Replat:

- (16) **S178-020**
(CC District 11)
- An application to replat a 0.6865-acre tract of land containing all of Lots 42 and 43 in City Block 12/8209 to reduce the lot area of Lot 43 and to increase the lot area of Lot 42 with both lots lying within City Block 12/8209 on property located at 5501 Prestwick Lane and 5506 Prestwick Lane, south of Wortham Lane.
Applicant/Owner: Ron & Nancy Natinsky, Larry & Kathy Adams
Surveyor: Stantec Consulting Services, Inc.
Application Filed: November 1, 2017
Zoning: TH -2(A)
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

Miscellaneous Items:

M167-048

Pamela Daniel
(CC District 5)

An application for a minor amendment to the site plan for Specific Use Permit No. 2184 for a mini-warehouse use on property zoned a CR-D Community Retail District with a D Liquor Control Overlay, on the south side of Lake June Road, west of St. Augustine Drive.

Staff Recommendation: **Approval**

Applicant: 9500 Lake June, LLC

Representative: Roger Albright

Certificates of Appropriateness for Signs - Under Advisement:

Downtown Special Purpose District - General Central Business District:

1705150026

Sharon Hurd
(CC District 2)

An application for a Certificate of Appropriateness by Gary McMillen of Environmental Signage Solutions, Inc. for a 700-square-foot upper level attached sign at 400 S. Record Street (east elevation).

Staff Recommendation: **Approval**

Special Sign District Advisory Committee Recommendation:
Approval

Applicant: Gary McMillen, Environmental Signage Solutions, Inc.

Tenant/Owner: City Electric Supply/CES Holdings, Inc.

U/A From: July 20, 2017; August 3, 2017; August 17, 2017; September 7, 2017; September 28, 2017; and, October 19, 2017.

1706190012

Sharon Hurd
(CC District 2)

An application for a Certificate of Appropriateness by Gary McMillen of Environmental Signage Solutions, Inc. for a 313-square-foot upper level attached sign at 400 S. Record Street (south elevation).

Staff Recommendation: **Approval**

Special Sign District Advisory Committee Recommendation:
Approval

Applicant: Gary McMillen, Environmental Signage Solutions, Inc.

Tenant/Owner: City Electric Supply/CES Holdings, Inc.

U/A From: August 17, 2017; September 7, 2017; September 28, 2017; and, October 19, 2017.

1706190013

Sharon Hurd
(CC District 2)

An application for a Certificate of Appropriateness by Gary McMillen of Environmental Signage Solutions, Inc. for a 313-square-foot upper level attached sign at 400 S. Record Street (north elevation).

Staff Recommendation: **Approval**

Special Sign District Advisory Committee Recommendation:
Approval

Applicant: Gary McMillen, Environmental Signage Solutions, Inc.

Tenant/Owner: City Electric Supply/CES Holdings, Inc.

U/A From: August 17, 2017; September 7, 2017; September 28, 2017; and, October 19, 2017

Zoning Cases – Consent:

1. **Z167-330(PD)**
Pamela Daniel
(CC District 8)
An application for a Specific Use Permit for a hotel or motel use on property zoned a CR-D-1 Community Retail District with a D-1 Liquor Control Overlay, on the south side of Great Trinity Forest Way, west of North Jim Miller Road.
Staff Recommendation: **Approval** for a one-year period, subject to a site plan and conditions.
Applicant: Juneja Hospitality Holdings, LLS
Representative: Parvez Malik
2. **Z167-391(PD)**
Pamela Daniel
(CC District 3)
An application for an MF-2(A) Multifamily District on property zoned a CR Community Retail District, on the south line of West Illinois Avenue, between Duncanville Road and Knoxville Street.
Staff Recommendation: **Approval**
Applicant: CCA Investments Inc.
Representative: Elsie Thurman
3. **Z167-398(JM)**
Jennifer Muñoz
(CC District 14)
An application for the renewal and amendment of Specific Use Permit No. 2127 for a restaurant without drive-in or drive-through service on property zoned Subdistrict B within Planned Development District No. 619 with Historic Overlay No. 87, on the north side of Main Street, east of North Field Street.
Staff Recommendation: **Approval** for a three-year period, subject to a site plan and conditions.
Applicant: William Katz
Representative: Nick Galen
4. **Z167-399(JM)**
Jennifer Muñoz
(CC District 8)
An application for a Specific Use Permit for a vehicle display, sales, and service use on property zoned Subdistrict 1 within Planned Development District No. 535, the C.F. Hawn Special Purpose District No. 3, with a D-1 Liquor Control Overlay, on the southwest corner of the C.F. Hawn Service Road and Ellenwood Drive.
Staff Recommendation: **Approval** for a three-year period, subject to a site plan, landscape plan and conditions.
Applicant: Luisa Jimenez % Gueros Auto Shop
5. **Z167-234(WE)**
Warren Ellis
(CC District 6)
An application for an amendment to, and an expansion of, Specific Use Permit No. 1718 for tower/antenna for cellular communication on property zoned a CR Community Retail District with a D Liquor Control Overlay and existing deed restrictions [Z801-138] on a portion, on the west line of Midway Road and the north line of West Northwest Highway.
Staff Recommendation: **Approval** for a ten-year period with eligibility for automatic renewals for additional ten-year periods, subject to a revised site plan, elevation plan and conditions.
Applicant: Danial Nutt [AT&T]
Representative: Jeremy Baldwin

6. **Z167-383(WE)**
Warren Ellis
(CC District 8)
An application for a CS-D-1 Commercial Service District with a D-1 Liquor Control Overlay on property zoned an IR-D-1 Industrial Research District with a D-1 Liquor Control Overlay, on the northwest line of South Belt Line Road, southwest of Kleberg Road.
Staff Recommendation: **Approval**
Applicant: Vaquero Ventiuures
Representative: Doak Raulston
7. **Z167-403(WE)**
Warren Ellis
(CC District 9)
An application for a Specific Use Permit for a child-care facility on property zoned an R-7.5(A) Single Family District, on the south corner of Ferguson Road and Drummond Drive.
Staff Recommendation: **Approval** for a five-year period with eligibility for automatic renewals for additional five-year periods, subject to a site plan and conditions.
Applicant: Mi Escuelita
Representative: Robert Baldwin, Baldwin Associates, Inc.

Zoning Cases – Under Advisement:

8. **Z145-337(MD/RB)**
Mark Doty
Neva Dean
(CC District 14)
An application for the creation of a new subarea and amendments to the preservation criteria within Area A in Planned Development District No. 63 with Historic Overlay No. 1 with consideration given to a Specific Use Permit for an extended-hours historic house museum and meeting space use on property at the southeast corner of Swiss Avenue and Parkmont Street.
Staff Recommendation: **Approval** of the creation of the new subarea, subject to a development plan and staff's recommended conditions, and **approval** of a Specific Use Permit for an extended-hours historic house museum and meeting space use for a two-year period, subject to a site plan and staff's recommended conditions; and **approval** of an amendment to the H/1 Historic Overlay, subject to preservation criteria.
Applicant: Dallas County Medical Society Alliance Foundation
Representative: Rob Baldwin
Bus Tour Date: December 17, 2015
U/A From: October 19, 2017 and November 9, 2017
9. **Z167-259(WE)**
Warren Ellis
(CC District 10)
An application for the renewal of Specific Use Permit No. 1548 for an open-enrollment charter school on property zoned an IR Industrial Research District on the west and north side of Forestgate Drive, north of Forest Lane.
Staff Recommendation: **Approval** for a five-year period with eligibility for automatic renewals for additional five-year periods, subject to a revised site plan, revised traffic management plan, and conditions.
Applicant: Harmony Public Schools
Representative: Karl Crawley, Masterplan
U/A From: November 16, 2017

10. **Z167-379(WE)**
Warren Ellis
(CC District 2)
- An application for an amendment to Planned Development Subdistrict No. 119 for Multiple-Family Subdistrict uses within Planned Development District No. 193, the Oak Lawn Special Purpose District, on the southwest line of Cedar Springs Road, between Lucas Drive and Hawthorne Avenue.
Staff Recommendation: **Approval**, subject to a development plan and conditions.
Applicant: Urban Loft Partners, Inc.
Representative: Karl Crawley, MASTERPLAN
U/A From: November 16, 2017

Zoning Cases – Individual:

11. **Z167-381(WE)**
Warren Ellis
(CC District 8)
- An application for a CR Community Retail District with a D-1 Liquor Control Overlay on a portion and a Specific Use Permit for a mini-warehouse use on property zoned an R-10(A) Single Family District and NS(A) D-1 Neighborhood Service District with a D-1 Liquor Control Overlay on a portion on the north corner of South Belt Line Road and Garden Grove Drive.
Staff Recommendation: **Denial**
Applicant: Golden Star Holdings, LLC, Aziz Jiwani, Manager
Representative: Roger Albright
12. **Z167-370(SM)**
Sarah May
(CC District 6)
- An application for the renewal of Specific Use Permit No. 2104 for an alcoholic beverage establishment, limited to a bar, lounge, or tavern, on property zoned an MU-3 Mixed Use District, on the southwest corner of Harry Hines Boulevard and Willowbrook Road.
Staff Recommendation: **Denial**
Applicant: Bhagat Holdings, Ltd.
Representative: Talim Song Law Firm
13. **Z167-371(SM)**
Sarah May
(CC District 6)
- An application for the renewal of Specific Use Permit No. 2105 for an alcoholic beverage establishment, limited to a bar, lounge, or tavern, on property zoned an MU-3 Mixed Use District, on the southwest corner of Harry Hines Boulevard and Willowbrook Road.
Staff Recommendation: **Approval** for a two-year period, subject to staff's recommended conditions.
Applicant: Bhagat Holdings, Ltd.
Representative: Talim Song Law Firm
14. **Z167-338(JM)**
Jennifer Muñoz
(CC District 13)
- An application for an amendment to, and an expansion of, the Subarea D portion on property zoned Subareas C and D within Planned Development District No. 745, on the east side of Manderville Lane, north and south of Midtown Boulevard.
Staff Recommendation: **Denial**
Applicant: The Legacy Senior Communities, LLC; Freedom Hospitality LLC; and, Brazos Texas Land Development LLC
Representative: Baldwin Associates, Rob Baldwin

15. **Z167-400(JM)**
Jennifer Muñoz
(CC District 2)
- An application for a Planned Development Subdistrict for GR General Retail Subdistrict uses and auto painting or body rebuilding shop (inside) use by right, and an accessory motor vehicle storage outside use on property zoned a GR General Retail Subdistrict within Planned Development District No. 193, the Oak Lawn Special Purpose District, on the northeast corner of Maple Avenue and Vagas Street.
- Staff Recommendation: **Denial**
- Applicant/Representative: Santos Martinez, Masterplan

Development Code Amendment – Public Hearing:

- DCA 145-002**
Donna Moorman
- Public Hearing to receive comments on proposed amendments to Article X, the Landscape and Tree Preservation regulations in Chapter 51A of the Dallas Development Code.

Other Matters:

Minutes: November 16, 2017

Adjournment

CITY PLAN COMMISSION PUBLIC COMMITTEE MEETINGS

Thursday, November 30, 2017

ZONING ORDINANCE ADVISORY COMMITTEE (ZOAC) MEETING - Thursday, November 30, City Hall, 1500 Marilla Street, in Room 5ES, at 9:00 a.m., to consider (1) **DCA 178-006** - Consideration of amending Chapter 51A to clarify language regarding handicapped parking regulations, which panels must hear board of adjustment cases, number of duplicate applications required for remote parking procedures and sign permits, and instances where “director of parks and regulation” should be amended to “building official.”

Note: The official Committee Agendas will be posted in the City Secretary’s Office and City Website at www.ci.dallas.tx.us/cso/boardcal.shtml. Please review the official agenda for items for consideration.

EXECUTIVE SESSION NOTICE

The Commission may hold a closed executive session regarding any item on this agenda when:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the Commission/Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex. Govt. Code §551.086]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critical infrastructure, or security devices. [Tex. Govt. Code §551.089]

CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-016**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Milton Street, Greenville Avenue, and University Boulevard**DATE FILED:** November 1, 2017**ZONING:** MU-3 & CS**CITY COUNCIL DISTRICT:**14 **SIZE OF REQUEST:** 14.272-Acres **MAPSCO:**36A& 36B**APPLICANT/OWNER:** US Energy Square, LLC and US Meadows, LLC

REQUEST An application to replat a 14.272-acre tract of land containing all of Lots 1B and 2B in City Block C/5188, all of Lot 1 in City Block D/5188, and all of City Block 5188 to create one lot on property bounded by Milton Street, Greenville Avenue, and University Boulevard.

SUBDIVISION HISTORY:

1. S134-250 was a request east of the present request to create one 0.3269-acre lot from a tract of land in City Block 5402 on property located at 4830 Greenville Avenue. The request was approved October 2, 2014 and has not been recorded.
2. S134-054 was a request east of the present request to create a 0.535-acre lot from a tract of land in City Block C/5402 on property located at 4924 Greenville Avenue. The request was approved January 23, 2014 and was recorded October 3, 2014.
3. S123-212 was a request southwest of the present request to replat a 1.4801-acre lot containing all of Lots 4 through 9 and part of Lot 10 in City Block C/5187 into one 1.090-acre lot and one 0.390-acre lot on property located on Dyer Street east of North Central Expressway. The request was approved August 8, 2013 and was recorded September 20, 2017.

STAFF RECOMMENDATION: The request complies with the requirements of the MU-3 Mixed Use District and CS Commercial Service Districts; therefore, staff recommends approval of the request subject to compliance with the following conditions:

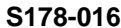
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.

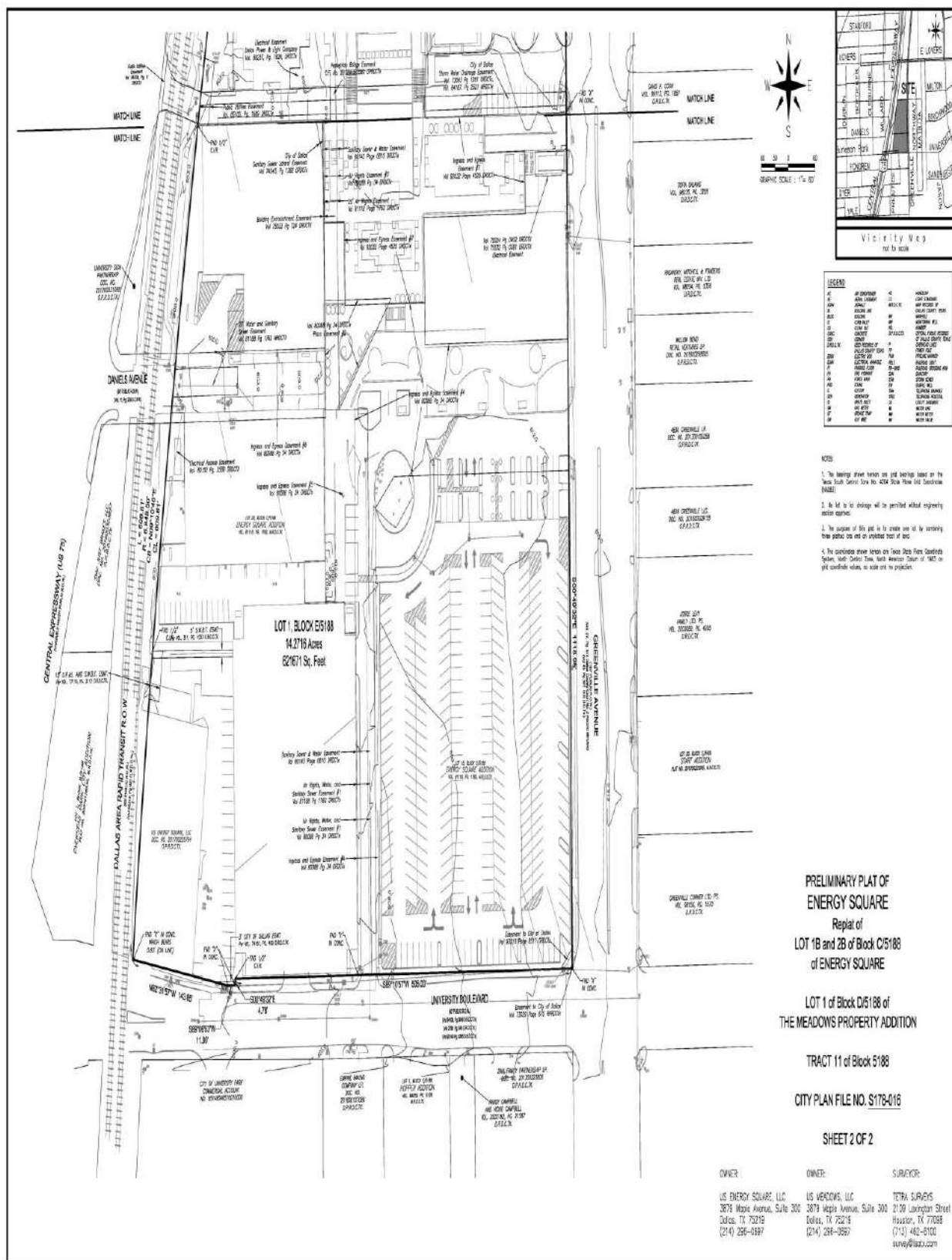
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
14. On the final plat, dedicate a 15-foot by 15-foot corner clip at the intersection of Milton Street & Greenville Avenue. Section 51A 8.602(d) (1).
15. On the final plat, dedicate a 20-foot by 20-foot corner clip at the intersection of E. University Boulevard & Greenville Avenue. Section 51A 8.602(d) (1).
16. On the final plat, show the correct recording information for the subject property. Platting Guidelines.
17. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a) (1) (A) (xxii).
18. On the final plat, show distances/width across all adjoining right-of-way. Platting Guidelines.

19. On the final plat, show recording information on all existing easements within 150 feet of the property.
20. On the final plat, list utility easements as retained within street abandonments when stated in the abandonment ordinance, or follow the City of Dallas standard affidavit requirements.
21. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
22. On the final plat, show or list the prior plat on the map, in the legal description, and/or title block. Platting Guidelines.
23. On the final plat, choose a new or different addition name. Platting Guidelines.
24. On the final plat, show two control monuments. Section 51A-8.617.
25. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
26. Water and wastewater main improvements may be required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
27. Existing and any proposed water and wastewater easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utilities (DWU) easement size is 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
28. On the final plat, change "Central Expressway (US 75)" to "N. Central Expressway/ U.S. Highway 75" on both sheets. Section 51A-8.403(a)(1)(A)(xii)
29. On the final plat, identify the property as Lot 1C in City Block C/5188. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).









CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-017**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Lovedale Avenue at Rural Avenue, south corner**DATE FILED:** November 1, 2017**ZONING:** MF-2(A)**CITY COUNCIL DISTRICT:** 2 **SIZE OF REQUEST:** 1.519-Acres**MAPSCO:**33R**APPLICANT/OWNER:** Lovedale II, LTD

REQUEST An application to replat a 1.519-acre tract of land containing all of Lots 2 through 7 in City of Block A/2365 to create a 30-lot shared access area development with lots ranging in size from 0.04-acre to 0.091-acre on a property located on Lovedale Avenue at Rural Avenue, south corner.

SUBDIVISION HISTORY:

1. S167-183 was a request northeast of the present request to replat a 1.162-acre tract of land containing part of Lot 8 and all of Lots 9 through 12 in City Block E/2365 to create a 24 lot Shared Access Development on property located at 2227 and 2231 Lovedale Avenue, north of Rural Avenue. The request was approved June 8, 2017 and has not been recorded.
2. S167-156 was a request northeast of the present request to replat a 0.355-acre tract of land containing all of Lot 7 and part of Lot 8 in City Block E/2365 to create one lot on property located on Lovedale Avenue southwest of Mohawk Street. The request was approved April 27, 2017 and has not been recorded.
3. S167-117 was a request southeast of the present request to replat a 0.810-acre tract of land containing part of Lot 6 and a tract of land in City Block A/6228 to create one lot on property located at 1939 South Buckner Boulevard, south of Huttig Street. The request was approved June 8, 2017 and has not been recorded.
4. S134-062 was a request southwest of the present request to replat a 0.9083-acre lot containing all of Lots 12, 13 and 14 in City Block A/2365 on property located at the northeast corner of Harry Hines Boulevard and Lovedale Avenue. The request was approved February 6, 2014 and has not been recorded.

STAFF RECOMMENDATION: The request complies with the requirements of the MF-2(A) Multifamily District; therefore, staff recommends approval subject to compliance with the following conditions:

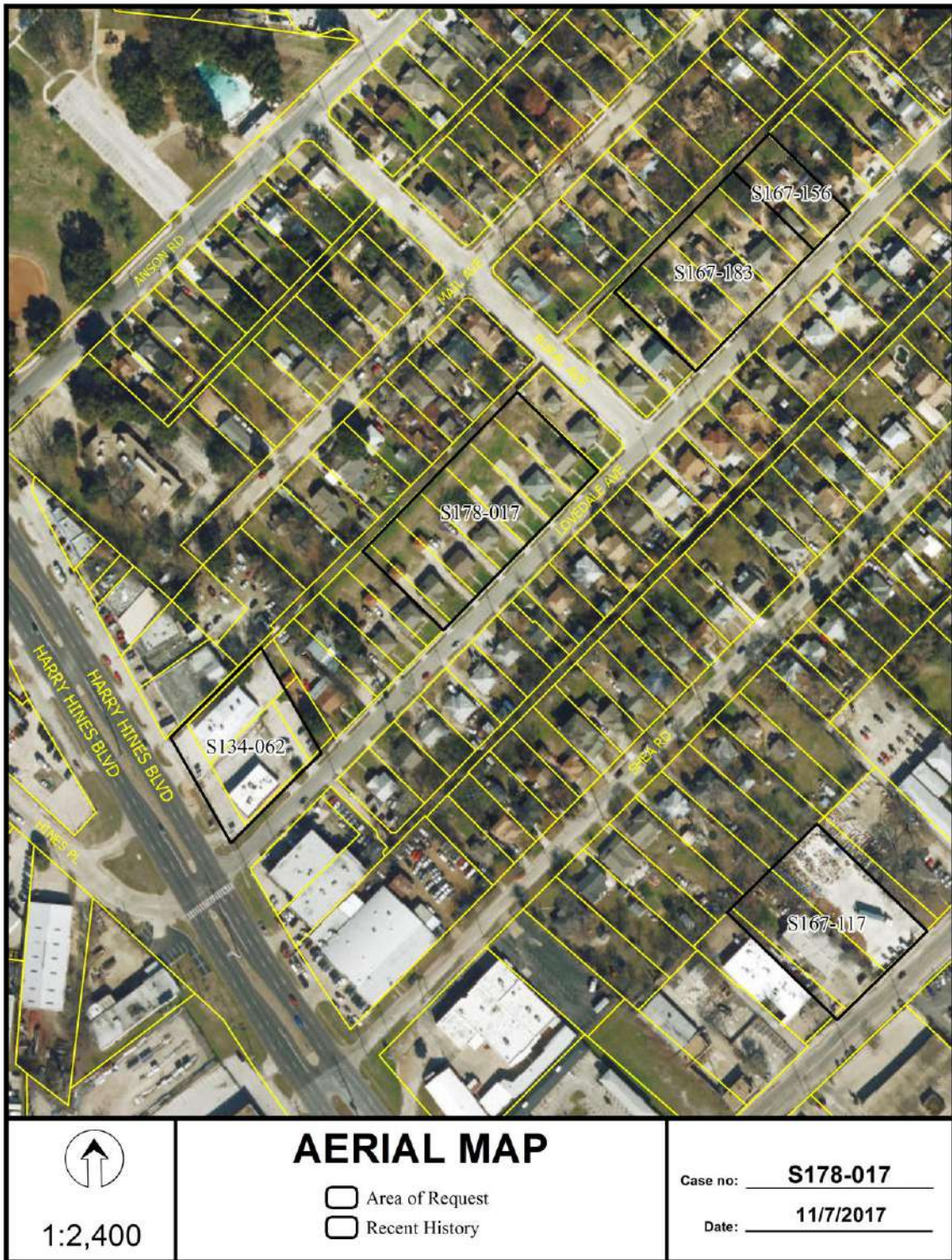
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying

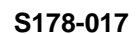
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. The number of lots permitted by this plat is 30.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
14. On the final plat, dedicate 28 feet of right-of-way from the established centerline of Lovedale Avenue. Sections 51A-8.602(c), 51A-8.604(c) and 51A-8.611(e).
15. Provide guest parking at a rate of 0.25 spaces per dwelling unit with adequate maneuverability per the Shared Access Development requirements.

16. On the final plat, all access easement(s) must be recorded by separate instrument(s) and the recording information must be shown on the final plat. Platting Guidelines.
17. Engineer shall furnish plans for water and sanitary sewer. Developer must furnish a contract for water and sanitary sewer. Sections 49-60(g)(1) and (2) and 49-62(b), (c), and (f)
18. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
19. Water and wastewater main improvements are required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
20. Shared access developments must comply with DWU standards for water and wastewater construction and design. Section 49-60(d), section 49-61(5)(B) and Development design procedure and policy manual section 6.2
21. There must be no more than 2 access area points, each limited to serve no more than 18 dwelling units. Section 51A-4.411(d) (10)
22. The shared access area easement must be a minimum of 20 feet wide and contain a minimum paving width of 16 feet. Section 51A-411(d) (7).
23. A water and wastewater easement at least 12 feet wide to be used exclusively for public water and wastewater below grade must be provided within the shared access area easement & labeled on the plat. Section 51A-4.411(d) (2) and Sections 49-60(d), 49-61(c) (5) (B), and Development Design Procedure and Policy Manual Section 6.2.
24. No building permit may be issued to authorize work in the shared access area development until the final plat and the Shared Access Area Agreement have been recorded in the real property records of Dallas County, and the recording information has been placed on the face of the plat, and all other requirements of the shared access area have been met. Section 51A-4.411(c)(3)
25. Prior to submittal of the final plat, the Shared Access Development must meet all the requirements of Section 51A-4.411. Section 51A-4.411(c)
26. The recording information of the “Shared Access Area Agreement” must be placed on the final plat prior to being submitted to the City Plan Commission Chairman for signature. The Shared Access Area Agreement shall include a metes and bounds description of the shared access area as part of an attachment to the document. Section 51A-4.411(e)

27. For frontage purposes and determining building setback lines only, all the property in this shared access development is considered to be one lot. Section 51A-4.411(f)(2)
28. Regardless of the minimum front yard setback of the applicable zoning district, the minimum front yard setback must be at least 20 feet from the right-of-way line of a street or alley if the parking space for the lot(s) is in an enclosed structure and if the space faces upon or can be entered directly from the street or alley. Section 51A-4.411(f)(2)
29. Include the words "Shared Access Development" in the title block of the final plat. Platting Guidelines
30. Place a note on the final plat stating: "No vehicular access is permitted to adjacent property outside the platted property from the shared access area except to a public or City Council approved private street." Section 51A-4.411(d) (3), and 51A-4.411(d) (10).
31. If a guard house is provided, it must be at least 30 feet from the shared access point. Section 51A-4.411(d) (8).
32. The Shared Access Area Easement must be terminated a minimum of three feet from the adjacent property or right-of-way. Section 51A-8.618(b).
33. Prior to final plat, contact the street name coordinator for help determine acceptable names for the new mutual access drives. Section 51A-8.403(a)(1)(A)(xiv), Section 51A-8.506(e)
34. On the final plat, identify the property as Lots 2A through 2F, Lots 3A through 3F, Lots 4A through 4F, Lots 5A through 5F, and Lots 6A through 6F in City Block A/2365. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-018**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Mockingbird Lane at Collville Avenue, south corner**DATE FILED:** November 1, 2017**ZONING:** IR**CITY COUNCIL DISTRICT:** 2**SIZE OF REQUEST:** 1.188-Acres**MAPSCO:**34K**APPLICANT/OWNER:** Mockingbird Partners, L.P

REQUEST An application to replat a 1.188-acre tract of land containing all of Lot 5 in City Block A/5719 and part of abandoned Collville Avenue to create one lot on property located on Mockingbird Lane at Collville Avenue, south corner.

SUBDIVISION HISTORY:

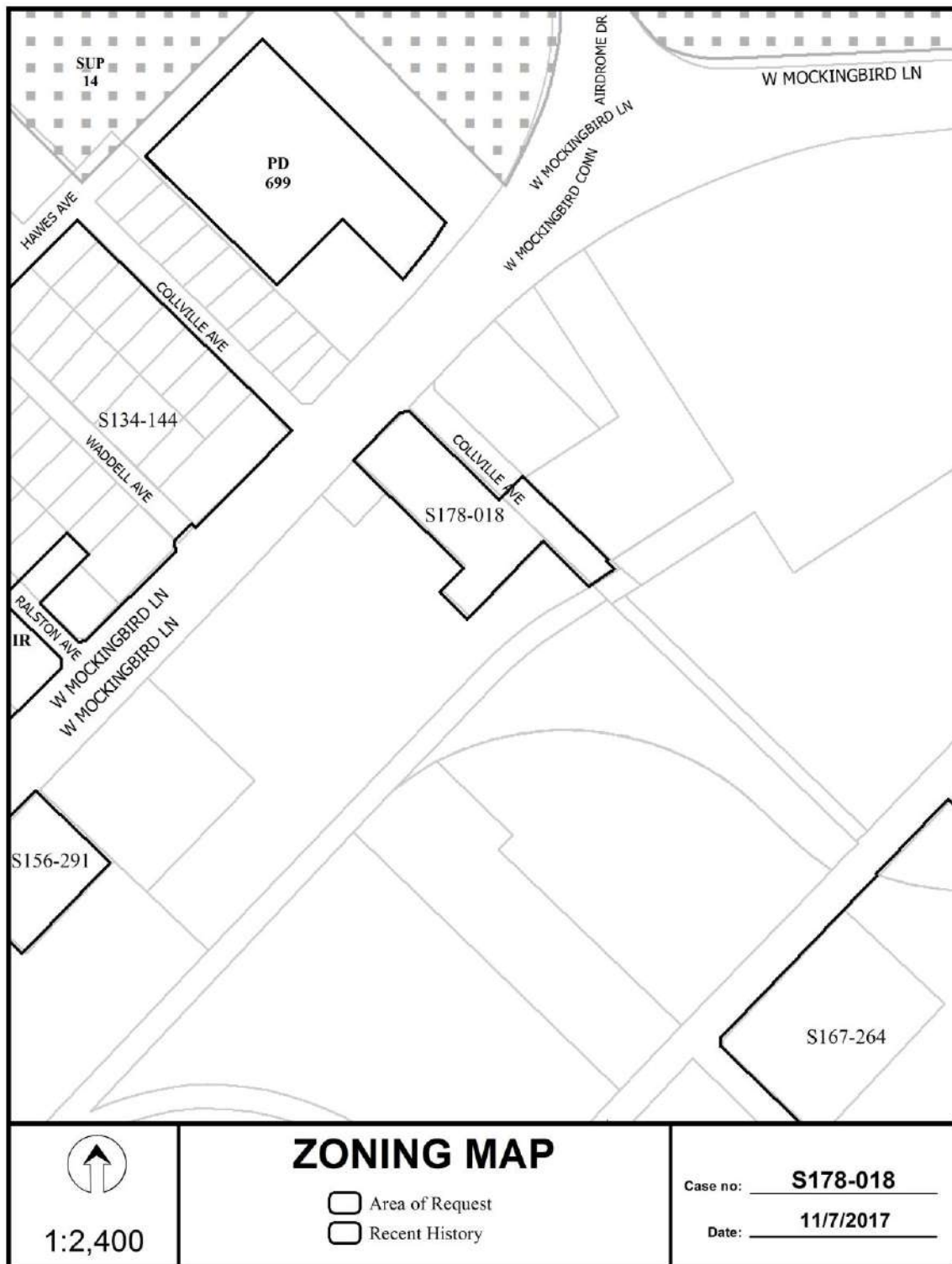
1. S167-264 was a request southeast of the present request to replat a 7.298-acre tract of land containing all of Lots 1 and 3 in City Block B/5715, and a part of City Block 5715 to create one 3.621-acre lot and one 3.665-acre lot on property located on Peeler Street between Manor Way and Haggard Way. The request was approved September 7, 2017 and has not been recorded.
2. S156-291 was a request southwest of the present request to create one 0.965-acre lot from a tract of land in City Block A/5719 on property located on 3140 W Mockingbird Lane, northeast of Cedar Springs Road. The request was approved October 6, 2016 and has not been recorded.
3. S134-144 was a request west of the present request to replat an 11.260-acre tract of land containing all of Lots 1 through 20 in City Block 3/2574, part of Lot 3 and all of Lots 4 through 19, Lot 21 and part of Lot 22 in City Block 4/2575, Lot 3 and all of Lots 4 through 7 in City Block 5/2576, all of lot 8A in City Block 5/2576, a portion of Ralston Avenue and a portion of Waddell Avenue into one lot on property located on the northwest corner of Mockingbird Lane and Aubrey Avenue. The request was approved May 22, 2014 and was withdrawn August 5, 2014.

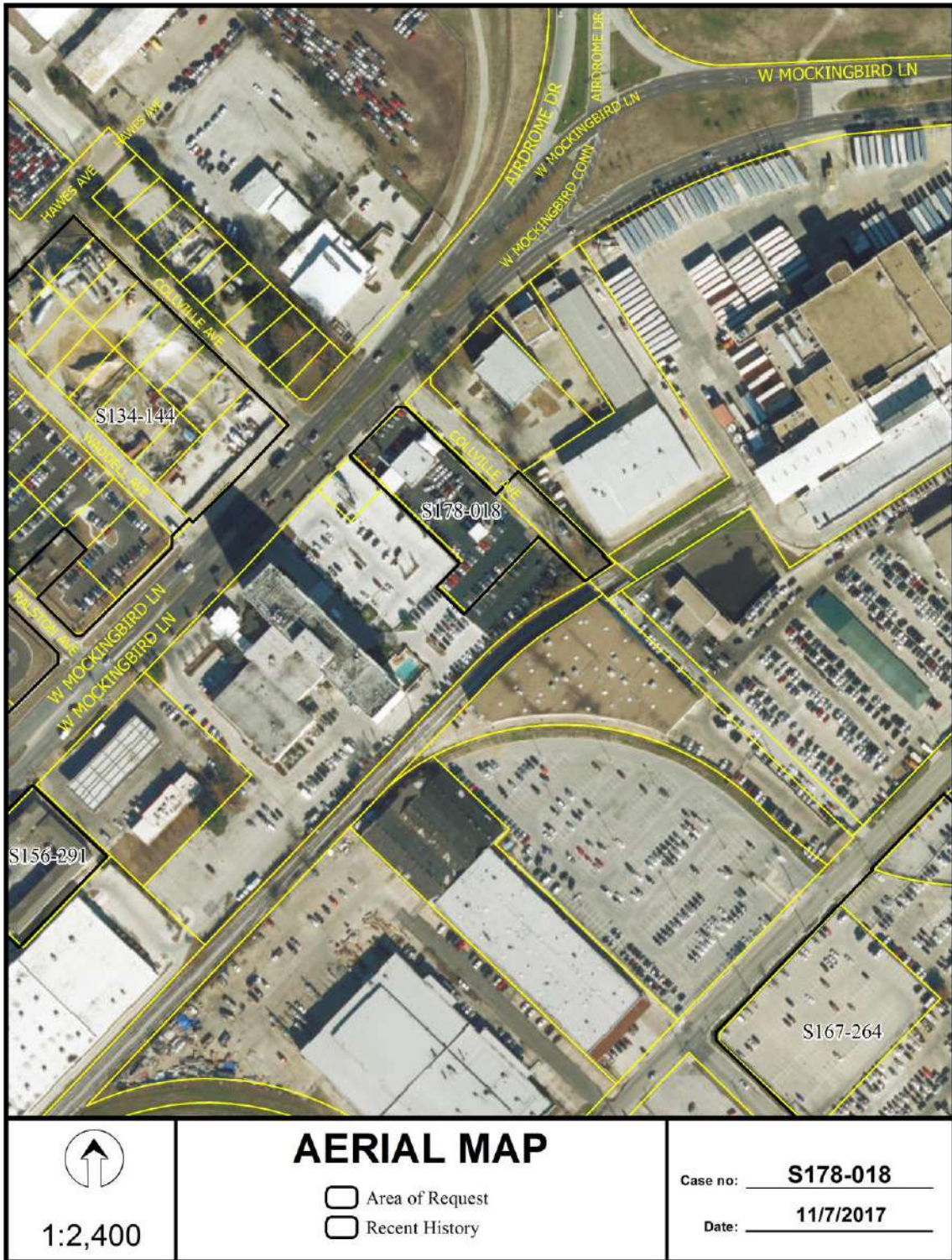
STAFF RECOMMENDATION: The proposed replat complies with the requirements of the IR Industrial Research District; therefore, staff recommends approval of the request subject to compliance with the following conditions:

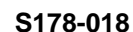
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.

3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
14. On the final plat, dedicate 28 feet right-of-way/street easement/public utility/sidewalk & utility easement from the established center line of Collville Avenue. Section 51A 8.602(c).
15. On the final plat, dedicate a 15-foot by 15-foot corner clip at the intersection of Collville Avenue & Mockingbird Lane. Section 51A 8.602(d) (1).
16. Comply with 70 LDN contour noise requirements.

17. On the final plat, list utility easements as retained within street abandonments when stated in the abandonment ordinance, or follow the City of Dallas standard affidavit requirements.
18. On the final plat, show two control monuments. Section 51A-8.617.
19. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
20. Existing and any proposed water and wastewater easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utilities (DWU) easement size is 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
21. Prior to final plat, abandonment to be processed by Real Estate 320 E Jefferson Blvd Room 203.
22. On the final plat, label abandonment as “abandonment authorized by Ordinance No._____ and recorded as Instrument No._____.”
23. On the final plat, identify the property as Lot 5A in City Block A/5719. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-019**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Top Line Drive at Black Gold Drive, northwest corner**DATE FILED:** November 1, 2017**ZONING:** IR**CITY COUNCIL DISTRICT:** 6**SIZE OF REQUEST:** 2.38-Acres**MAPSCO:**33W**APPLICANT/OWNER:** Mestek, Inc.

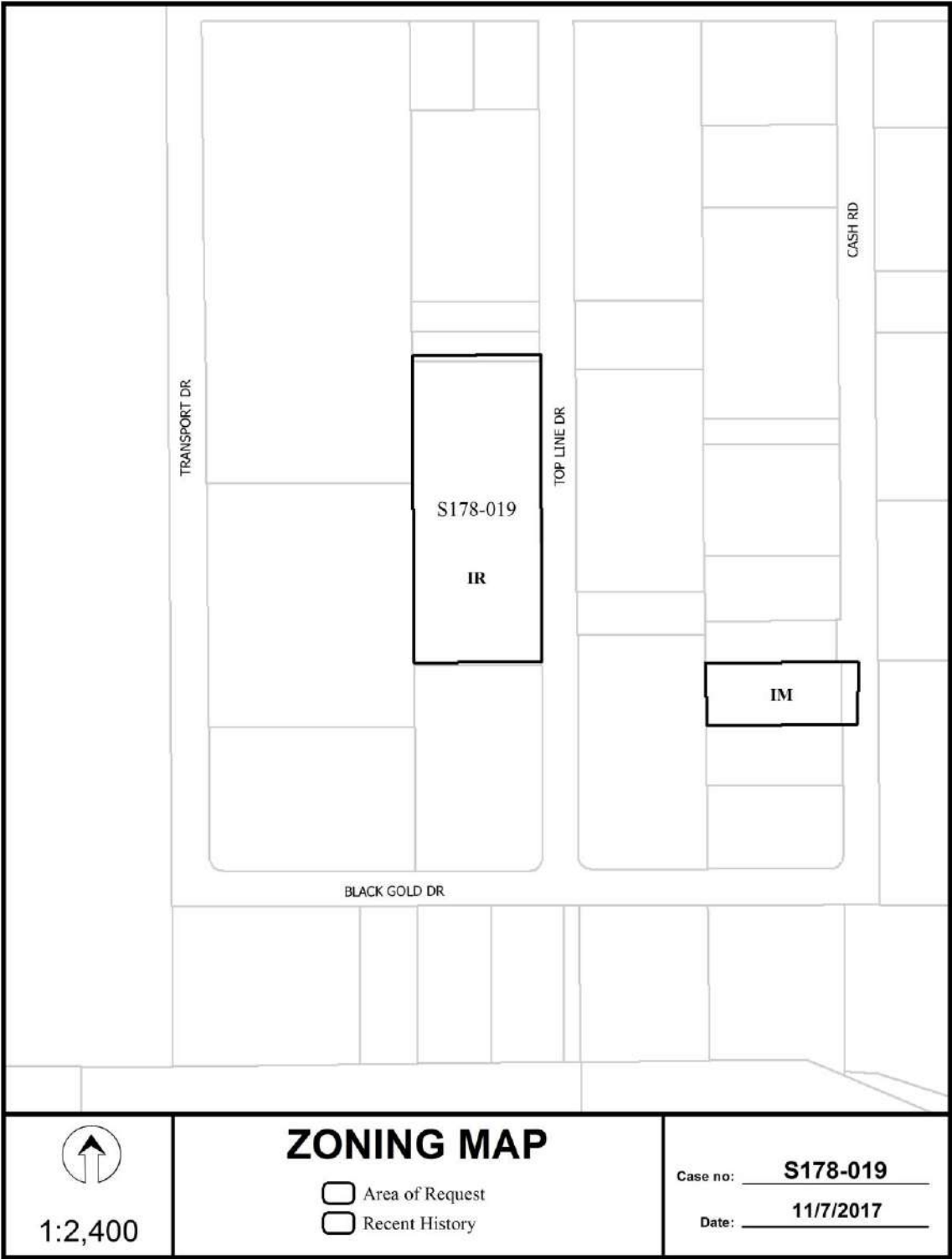
REQUEST An application to replat a 2.38-acre tract of land containing all of Lots 4 through 8 and part of Lot 9 in City Block C/7705 to create one lot on property located on Top Line Drive at Black Gold Drive, northwest corner.

SUBDIVISION HISTORY: There has been no recent platting activity within close proximity to this request.

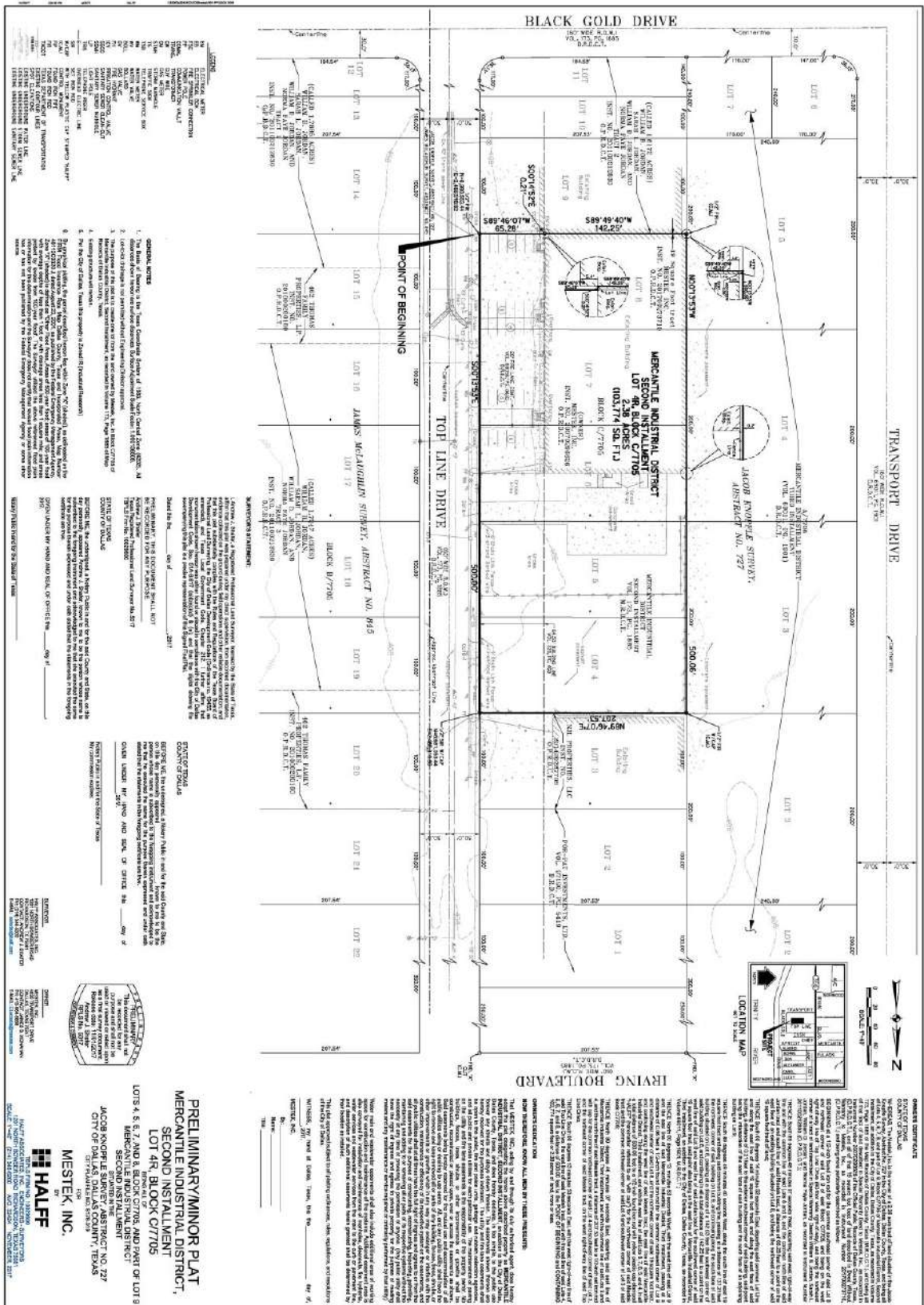
STAFF RECOMMENDATION: The proposed replat complies with the requirements of the IR Industrial Research District; therefore, staff recommends approval of the request subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617

9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
14. On the final plat, chose a new or different addition name. Platting Guidelines.
15. On the final plat, verify state plane coordinates values.
16. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
17. On the final plat, identify the property as Lot 4A in City Block C/7705. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-021**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Ervay Street, Griffin Street, and St. Paul Street**DATE FILED:** November 1, 2017**ZONING:** PD 317 (Subdistrict 2)<http://www.dallascityattorney.com/51P/Articles%20Supp%2047/ARTICLE%20317.pdf>**CITY COUNCIL DISTRICT:** 2**SIZE OF REQUEST:** 3.241-Acres**MAPSCO:** 45Q**APPLICANT/OWNER:** Ambassador Hotel Partners, LP

REQUEST An application to replat a 3.241-acre tract of land containing all of Lot 1 in City Block A/116 and a requested abandoned of a portion of St. Paul Street to create one lot on property bounded by Ervay Street, Griffin Street, and St. Paul Street.

SUBDIVISION HISTORY:

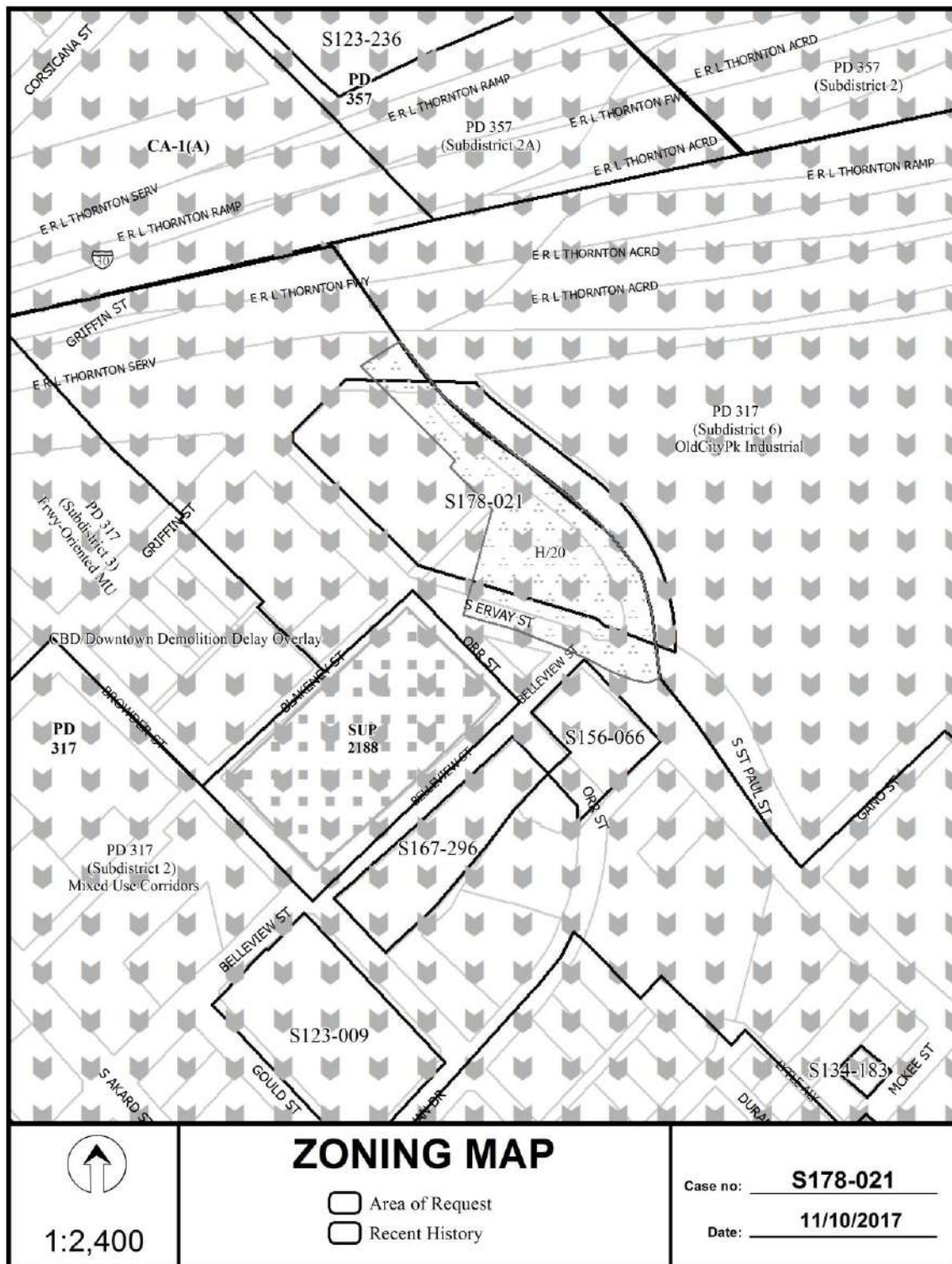
1. S167-296 was a request south of the present request to create a 15-lot shared access development along with 4 common areas from a 0.935-acre tract of land in City Block 488 1/2 on property located at Browder Street and Belleview Street Extension, east corner. The request was approved October 19, 2017 and has not recorded.
2. S156-066 was a request south of the present request to replat a 0.840-acre lot from containing part of Lots 2, 3, 4, 5, and part of Lot 12 in City Block 909 to create 2 lots on property located on Akard Street between Gano Street and Sullivan Drive. The request was approved October 15, 2016 and has not been recorded. The request was approved January 21, 2016 and has not been recorded.
3. S134-183 was a request southeast of the present request to create 0.086-acre lot from a tract of land in City Block 451 on property located at 1605 McKee Street. The request was approved July 10, 2014 and was recorded October 27, 2014.
4. S123-236 was a request north of the present request to create one lot from a tract of land containing all of Lot 1A and being a 3.402-acre tract of land in City Block 10/114 and a 0.10-acre tract of land containing part of Lot 1 in City Block 17/115 and a portion of closed and vacated St. Louis Street on property located at 1818 Corsicana Street at Park Avenue. The request was approved September 12, 2013 and was recorded September 11, 2015.
5. S123-009 was a request southwest of the present request to create a 1.5555-acre lot from a tract of land within City Block B/448 on property bounded by Belleview Street, Browder Street Sullivan Drive, and Gould Street. The request was approved November 15, 2012 and was recorded March 15, 2015.

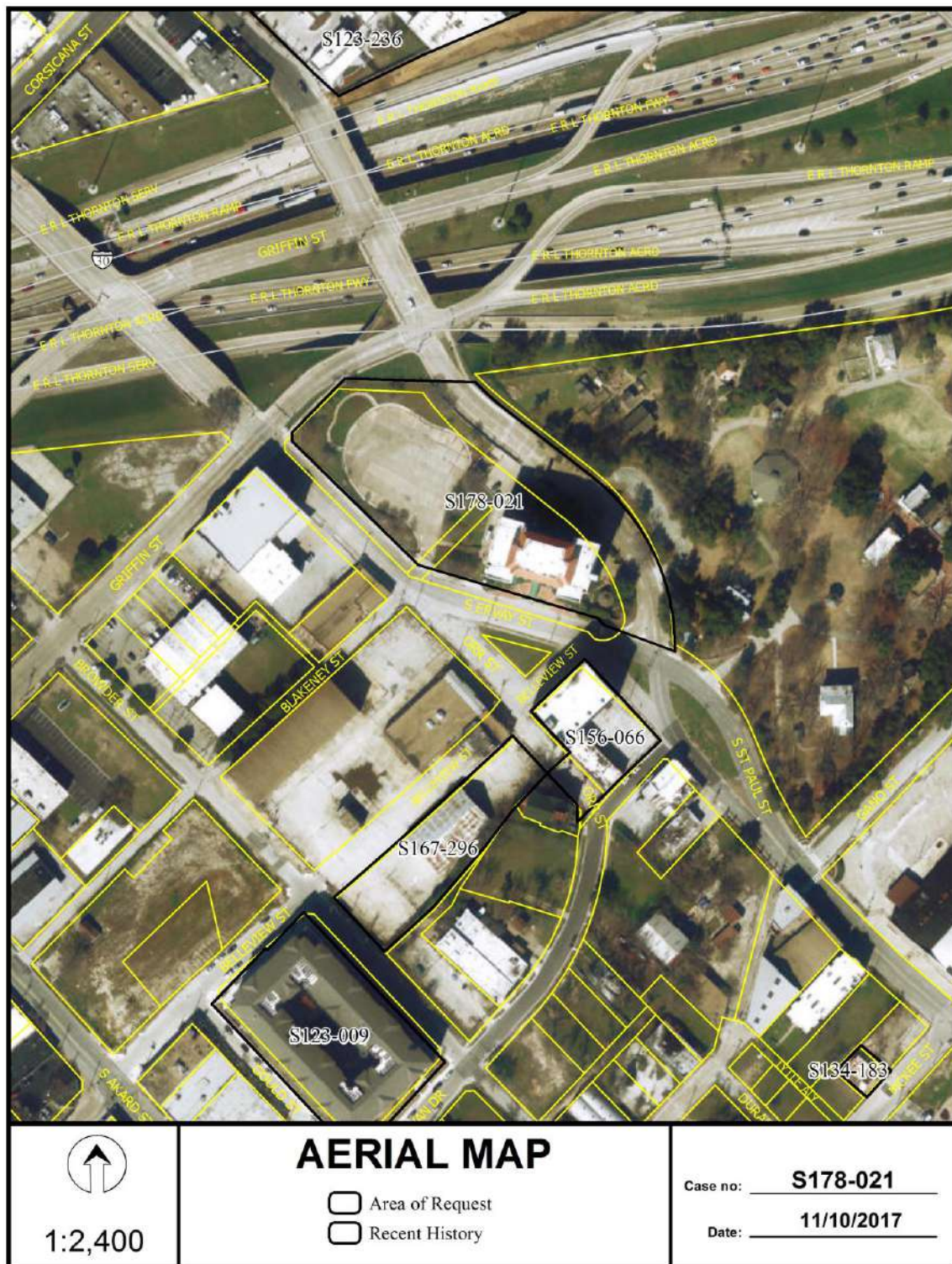
STAFF RECOMMENDATION: The proposed replat complies with the requirements of PD 317 (Subdistrict 2); therefore, staff recommends approval of the request subject to compliance with the following conditions:

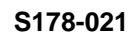
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).

13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
14. On the final plat, dedicate 28 feet right-of-way/street easement/public utility/sidewalk & utility easement from the established center line of Griffin Street. Section 51A 8.602(c).
15. Comply with Mill Creek drainage requirement. Finish floor elevation must be 3 feet above nearest inlet, top of curb. Section 51A-8.611(d), C.9 of Mill Creek, Master Drainage Plan Study.
16. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a) (1) (A) (xxii).
17. On the final plat, show recording information on all existing easements within 150 feet of the property.
18. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
19. On the final plat, show or list the prior plat on the map, in the legal description, and/or title block. Platting Guidelines.
20. Engineer shall furnish plans for water and sanitary sewer. Developer must furnish a contract for water and sanitary sewer. Sections 49-60(g)(1) and (2) and 49-62(b), (c), and (f)
21. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
22. Water and wastewater main improvements are required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
23. Existing and any proposed water and wastewater easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utilities (DWU) easement size is 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
24. Prior to final plat submittal, a thoroughfare plan amendment is required for St. Paul Street and Ervay Street which are one-way couplets and are required for traffic operations.
25. Should St. Paul Street not be abandoned then the east boundary for this plat will be the west line of the St. Paul Street right-of-way.

26. On the final plat, label abandonment as “abandonment authorized by Ordinance No._____ and recorded as Instrument No._____.”
27. Public access must be provided across abandoned St. Paul Street to the City Park east of the request. Prior to final plat, provide Park and Recreation Department required public access and meet other PKR requirements.
28. On the final plat, change “Interstate Highway No. 30 (East R.L. Thornton Freeway)” to “R. L. Thornton Freeway/ Interstate Highway No. 30”. Section 51A-8.403(a)(1)(A)(xii)
29. On the final plat, add a label for the part of “St Paul Street” that is not to be abandoned. Section 51A-8.403(a)(1)(A)(xii)
30. On the final plat, label “Sullivan Drive.” Section 51A-8.403(a)(1)(A)(xii)
31. On the final plat, identify the property as Lot 1A in City Block A/116. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







LOCATION: Northaven Road east of Quincy Lane**DATE FILED:** November 2, 2017**ZONING:** R-16(A)**CITY COUNCIL DISTRICT:** 13**SIZE OF REQUEST:** 4.631-Acres**MAPSCO:** 25A**APPLICANT/OWNER:** Oncor Electric Delivery Company

REQUEST An application to create one 4.631-acre lot from a tract of land in City Block 6388 on property located on Northaven Road east of Quincy Lane.

SUBDIVISION HISTORY:

1. S134-011 was a request northeast of the present request to replat a 0.9365-acre tract of land containing all of Lots 2 and 3 in City Block D/6384 to relocate the southerly portion of the lot line between Lots 2 and 3 by reducing the size of Lot 2 by approximately 1,230 square feet of land and adding that amount to Lot 3 to create one 16,600 square foot lot (0.3811-acre) and one 40,793 square foot lot (0.5554-acre) lot on property located at the southwest corner of Meadow Crest Drive and Jamestown Road. The request was approved November 21, 2013 and was recorded April 4, 2014.

STAFF RECOMMENDATION: Section 51A-8.503 states that “lots must conform in width, depth and area to the pattern already established in the adjacent areas, having due regard to the character of the area, its particular suitability for development, and taking into consideration the natural topography of the ground, drainage, wastewater facilities, and the proposed layout of the streets.”

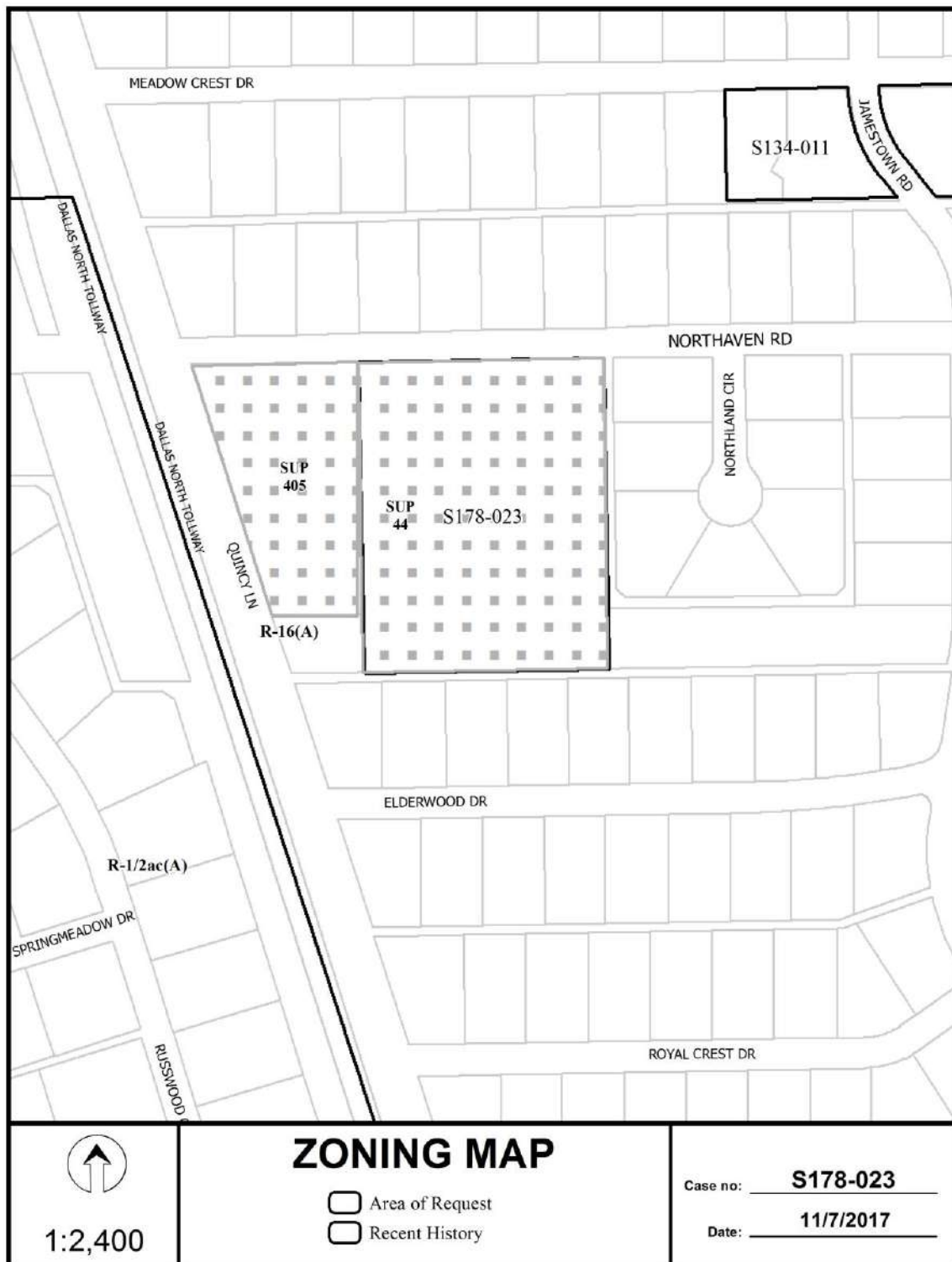
The proposed lot is larger than most of the residential lots in the area. It is a policy of the city that institutional uses generally require greater land area than residential lots and generally serve and are compatible with the neighborhood; therefore, staff concludes that the request complies with Section 51A-8.503 and the R-16(A) district requirements; therefore, staff recommends approval of the request subject to compliance with the following conditions:

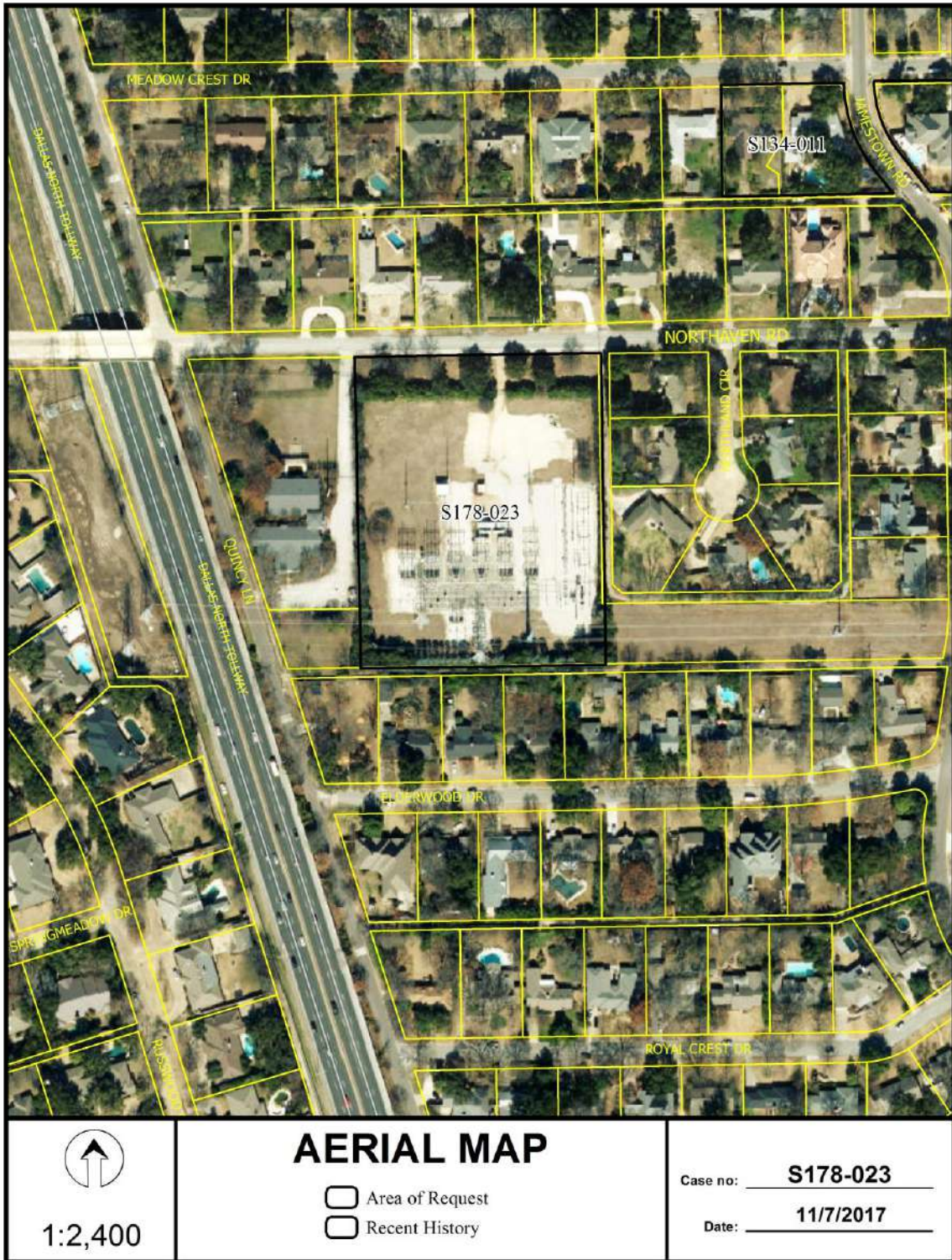
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.

5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
14. On the final plat, dedicate a 15-foot by 15-foot Alley Sight Easement at the intersection of Northaven Road & the alley. Section 51A-8.602(e),
15. On the final plat, show distances/width across all adjoining right-of-way. Platting Guidelines.
16. On the final plat, show recording information on all existing easements within 150 feet of the property.
17. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
18. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation,

development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.

19. Water and wastewater main improvements are required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
20. Oncor has agreed to allow Park and Recreation Department to route the proposed Northhaven Trail Phase 2A around the south side of the substation. Prior to final plat, Park and Recreation Department requires the opportunity to complete negotiations for a license acquisition.
21. On the final plat, identify the property as Lot 2 in City Block 2/6388. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).





CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-024**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Maple Avenue at Kings Road, west corner**DATE FILED:** November 2, 2017**ZONING:** PD 193 (GR)

<http://www.dallascityattorney.com/51P/Articles%20Supp%2021/Article%20193%20Part%20I.pdf>

CITY COUNCIL DISTRICT: 2**SIZE OF REQUEST:** 1.241-Acres**MAPSCO:**34Z**APPLICANT/OWNER:** Quintanilla Technologies, Inc.

REQUEST An application to replat a 1.241-acre tract of land containing all of Lots 1B and Lots 6 through 8 in City Block 6/2289 to create one lot on property located on Maple Avenue at Kings Road, west corner.

SUBDIVISION HISTORY:

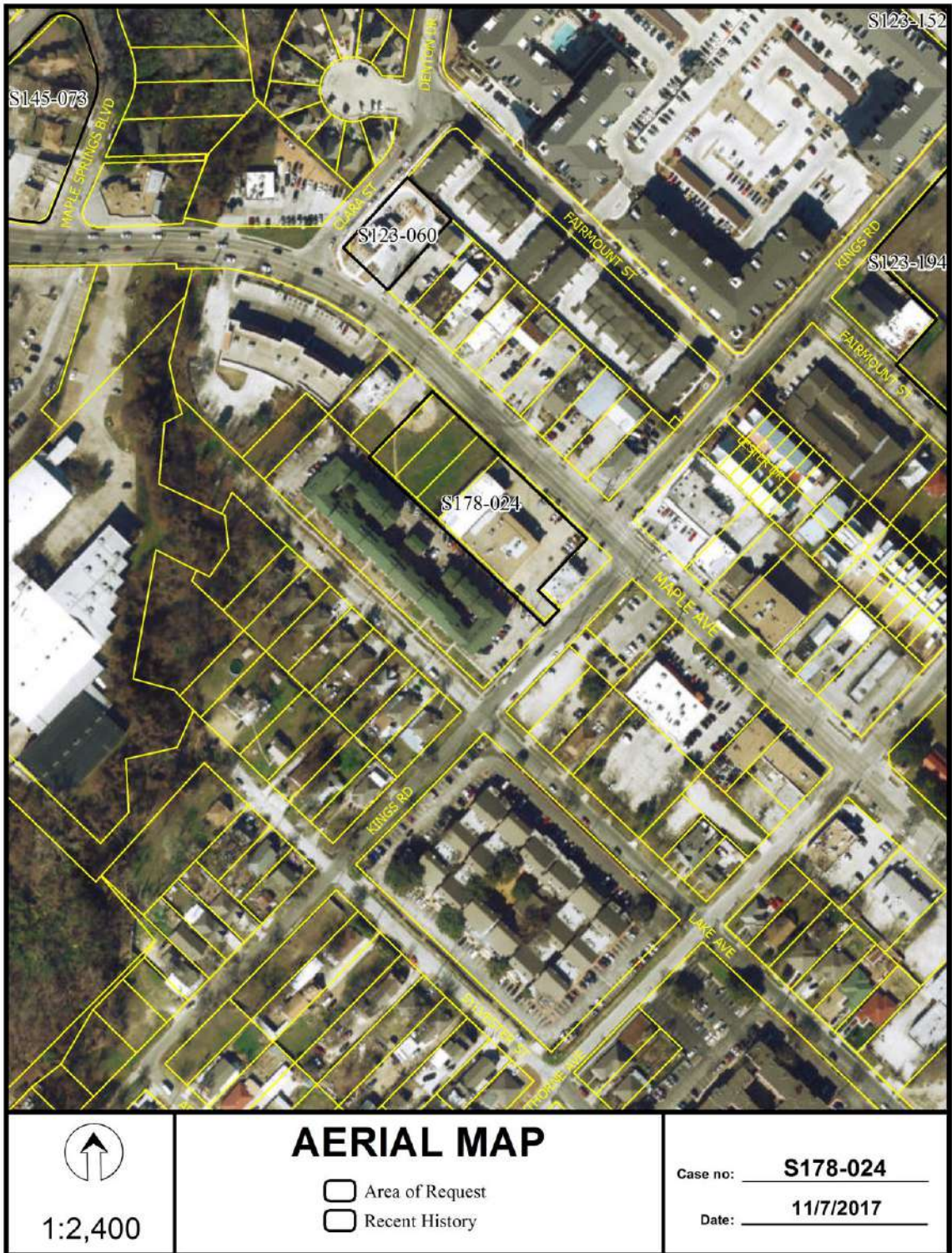
1. S145-073 was a request northwest of the present request to replat all of Lots 1 through 9 in City Block 2/2320 and an existing 15-foot wide alley right-of-way to be abandoned, into one 1.424-acre lot on property bounded by Amelia Street, Maple Avenue, and Maple Springs Boulevard. The request was approved February 5, 2015 and was recorded April 22, 2016.
2. S123-152 was a request northeast of the present request to replat all of Lots 4 and 5, and a tract of land in City Block 2317, into one 3.325-acre tract of land on property located at 2727 Kings Road. The request was approved June 6, 2013 and was recorded July 22, 2016.
3. S123-060 was a request south of the present request to replat a 0.3572-acre tract of land containing all of Lots 11 and 12 in City Block L/2313 on property located at the southeast corner of Clara Street and 4742 and 4744 Maple Avenue. The plat was approved February 7, 2013 and was recorded October 23, 2014.

STAFF RECOMMENDATION: The proposed replat complies with the requirements of PD 193 (GR); therefore, staff recommends approval of the request subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)

4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
14. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
15. On the final plat, provide detail drawing of building on property lines.
16. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.

17. On the final plat, identify the property as Lot 1C in City Block 6/2289. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).



LOCATION: Mockingbird Lane between Forest Park and Maple Avenue**DATE FILED:** November 1, 2017**ZONING:** MU-2**CITY COUNCIL DISTRICT: 2 SIZE OF REQUEST: 30.783-Acres MAPSCO:34P&34N****APPLICANT/OWNER:** Board of Regents of the University of Texas System

REQUEST An application to replat a 30.783-acre tract of land containing City Block B/2368 and abandoned Log Cabin Avenue and Fielder Court to create two lots on property located on Mockingbird Lane between Forest Park and Maple Avenue.

SUBDIVISION HISTORY:

1. S167-282 was a request west of the present request to replat a 14.427-acre tract of land containing part of Lots 3 and 4 in City Block A/ 5758 to create three lots ranging in size from 3.560-acres to 5.590-acres on property located on Hawes Avenue and Harry Hines Boulevard, east corner. The request was approved September 28, 2017 and has not been recorded.
2. S167-249 was a request north of the present request to replat a 0.792-acre tract of land containing all of Lots A, B, C, D, and remainder of Lot 1 in City Block 4492 to create one lot on property located on Maple Avenue between Fielder Court and Mockingbird Lane, east corner. The request was approved August 17, 2017 and has not been recorded.
3. S167-222 was a request northwest of the present request to create one 4.887-acre lot from a tract of land in City Block 5723 on property located on Hawes Avenue at Maple Avenue, north corner. The request was withdrawn.
4. S167-097 was a request northwest of the present request to replat 37.1-acre tract of land containing all of Lots 2 through 5 and Common Area A and B in City Block E/2367 into 11 lots ranging in size from 0.313-acre to 2.656-acre on property located on Mockingbird Lane at Maple Avenue, southwest corner. The request was approved March 2, 2017 and has not been recorded.
5. S156-285 was a request north of the present request to replat a 2.230-acre tract of land containing all of Lots 1 and 2 in City Block 2570 to create one 1.008-acre lot and one 1.221-acre lot on property located on Maple Avenue at Mockingbird Lane, north corner. The request was approved October 6, 2016 and has not been recorded.
6. S156-209 was a request west of the present request to replat a 0.511-acre tract of land containing part of Lot 7 in City Block B/2368 to create one 0.511-acre lot on property located at 2304 W. Mockingbird Lane at Forest Park Road, east corner. The request was approved June 30, 2016 and was recorded May 10, 2017.

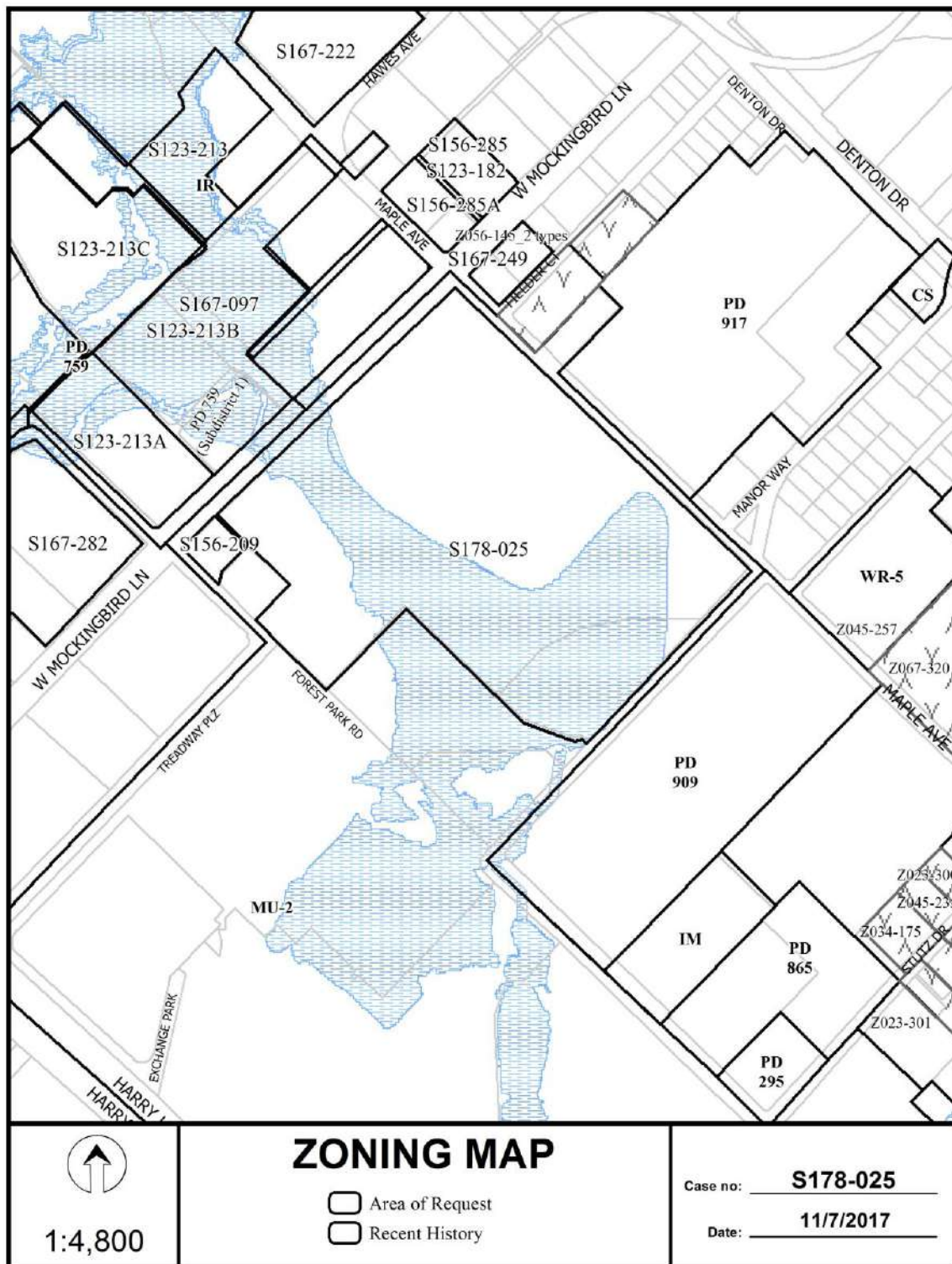
7. S123-213 was a request west of the present request to replat a 37.103-acre tract of land containing part of Lots 1, 2, 7, and 8 in City Block B/2368 and all of Lots 1-A and 2A in City Block B/2368 into nine lots ranging in size from 1.143 acres to 5.861 acre bounded by Mockingbird Lane, Maple Avenue, Forest Park Road and Empire Central. The request was approved August 8, 2013. Phase 1 is 3.145-acres and was recorded December 15, 2016. Phase B is 11.114-acres and was recorded December 14, 2016, Phase C is 5.861-acre and was recorded March 23, 2017; future phases are still under review.
8. S123-182 was a request north of the present request to create one lot from a 1.147-acre tract of land in City Block 2570 located on Mockingbird Lane, north of Maple Avenue. The request was approved July 11, 2013 and has not been recorded.

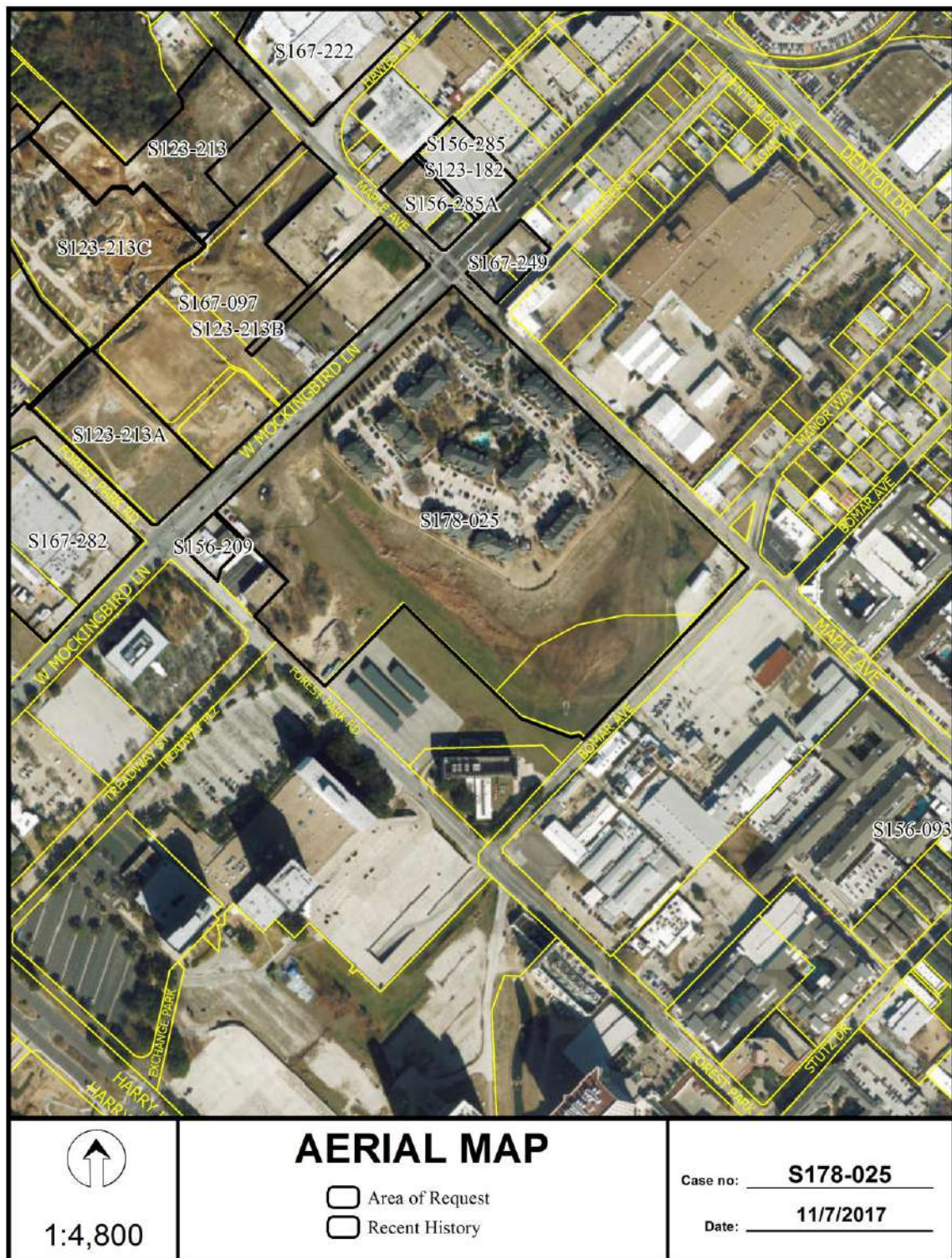
STAFF RECOMMENDATION: The proposed replat complies with the requirements of MU-2 Mixed Use District; therefore, staff recommends approval of the request subject to compliance with the following conditions:

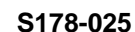
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617

9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. The number of lots permitted by this plat is two.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
14. On the final plat, dedicate a 20-foot by 20-foot corner clip at the intersection of Maple Avenue & Mockingbird Lane. Section 51A 8.602(d) (1).
15. On the final plat, dedicate a 15-foot by 15-foot corner clip at the intersection of Maple Avenue & Bomar Avenue. Section 51A-8.602(e),
16. On the final plat, determine the 100-year water surface elevation across the plat. Section 51A-8.611(d) and Trinity Watershed Management.
17. On the final plat, dedicate floodway easement, floodway management area, or floodway easement (within common area) with the appropriate easement statement included on the face of the plat. Section 51A-8.611(d) and Trinity Watershed Management, Drainage Design Manual Addendum V.
18. On the final plat, include additional paragraph in owner's certificate (pertaining to floodplain). Section 51A-8.611(d), Trinity Watershed Management; Drainage Manual, Article V.
19. On the final plat, specify minimum fill and minimum finished floor elevations. Section 51A-8.611(d), Trinity Watershed Management.
20. On the final plat, show the natural channel set back from the crest of the natural channel. Section 51A-8.611(d), Trinity Watershed Management.
21. Prior to submission of the final plat, set floodway monument markers and provide documentation that the monuments have been set. Section 51A-8.617(d) (1), (2), (3), and (4).
22. Provide information regarding Fill Permit or Floodplain Alteration Permit if such permit is applied for to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. 51A-5.105(g).

23. On the final plat, show recording information on all existing easements within 150 feet of the property.
24. On the final plat, list utility easements as retained within street abandonments when stated in the abandonment ordinance, or follow the City of Dallas standard affidavit requirements.
25. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
26. On the final plat, show two control monuments. Section 51A-8.617.
27. On the final plat, provide detail drawing of building on property line and clarify gap at the southwest corner of plat.
28. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
29. Water and wastewater main improvements may be required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
30. Existing and any proposed water and wastewater easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utilities (DWU) easement size is 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
31. A property line proposed along with an existing wall line must result in a fire-resistive wall without any openings. All final inspections approved by the Building Inspection District office are required prior to submittal of the final plat for the Chairman's signature.
32. On the final plat, label abandonment as "Abandonment authorized by Ordinance No. 30387".
33. On the final plat, identify the property as Lots 1 and 2 in City Block B1/2368. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-027**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Reagan Street northeast of Brown Street**DATE FILED:** November 2, 2017**ZONING:** PD 193 (MF-2)

<http://www.dallascityattorney.com/51P/Articles%20Supp%2021/Article%20193%20Part%20I.pdf>

CITY COUNCIL DISTRICT: 2**SIZE OF REQUEST:** 0.344-Acres**MAPSCO:**35W**APPLICANT/OWNER:** JL Highgate Homes, LLC and Robert D. Dildine

REQUEST An application to replat a 0.344-acre tract of land containing all of Lots 15 and 16 in City Block 2/1335 to create an 8-lot shared access area development on property located on Reagan Street northeast of Brown Street.

SUBDIVISION HISTORY:

1. S167-240 was a request at the present request to replat a 0.172-acre tract of land containing all of Lot 15 in City Block 2/1335 to create a 4 lot Shared Access Development on property located at 2714 Regan Street. The request was approved August 17, 2017 and was withdrawn October 25, 2017.
2. S167-152 was a request north of the present request to replat a 0.1698-acre tract of land containing part of Lots 6 and 7 in City Block 3/1333 to create one lot on property located at 2719 Reagan Street southwest of Congress Avenue. The request was approved April 27, 2017 and has not been recorded.
3. S156-297 was a request southeast of the present request to replat a 1.319-acre tract of land containing part of Lot 9 and all of Lots 6, 7, and 8 in City Blocks 1022 and 1023 to create one lot on property located on Welborn Street at Congress Avenue, south corner. The application was withdrawn October 19, 2016.
4. S156-252 was a request southwest of the present request to replat a 2.647-acre tract of land containing all of Lots 4 through 16 in City Block 38/1341, and part of Lots 17 and 18 in City Block 38/1341 to create one lot on property located on Fairmount Street, between Regan Street and Throckmorton Street. The request was approved August 27, 2016 and has not been recorded.
5. S134-255 was a request northwest of the present request to replat a 0.658-acre tract of land containing all of Lot 18A in City Block 1504 to create a Shared Access Development with 14 lots ranging in size from 1,621 square feet to 2,849 square feet on property located at 2701 and 2713 Knight Street. The request was approved October 23, 2014 and recorded January 8, 2016.
6. S134-137 was a request southeast of the present request to create one 0.349-acre lot from a tract of land in City Block 2/1025 on property located at 2700 Oak

Lawn Avenue. The request was approved May 8, 2014 and was recorded January 8, 2016.

7. S123-011 was a request southwest of the present request to replat a 0.47-acre tract of land containing all of Lots 1, 2 and part of Lots 17 and 18 in Block 38/1341 to create one lot at 2631 Reagan Street. The request was approved on November 15, 2012, has not been recorded and has expired.

STAFF RECOMMENDATION: The proposed replat complies with the requirements of PD 193 (MF-2); therefore, staff recommends approval of the request subject to compliance with the following conditions:

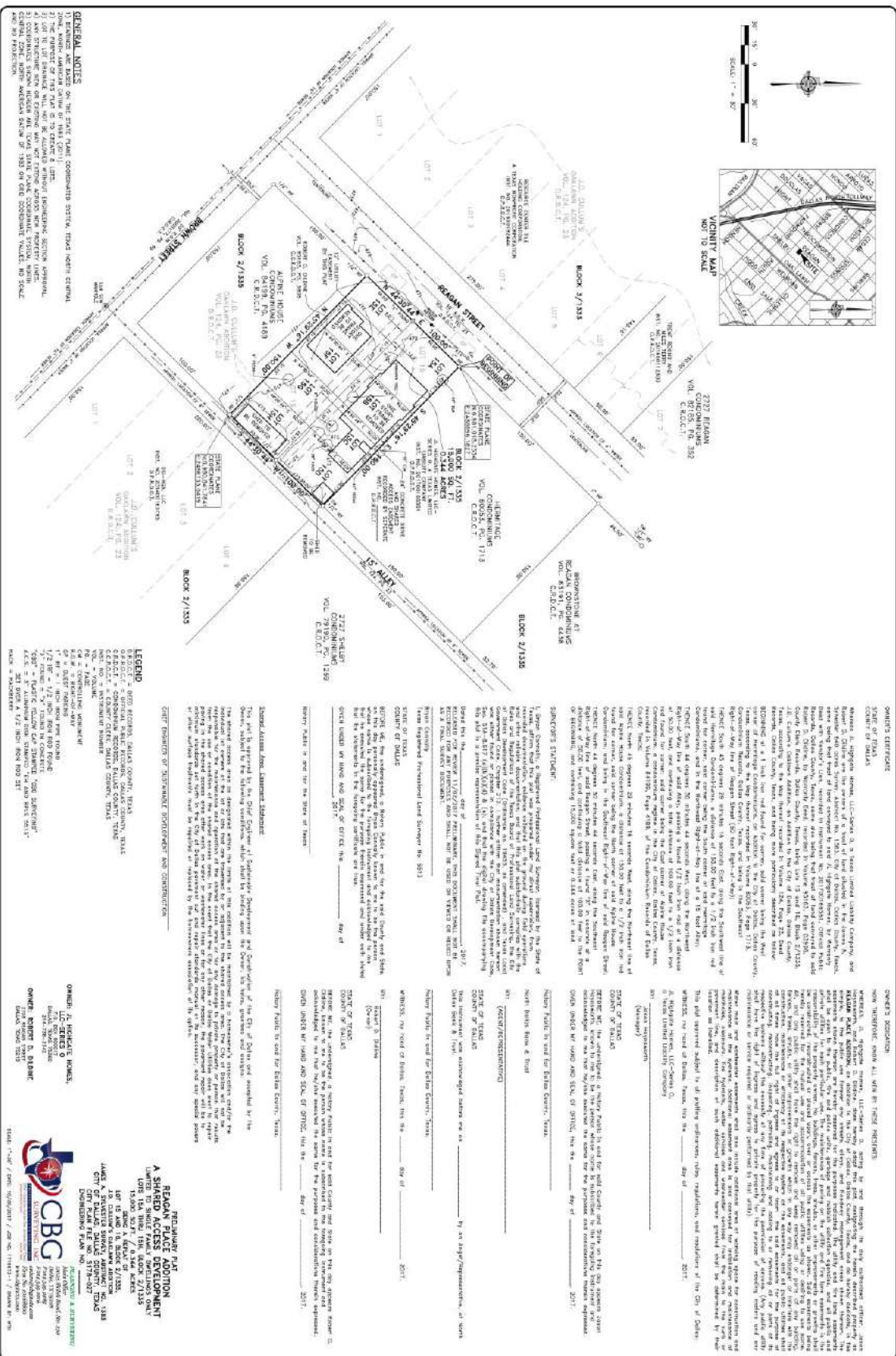
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is eight.

11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
13. Provide guest parking at a rate of 0.25 spaces per dwelling unit with adequate maneuverability per the Shared Access Development requirements.
14. On the final plat, show distances/width across all adjoining right-of-way. Platting Guidelines.
15. On the final plat, all access easement(s) must be recorded by separate instrument(s) and the recording information must be shown on the final plat. Platting Guidelines.
16. On the final plat, chose a new or different addition name. Platting Guidelines.
17. On the final plat, add a 3-foot barrier easement at the shared access easement and the 15-foot alley.
18. Engineer shall furnish plans for water and sanitary sewer. Developer must furnish a contract for water and sanitary sewer. Sections 49-60(g)(1) and (2) and 49-62(b), (c), and (f)
19. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
20. Water and wastewater main improvements are required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
21. Shared Access Area Developments must comply with DWU standards for water and wastewater construction and design and be accepted by the City of Dallas prior to submittal of the final plat for the Chairperson's signature. Section 49-61(c) (5) (B) and the Development Design Procedures and Policy Manual, Section 2.
22. The shared access area easement must be a minimum of 20 feet wide and contain a minimum paving width of 16 feet. Section 51A-411(d) (7).
23. A water and wastewater easement at least 12 feet wide to be used exclusively for public water and wastewater below grade must be provided within the Shared

Access Area easement & labeled on the plat. Section 51A-4.411(d) (2) and Sections 49-60(d), 49-61(c) (5) (B), and Development Design Procedure and Policy Manual Section 6.2.

24. No building permit may be issued to authorize work in the shared access area development until the final plat and the Shared Access Area Agreement have been recorded in the real property records of Dallas County, and the recording information has been placed on the face of the plat, and all other requirements of the shared access area have been met. Section 51A-4.411(c) (3).
25. Prior to submittal of the final plat, the Shared Access Development must meet all the requirements of Section 51A-4.411. Section 51A-4.411(c).
26. The recording information of the "Shared Access Area Agreement" must be placed on the final plat prior to being submitted to the City Plan Commission Chairman for signature. The Shared Access Area Agreement shall include a metes and bounds description of the shared access area as part of an attachment to the document. Section 51A-4.411(e).
27. For frontage purposes and determining building setback lines only, all of the property in this shared access development is considered to be one lot. Section 51A-4.411(f) (2).
28. Regardless of the minimum front yard setback of the applicable zoning district, the minimum front yard setback must be at least 20 feet from the right-of-way line of a street or alley if the parking space for the lot(s) is located in an enclosed structure and if the space faces upon or can be entered directly from the street or alley. Section 51A-4.411(f) (2).
29. Include the words "Shared Access Development" in the title block of the final plat. Platting Guidelines.
30. Place a note on the final plat stating: "No vehicular access is permitted to adjacent property outside the platted property from the shared access area except to a public or City Council approved private street." Section 51A-4.411(d) (3), and 51A-4.411(d) (10).
31. If a guard house is provided, it must be at least 30 feet from the shared access point. Section 51A-4.411(d) (8).
32. The Shared Access Area Easement must be terminated a minimum of three feet from the adjacent property or right-of-way. Section 51A-8.618(b).
33. Prior to final plat, contact street name coordinator for help determining acceptable names for the new mutual access drives. Section 51A-8.403(a)(1)(A)(xiv), Section 51A-8.506(e)
34. On the final plat, identify the property as Lots 15A through 15D and Lots 16A through 16D in City Block 2/1335. Ordinance 1A, pages 131-148, Section 2 (passed August 13, 1872).





CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-028**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Commerce Street at Topeka Avenue, northwest corner**DATE FILED:** November 3, 2017**ZONING:** PD 714 (Subdistrict 1B)<http://www.dallascityattorney.com/51P/Articles%20Supp%2049/ARTICLE%20714.pdf>**CITY COUNCIL DISTRICT:** 6**SIZE OF REQUEST:**0.656-Acres**MAPSCO:** 44Q**APPLICANT/OWNER:** Fuller Land Company, LP

REQUEST An application to replat a 0.656-acre tract of land containing all of Lots 5 and 6 in City Block 4004 to create a 16-lot Shared Access Development with two common areas on property located on Commerce Street at Topeka Avenue, northwest corner.

SUBDIVISION HISTORY:

1. S167-019 was a request south of the present request to replat a 1.18-acre tract of land containing all of Lot 1 in City Block 11/4003 to create one 0.339-acre lot, and one 0.841-acre lot on property bounded by Seale Avenue, Topeka Avenue, Pollard Street, and Evanston Avenue. The request was approved December 1, 2016 and has not been recorded.
2. S156-141 was a request southwest of the present request to replat a 0.570-acre tract of land containing part of City Block 8/3985 to create one lot on property located at Seale Avenue and Ormsby Street, northeast corner. The plat was approved April 7, 2016 and has not been recorded.
3. S156-136 was a request northeast of the present request to replat a 2.381-acre tract of land containing all of Lots 1 through 3 in City Block A/6820, all of Robert's and West Addition, and all of Lots 13, 14, 25 and 26, 47, 48, 49, and 50, and a called 67.5-foot wide tract of land lying on the west side of Lots 14, 25, 26, 47, 48, 49, and 50 in City Block 6819 to create one lot on property located on West Commerce Street at Guest Street, northwest corner. The request was withdrawn April 1, 2016.
4. S134-227 was a request contiguous on the north of the present request to create one 2.003-acre lot from a tract of land in City Block 6819 on Pittman Street, south of West Main Street. The request was approved on September 4, 2014 and has not been recorded.
5. S134-233 was a request southeast of the present request to replat a 5.844-acre tract of land containing part of Lots 4-6, 21-23, and all of Lots 7 and 8 in City Block 2/6817; part of Lots 15, 26, 27 and all of Lots 16-25 in City Block 1/6817; part of an abandoned alley in North Oak Cliff Addition; all of Lot 9A in City Block 2/6817; and part of abandoned Eastus Drive Right-Of-Way into one lot on property located at the northeast corner of Fort Worth Avenue and Yorktown

Street. The request was approved September 4, 2014 and recorded July 24, 2015.

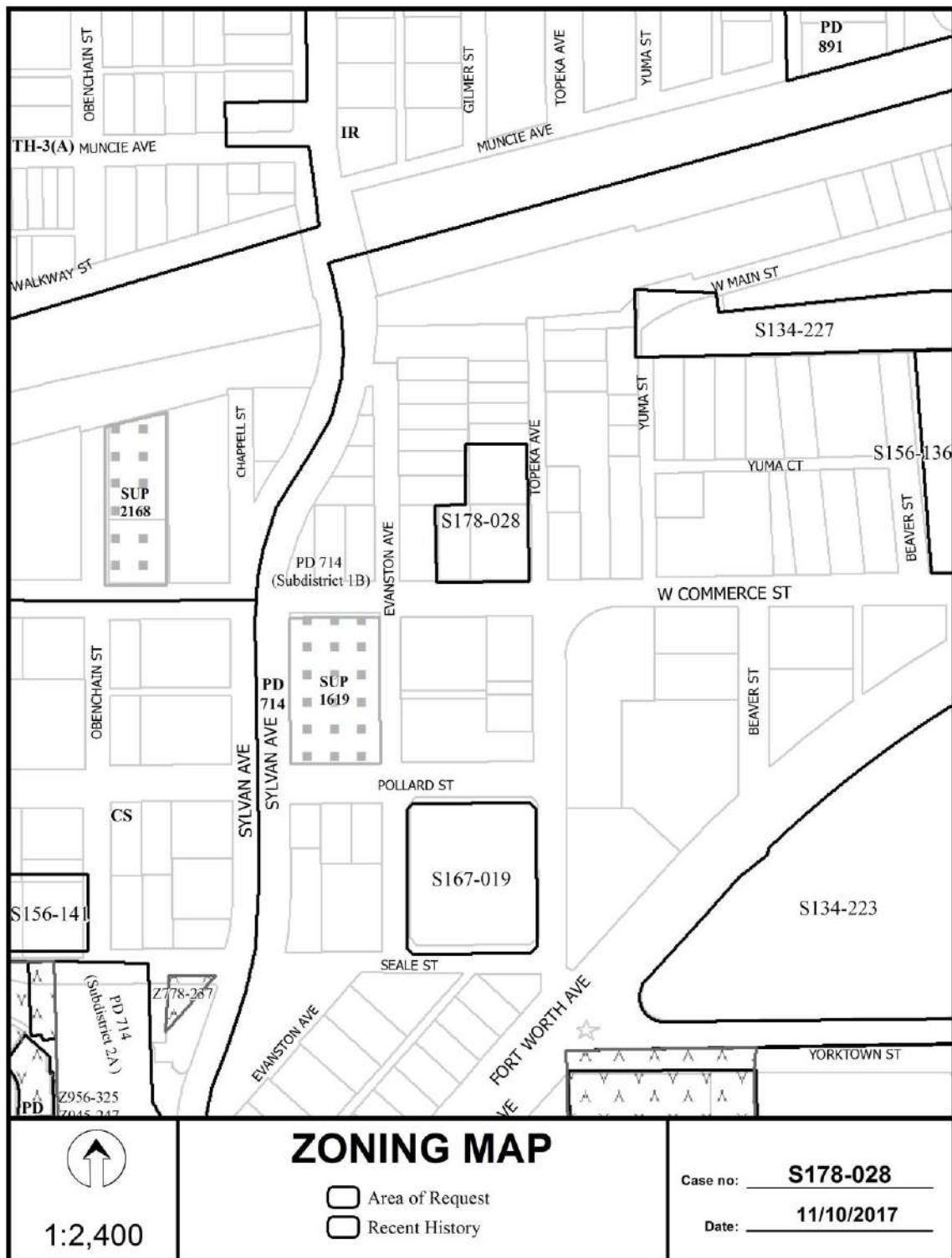
STAFF RECOMMENDATION: The proposed replat complies with the requirements of PD 714 (Subdistrict 1B); therefore, staff recommends approval of the request subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is 16 with two common areas.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).

12. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
13. On the final plat, dedicate 28 feet right-of-way/street easement/public utility/sidewalk & utility easement from the established center line of Topeka Avenue. Section 51A 8.602(c).
14. On the final plat, dedicate a 15-foot by 15-foot corner clip at the intersection of Topeka Avenue & Commerce Street. Section 51A 8.602(d) (1).
15. Provide guest parking at a rate of 0.25 spaces per dwelling unit with adequate maneuverability per the Shared Access Development requirements.
16. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a) (1) (A) (xxii).
17. On the final plat, all access easement(s) must be recorded by separate instrument(s) and the recording information must be shown on the final plat. Platting Guidelines.
18. On the final plat, chose a new or different addition name. Platting Guidelines.
19. On the final plat, add 3 feet barrier easement at shared access easement and Topeka Avenue.
20. Engineer shall furnish plans for water and sanitary sewer. Developer must furnish a contract for water and sanitary sewer. Sections 49-60(g)(1) and (2) and 49-62(b), (c), and (f)
21. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
22. Water and wastewater main improvements are required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
23. Shared Access Area Developments must comply with DWU standards for water and wastewater construction and design and be accepted by the City of Dallas prior to submittal of the final plat for the Chairperson's signature. Section 49-61(c) (5) (B) and the Development Design Procedures and Policy Manual, Section 2.
24. There must be no more than 2 access area points, each limited to serve no more than 18 dwelling units. Section 51A-4.411(d) (10)

25. The Shared Access Area Easement must be a minimum of 20 feet wide and contain a minimum paving width of 16 feet. Section 51A-411(d) (7).
26. A water and wastewater easement at least 12 feet wide to be used exclusively for public water and wastewater below grade must be provided within the Shared Access Area easement & labeled on the plat. Section 51A-4.411(d) (2) and Sections 49-60(d), 49-61(c) (5) (B), and Development Design Procedure and Policy Manual Section 6.2.
27. No building permit may be issued to authorize work in the shared access area development until the final plat and the Shared Access Area Agreement have been recorded in the real property records of Dallas County, and the recording information has been placed on the face of the plat, and all other requirements of the shared access area have been met. Section 51A-4.411(c) (3).
28. Prior to submittal of the final plat, the Shared Access Development must meet all of the requirements of Section 51A-4.411. Section 51A-4.411(c).
29. The recording information of the "Shared Access Area Agreement" must be placed on the final plat prior to being submitted to the City Plan Commission Chairman for signature. The Shared Access Area Agreement shall include a metes and bounds description of the shared access area as part of an attachment to the document. Section 51A-4.411(e).
30. For frontage purposes and determining building setback lines only, all of the property in this shared access development is considered to be one lot. Section 51A-4.411(f) (2).
31. Regardless of the minimum front yard setback of the applicable zoning district, the minimum front yard setback must be at least 20 feet from the right-of-way line of a street or alley if the parking space for the lot(s) is located in an enclosed structure and if the space faces upon or can be entered directly from the street or alley. Section 51A-4.411(f) (2).
32. Include the words "Shared Access Development" in the title block of the final plat. Platting Guidelines.
33. Place a note on the final plat stating: "No vehicular access is permitted to adjacent property outside the platted property from the shared access area except to a public or City Council approved private street." Section 51A-4.411(d) (3), and 51A-4.411(d) (10).
34. If a guard house is provided, it must be at least 30 feet from the shared access point. Section 51A-4.411(d) (8).
35. The Shared Access Area Easement must be terminated a minimum of three feet from the adjacent property or right-of-way. Section 51A-8.618(b).
36. Prior to final plat, contact street name coordinator for help determining acceptable names for the new mutual access drives. Section 51A-8.403(a)(1)(A)(xiv), Section 51A-8.506(e)

37. On the final plat, change “Commerce Street” to “West Commerce Street”, as named by Ordinance 1773. Section 51A-8.403(a)(1)(A)(xii)
38. On the final plat, identify the property as Lots 1 through 16 and common areas A and B in City Block A/4004. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-029**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** West Commerce Street between Brunderett Street and Pollard Street**DATE FILED:** November 3, 2017**ZONING:** IR**CITY COUNCIL DISTRICT:** 6 **SIZE OF REQUEST:** 2.273-Acres **MAPSCO:** 34P& 34N**APPLICANT/OWNER:** Listocon Group, LLC

REQUEST An application to replat a 2.273-acre tract of land containing all of Lots 1 through 8 and 12 through 16 in City Block B/7240 and part of an abandoned 15-foot-wide alley to create one lot on property located on West Commerce Street between Brunderett Street and Pollard Street.

SUBDIVISION HISTORY:

1. S123-265 was a request northeast of the present request to create 5.9040-acre lot from a tract of land in City Block 7241 and City Block 7243 located at 1921, 1925, and 1927 West Commerce Street, west of Vilbig Road. The request was approved October 10, 2013 and has not been recorded.

STAFF RECOMMENDATION: The proposed replat complies with the requirements of the IR Industrial Research District; therefore, staff recommends approval of the request subject to compliance with the following conditions:

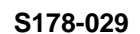
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."

8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9)
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e)
13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e)
14. On the final plat, dedicate 28 feet right-of-way/street easement/public utility/sidewalk & utility easement from the established center line of Ivanhoe Lane. Section 51A 8.602(c)
15. On the final plat, dedicate a 15-foot by 15-foot corner clip at the intersection of Ivanhoe Lane & Commerce Street. Section 51A 8.602(d)(1)
16. On the final plat, dedicate a 15-foot by 15-foot corner clip at the intersection of Brundrette Street & Commerce Street. Section 51A 8.602(d)(1)
17. On the final plat, dedicate 10-foot by 10-foot corner clip at the intersection of Brundrette Street & Pollard Street. Section 51A 8.602(d)(1)
18. On the final plat, list utility easements as retained within street abandonments when stated in the abandonment ordinance, or follow the City of Dallas standard affidavit requirements.
19. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.

20. Water and wastewater main improvements may be required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
21. On the final plat, identify the property as Lot 1A in City Block B/7240. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-030**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Hampton Road, north of Cliff Creek Crossing**DATE FILED:** November 3, 2017**ZONING:** CR**CITY COUNCIL DISTRICT:** 8**SIZE OF REQUEST:** 0.826-Acres**MAPSCO:** 73D**APPLICANT/OWNER:** Hampton/I20, LTD

REQUEST An application to replat a 0.826-acre tract of land containing part of City Block 7554 to create one lot on property located on Hampton Road, north of Cliff Creek Crossing.

SUBDIVISION HISTORY:

1. S145-237 was a request south of the present request to create one 0.85-acre lot from a tract of land in City Block 7554 on property located at Hampton Road and Cliff Creek Crossing Drive, northwest corner. The request was approved August 20, 2015 and was recorded July 26, 2017.
2. S145-054 was a request south east of the present request to replat a 1.022-acre tract of land containing part of Lots 2, 3, and 6 in City Block 7561 into one lot on property located on South Hampton Road, between West Wheatland Road and Parakeet Lane. The request was approved January 8, 2015 and was recorded August 22, 2016.

STAFF RECOMMENDATION: The proposed replat complies with the requirements of the CR Community Retail District; therefore, staff recommends approval of the request subject to compliance with the following conditions:

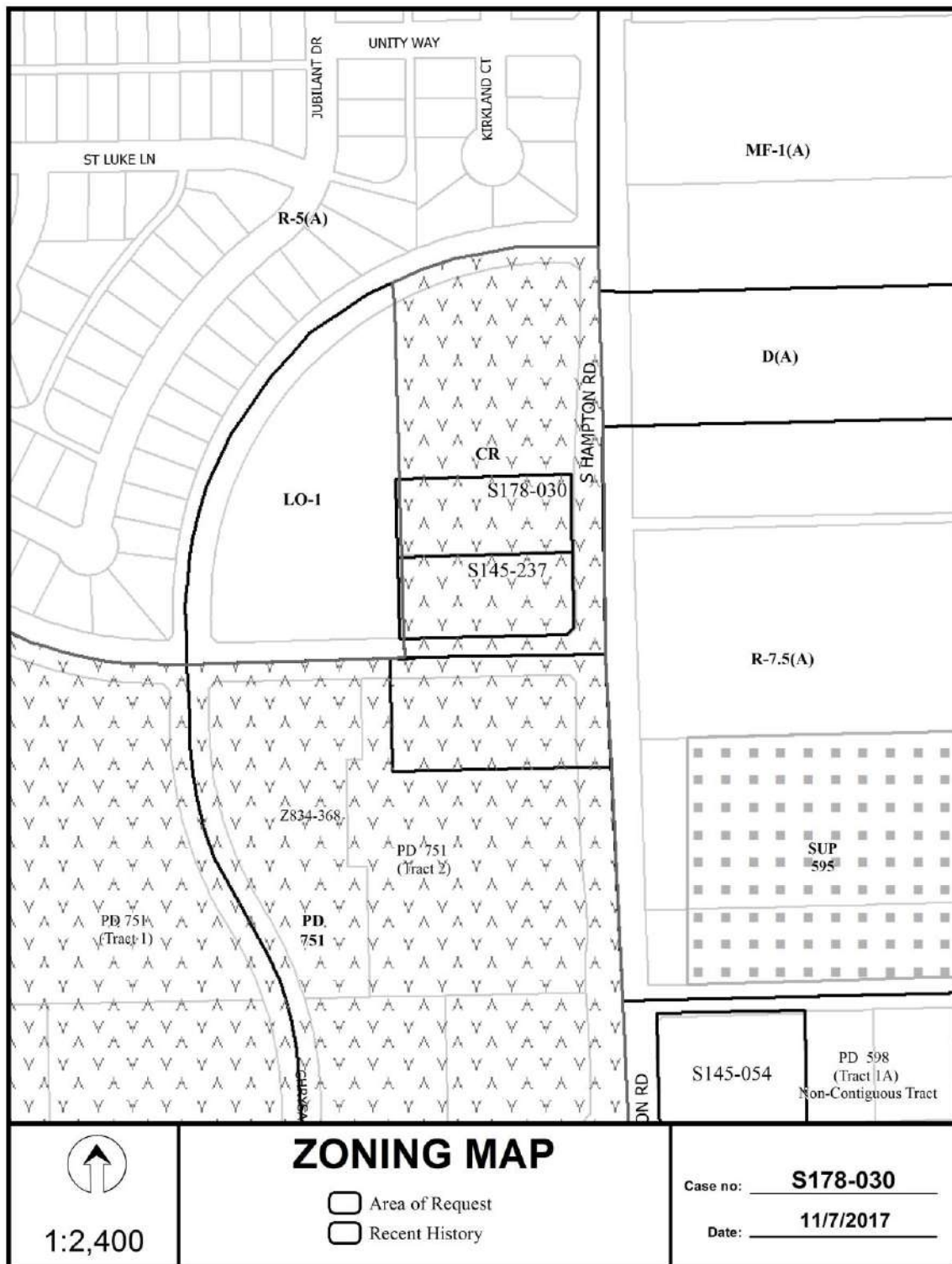
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the

plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.

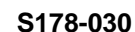
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
12. Provide a detailed lot grading plan prepared by a Professional Engineer. Sections 51A-8.102(c) and 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
13. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a) (1) (A) (xxii).
14. On the final plat, chose a new or different addition name. Platting Guidelines.
15. On the final plat, show and label abstract line.
16. Engineer shall furnish plans for water and sanitary sewer. Developer must furnish a contract for water and sanitary sewer. Sections 49-60(g)(1) and (2) and 49-62(b), (c), and (f)
17. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
18. Water and wastewater main improvements are required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
19. Existing and any proposed water and wastewater easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utilities (DWU) easement size is 20 feet for one utility and 25 feet

for both water and sewer. Larger diameter or deeper mains may require additional width.

20. On the final plat, identify the property as Lot 3 in City Block M/7554. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







LOCATION: Ranch Trail, east of Chaparal Waters Way**DATE FILED:** November 2, 2017**ZONING:** PD 741 (Subarea A)<http://www.dallascityattorney.com/51P/Articles%20Supp%2045/ARTICLE%20741.pdf>**CITY COUNCIL DISTRICT:** 6 **SIZE OF REQUEST:** 2.5054-Acres **MAPSCO:** 11A-R**APPLICANT/OWNER:** Billingsley Company

REQUEST An application to create one 2.5054-acre lot from a tract of land containing part of City Blocks 8467, 8469, and 8470 on property fronting on Ranch Trail, east of Chaparal Waters Way.

SUBDIVISION HISTORY:

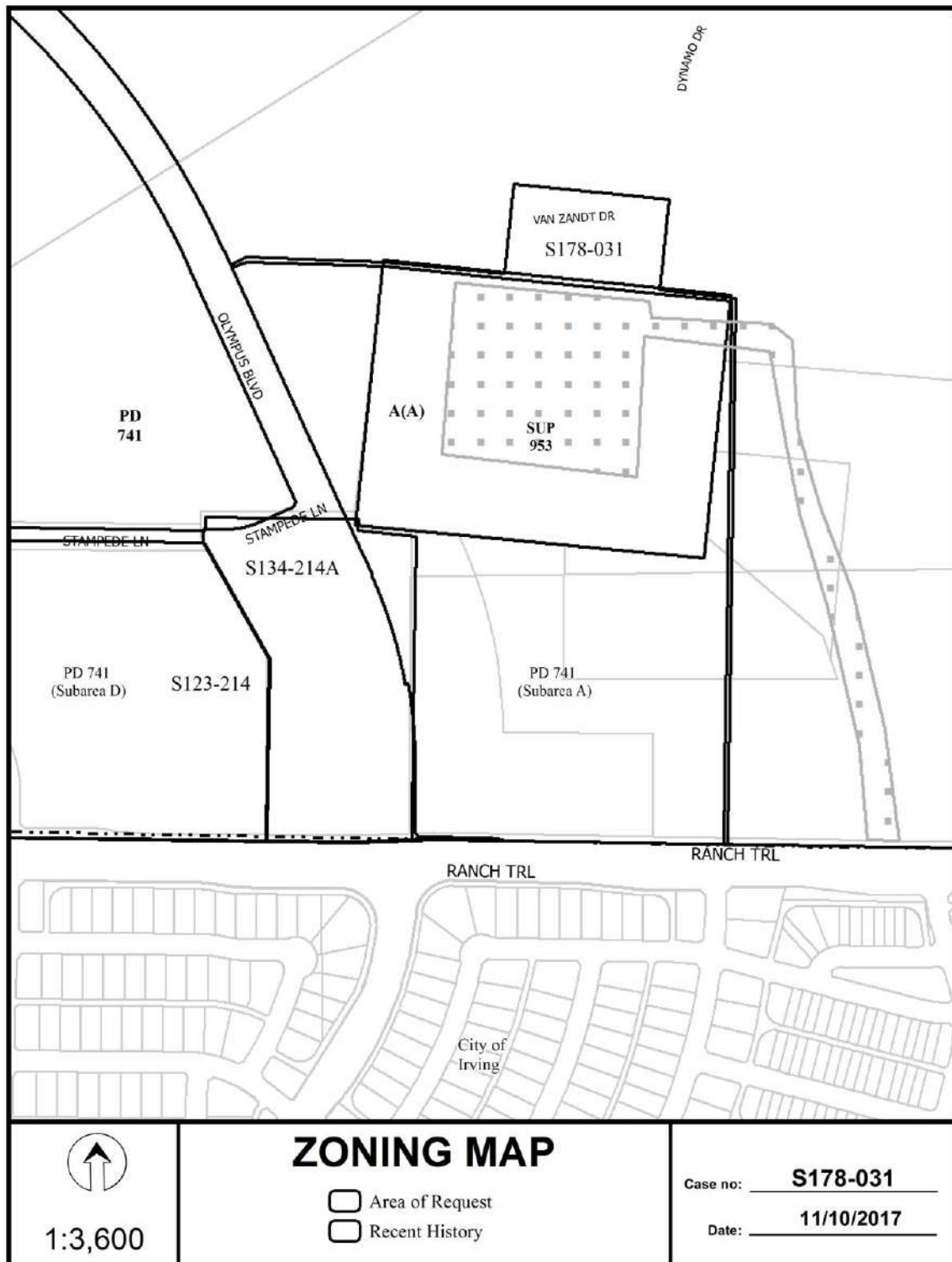
1. S134-214A was a request southwest of the present request to create one 3.823-acre lot to dedicate Olympus Boulevard and Cypress Water Boulevard from a tract of land in City Blocks 8466 and 8468 on property located at the intersection of Olympus Boulevard and Ranch Trail to the extension of Cypress Water Boulevard east of Belt Line Road. The request was approved August 21, 2014 and was recorded March 16, 2016.
2. S123-214 was a request southwest of the present request to create four lots ranging in size from 0.473 acre to 12.444 acres from a 32.196-acre tract of land in City Block 8467 located on Ranch Trail, east of Beltline Road. The request was approved on August 8, 2013 and was recorded May 6, 2016.

STAFF RECOMMENDATION: The proposed replat complies with the requirements of PD 741 (Subarea A); therefore, staff recommends approval of the request subject to compliance with the following conditions:

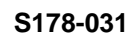
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)

6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
13. On the final plat, determine the 100-year water surface elevation across the plat. Section 51A-8.611(d) and Trinity Watershed Management.
14. On the final plat, dedicate floodway easement, floodway management area, or floodway easement (within common area) with the appropriate easement statement included on the face of the plat. Section 51A-8.611(d) and Trinity Watershed Management, Drainage Design Manual Addendum V.
15. On the final plat, include additional paragraph in owner's certificate (pertaining to floodplain). Section 51A-8.611(d), Trinity Watershed Management; Drainage Manual, Article V.
16. On the final plat, specify minimum fill and minimum finished floor elevations. Section 51A-8.611(d), Trinity Watershed Management.
17. On the final plat, show the natural channel set back from the crest of the natural channel. Section 51A-8.611(d), Trinity Watershed Management.

18. Prior to submission of the final plat, set floodway monument markers and provide documentation that the monuments have been set. Section 51A-8.617(d) (1), (2), (3), and (4).
19. Provide information regarding Fill Permit or Floodplain Alteration Permit if such permit is applied for to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. 51A-5.105(g).
20. Engineer shall furnish plans for water and sanitary sewer. Developer must furnish a contract for water and sanitary sewer. Sections 49-60(g)(1) and (2) and 49-62(b), (c), and (f)
21. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
22. Water and wastewater main improvements are required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
23. On the final plat, change “Ohr Valley Road” to “Lohr Valley Road”. Section 51A-8.403(a)(1)(A)(xii)
24. On the final plat, identify the property as Lot 1 in City Block C/8467. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-033**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** Cabell Drive, Carroll Avenue, Lafayette Street, and Ashby Street**DATE FILED:** November 3, 2017**ZONING:** MF-2(A)**CITY COUNCIL DISTRICT:** 2**SIZE OF REQUEST:** 1.923-Acres**MAPSCO:** 45D**APPLICANT/OWNER:** AHC Development Dallas I, LLC, and AHC Development Prairie Carrol, LLC

REQUEST An application to replat a 1.923-acre tract of land containing Lots 1 through 4, and Lots 7 through 12 and part of two alleys in City Block I/660 to create one lot on property bounded by Cabell Drive, Carroll Avenue, Lafayette Street, and Ashby Street.

SUBDIVISION HISTORY:

1. S167-057 was a request on the present request to replat a 0.516-acre tract of land containing all of Lots 10, 11, and 12 in City Block I/660 to create one lot on property located on Ashby Street at Cabell Drive, east corner. The request was approved January 5, 2017 and was withdrawn November 2, 2017.
2. S167-055 was a request on the present request to replat a 0.516-acre tract of land containing all of Lots 7, 8, and 9 in City Block I/660 into one lot on property located on Lafayette Street at Ashby Street, north corner. The request was approved January 5, 2017 and was withdrawn November 2, 2017.
3. S167-053 was a request west of the present request to replat a 0.344-acre tract of land containing all of Lots 7 and 8 in City Block J/660 into one lot on property located on Cabell Drive, northeast of Ashby Street. The request was approved January 5, 2017 and has not been recorded.
4. S167-052 was a request on the present request to replat a 0.730-acre tract of land containing all of Lots 1 through 4 in City Block I/660 into one lot on property located on Cabell Drive at Carroll Avenue, south corner. The request has been approved administratively on December 27, 2016 and was withdrawn November 2, 2017.
5. S156-204 was a request northwest of the present request to replat 0.172-acre tract of land containing all of Lot 1, City Block 1/1539 to create five, 1,300-square foot lots, and one 753-square foot common area on property located on 2318 Carroll Avenue at Rusk Avenue. The request was approved on January 5, 2016 and has not been recorded.
6. S156-021 was a request northeast of the present request to replat a 0.266-acre tract of land containing all of Lots 7 and 8 in City Block 10/1598 into four lots ranging between 2,818 and 3,033 square feet on property located on Lafayette Street and California Avenue, west corner. The request was approved November 19, 2015 and has not been recorded.

7. S123-196 was request southwest of the present request to create a 4.610-acre lot from a tract of land containing all of Lots 1 through 7 in City Block D/660, Lots 1 through 14 in City Block E/660, part of Lots 8 through 14 in City Block 10/658, all of Lafayette Street to be abandoned between Peak Street and Ashby Street, and all of 15-foot wide alley in City Block E/660 located between Peak Street and Ashby Street. The request was approved on July 25, 2013, and was recorded March 16, 2016.

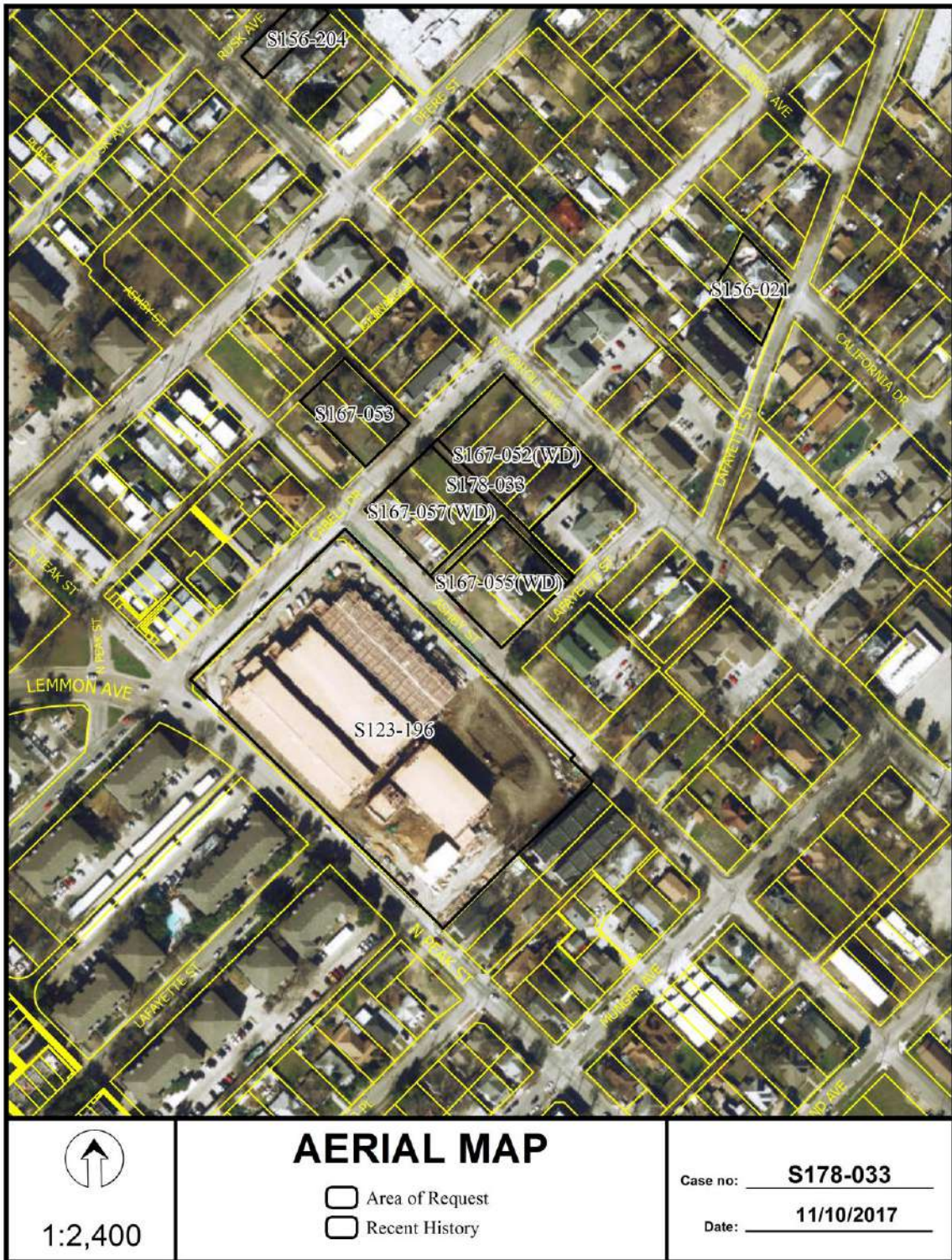
STAFF RECOMMENDATION: The proposed replat complies with the requirements of the MF-2(A) Multifamily District; therefore, staff recommends approval of the request subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. The number of lots permitted by this plat is one.

11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
13. On the final plat, dedicate 28 feet right-of-way/street easement/public utility/sidewalk & utility easement from the established center line of Lafayette Street, Ashby Street, and Cabell Drive. Section 51A 8.602(c).
14. On the final plat, dedicate a 10-foot by 10-foot corner clip at the intersection of Cabell Drive & Carroll Avenue. Section 51A 8.602(d) (1).
15. On the final plat, dedicate a 10-foot by 10-foot corner clip at the intersection of Ashby Street & Lafayette Street. Section 51A 8.602(d) (1).
16. On the final plat, dedicate a 10-foot by 10-foot corner clip at the intersection of Cabell Drive & Ashby Street. Section 51A 8.602(d) (1).
17. Comply with Mill Creek drainage requirement. Finish floor elevation must be 3 feet above nearest inlet, top of curb. Section 51A-8.611(d), C.9 of Mill Creek, Master Drainage Plan Study.
18. On the final plat, show the correct recording information for the subject property. Platting Guidelines.
19. On the final plat, show recording information on all existing easements within 150 feet of the property.
20. On the final plat, list utility easements as retained within street abandonments when stated in the abandonment ordinance, or follow the City of Dallas standard affidavit requirements.
21. On the final plat, show two control monuments. Section 51A-8.617.
22. Engineer shall furnish plans for water and sanitary sewer. Developer must furnish a contract for water and sanitary sewer. Sections 49-60(g)(1) and (2) and 49-62(b), (c), and (f)
23. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.

24. Water and wastewater main improvements are required by private development contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: **Water and Wastewater Engineering**.
25. Existing and any proposed water and wastewater easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utilities (DWU) easement size is 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
26. On the final plat, label abandonment as "Abandonment authorized by Ordinance No. _____ and recorded as Instrument No. _____."
27. On the final plat, change "La Fayette Street" to "Lafayette Street", as named by Ordinance 2559. Section 51A-8.403(a)(1)(A)(xii)
28. On the final plat, identify the property as Lot 1A in City Block I/660. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).







LOCATION: Mockingbird Lane at Ambassador Row, north corner**DATE FILED:** November 3, 2017**ZONING:** IR**CITY COUNCIL DISTRICT:** 6**SIZE OF REQUEST:** 1.795-Acres**MAPSCO:**33T**APPLICANT/OWNER:** Racetrack Petroleum, Inc./Group 701, LLC

REQUEST An application to replat a 1.795-acre tract of land containing part of City Block 45/7940 to create one lot and to remove the existing 50-foot platted building line along Mockingbird Lane and the existing 100-foot platted building line along Ambassador Row on property located on Mockingbird Lane at Ambassador Row, north corner.

SUBDIVISION HISTORY:

1. S178-013 was an application to replat a 3.458-acre tract of land containing all of Lots 1 and 2 in City Block 42/7940 to create one lot and to remove a 50-foot platted building line along Regal Row and to remove a 32.6-foot platted building line along John Carpenter Freeway/Highway 183 on property located at Regal Row and John Carpenter Freeway, south corner. The request was approved November 16, 2017.
2. S167-186 was a request northeast of the present request to replat one 15.0-acre tract of land in City Block K/7940 to create one 1.096-acre lot and one 13.904-acre lot, and to remove the platted 50-foot building line on Mockingbird Lane, remove the platted 40-foot building line on Brookriver Drive, and remove the platted 40-foot building line on Elmbrook Drive on property located on Mockingbird Lane between Brookriver Drive and Elmbrook Drive. The request was denied June 8, 2017.

BUILDING LINE REMOVAL: The Commission may approve a relocation or removal of the platted building line with a minimum front, side, or rear yard setback greater than required by zoning regulation only:

- (1) Upon the affirmative vote of at least three-fourths of the commission members present; and
- (2) If the Commission finds that relocation or removal of the platted building line will not:
 - (i) require a minimum front, side, or rear yard setback less than required by zoning regulation;
 - (ii) The building line on Ambassador Row is 100 feet; the building line on Mockingbird Lane is 50 feet. The removal of the building lines would not

require a front yard setback less than required by the IR or CS Districts, which is 15 feet.

- (iii) be contrary to the public interest;
 - Notices were not sent because the district is not considered a single-family district.
- (iv) adversely affect neighboring properties; and
 - The removal of the building line will have an adverse effect on the properties on Ambassador Row as the 100-foot building line extends from Mockingbird Lane to Currency Drive. The building line is 50 feet on Mockingbird Lane and is located on properties to the northeast and southwest of the request area. All of the adjoining properties have a zoning setback of 15 feet but are developed with structures that are in conformance with the building lines.

The removal of the building lines will have an adverse impact upon the adjoining properties by allowing development to occur between 35 feet (Mockingbird Lane) and 85 feet (Ambassador Row) closer to the front property lines than the adjoining properties thereby adversely affecting the established development pattern.
- (v) adversely affect the plan for the orderly development of the subdivision.
 - The remainder of Block 49/7940 and City Block 7/7940 will retain the 100 - foot platted building line along Ambassador Row and 50 feet along Mockingbird Lane thereby creating the possibility for development that is not consistent with the remainder of the addition.

STAFF RECOMMENDATION OF BUILDING LINE REMOVAL:

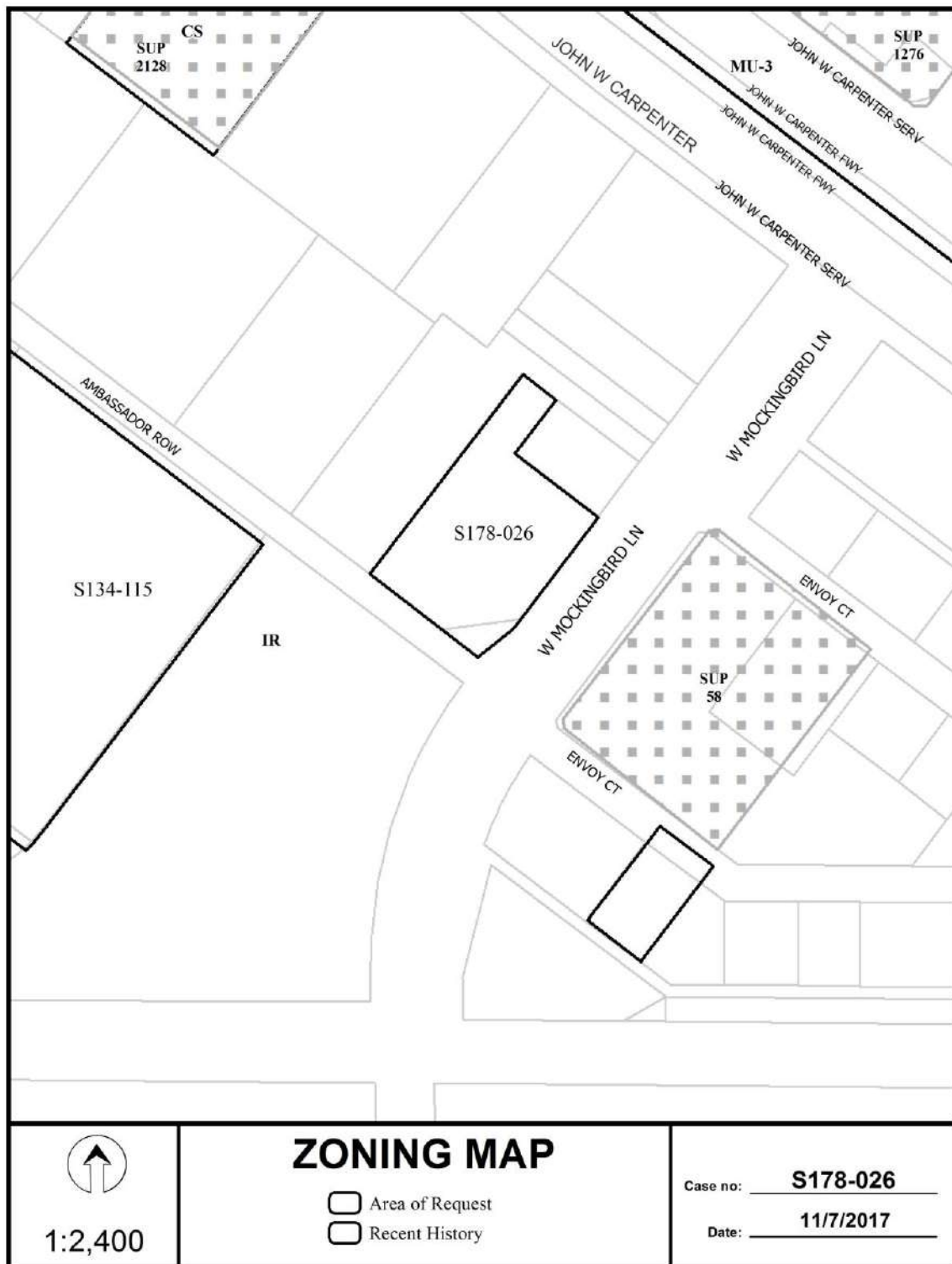
The request is to remove the existing 50-feet on Mockingbird Lane and 100-feet on Ambassador Row. The zoning requires a 15-foot front yard setback along both streets. Staff finds that the request does not comply with the established development pattern of the area and does not conform with Section 51A-8.505 of the Dallas Development Code; therefore, staff recommends denial of removal of the building lines.

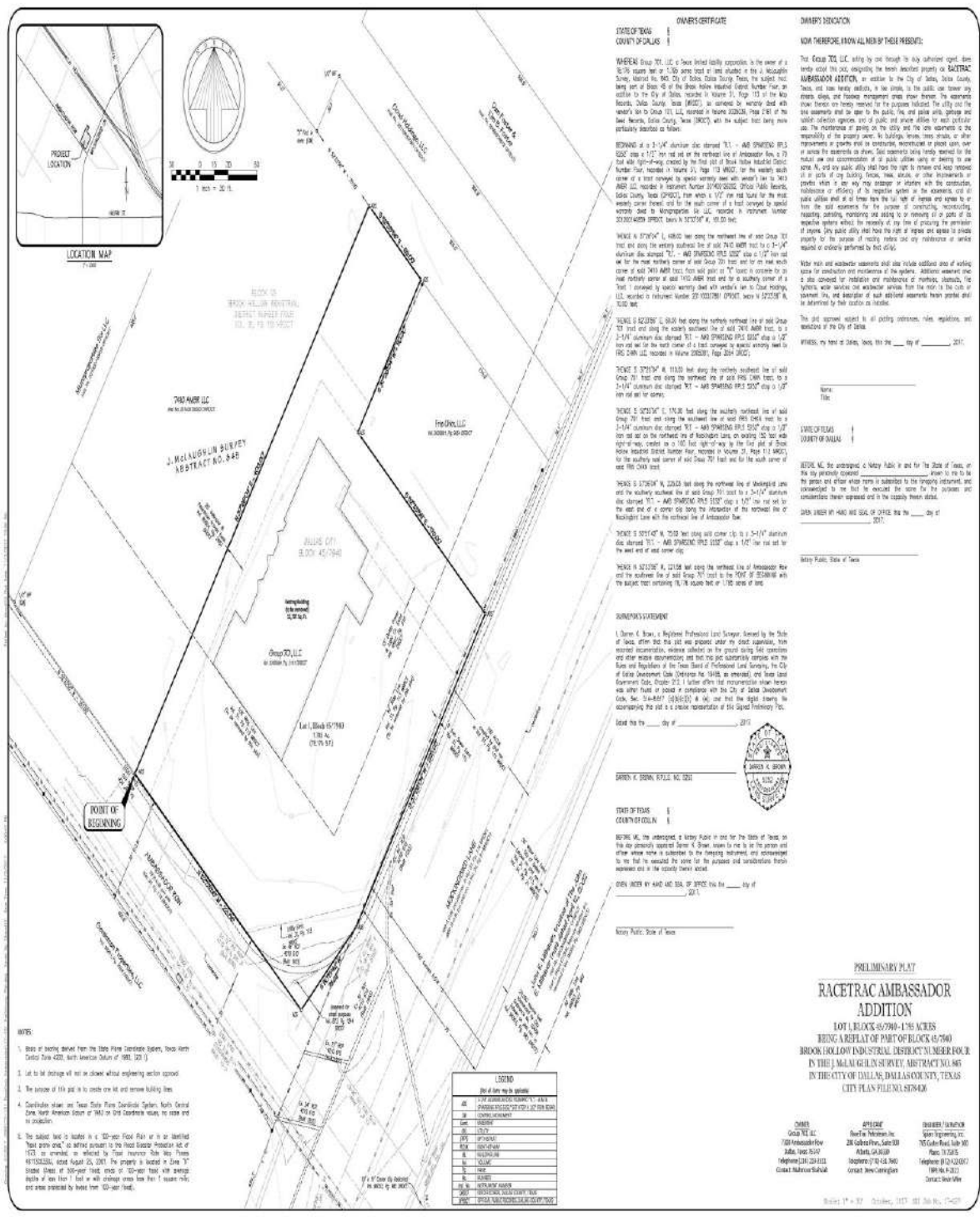
STAFF RECOMMENDATION: The proposed replat complies with the requirements of the IR Industrial/Research District; therefore, staff recommends approval of the plat request subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.

3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.
5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is one.
11. Submit drainage and/or paving plans, prepared by a Professional Engineer, to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b) (4), (5), (6), (7), (8), and (9).
12. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
13. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
14. On the final plat, show recording information on all existing easements within 150 feet of the property.
15. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
16. On the final plat, dedicate street easement in fee simple.

17. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
18. On the final plat, identify the property as Lot 1 in City Block 45/7940. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).





CITY PLAN COMMISSION**THURSDAY, NOVEMBER 30, 2017****FILE NUMBER:** S178-020**SUBDIVISION ADMINISTRATOR:** Paul Nelson**LOCATION:** 5501 Prestwick Lane and 5506 Prestwick Lane, south of Wortham Lane**DATE FILED:** November 1, 2017**ZONING:** TH-2(A)**CITY COUNCIL DISTRICT:** 11 **SIZE OF REQUEST:** 0.6865-Acres**MAPSCO:** 5N**APPLICANT/OWNER:** Ron & Nancy Natinsky, Larry & Kathy Adams

REQUEST An application to replat a 0.6865-acre tract of land containing all of Lots 42 and 43 in City Block 12/8209 to reduce the lot area of Lot 43 and to increase the lot area of Lot 42 with both lots lying within City Block 12/8209 on property located at 5501 Prestwick Lane and 5506 Prestwick Lane, south of Wortham Lane.

SUBDIVISION HISTORY: There has been no recent platting activity within close proximity to this request.

NOTICES: 22 notices were sent to property owners within 200 feet of the property on November 10, 2017.

STAFF RECOMMENDATION: Section 51A-8.503 states that “lots must conform in width, depth, and area to the pattern already established in the adjacent areas, having due regard to the character of the area, its particular suitability for development, and taking into consideration the natural topography of the ground, drainage, wastewater facilities, and the proposed layout of the streets.”

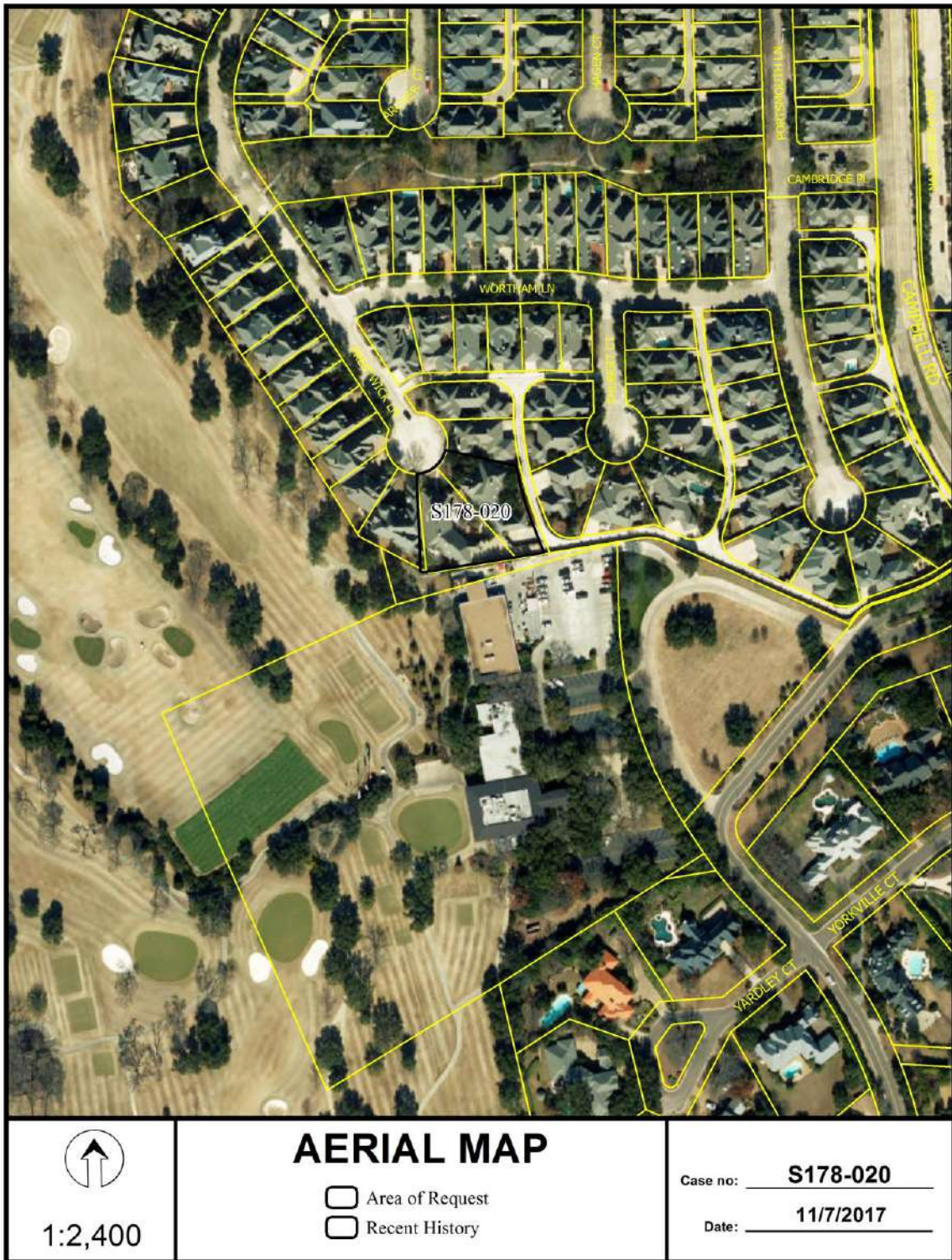
The request is a minor adjustment to the existing lot line between the two lots. The request does not increase nor decrease the number of lots nor does it change the exterior boundary of the application. The existing lots will still comply with the TH-2(A) requirements after the modification to the two lots.

Based on staff’s review, we have determined that the request complies with the standards of the TH-2(A) Townhouse District, and with Section 51A-8.503; therefore, we recommend **approval** of the request subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants, must comply with the Dallas Fire Code.

5. Any structure new or existing structure may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal after City Plan Commission Approval.
10. The number of lots permitted by this plat is two.
11. Place a note on the final plat stating "Lot-to-lot drainage is not permitted without Engineering Section approval." Section 51A-8.611(e).
12. Provide a detailed lot grading plan prepared by a Professional Engineer. Sections 51A-8.102(c) and 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. On the final plat, show the correct recording information for the subject property. Platting Guidelines.
14. On the final plat, chose a new or different addition name. Platting Guidelines.
15. Proposed property line is three feet away from the southwest side wall of the existing one-story building on Lot 43A. A property line thus proposed must result in a fire resistive wall with openings limited to 25 percent of the wall area. Prior to submittal of final plat for the Chairman's signature, all final inspections approved by the building inspections district office are required.
16. On the final plat, identify the property as Lots 42A and 43A in City Block 12/8209. Ordinance 1A, pages 131-148, section 2 (passed August 13, 1872).





FILE NUMBER: M167-048

DATE FILED: August 24, 2017

LOCATION: South side of Lake June Road, west of St. Augustine Drive

COUNCIL DISTRICT: 5

MAPSCO: 59-K

SIZE OF REQUEST: ±2.86 acres

CENSUS TRACT: 118.00

APPLICANT/OWNER: 9500 Lake June, LLC

REPRESENTATIVE: Roger Albright

REQUEST: An application for a minor amendment to the site plan for Specific Use Permit No. 2184 for a mini-warehouse use on property zoned a CR-D Community Retail District with a D Liquor Control Overlay.

SUMMARY: On April 13, 2016, the City Council passed Ordinance No. 30060 which established Specific Use Permit No. 2184 for a mini-warehouse use on property at the above referenced location.

At this time, the representative requests consideration of a minor amendment to the site plan to revise the building configuration by combining two buildings into one and creating designated handicapped units. While the overall floor area has increased by 975 square feet there are no changes to the overall maximum floor area of 54,450 square feet that was approved by City Council.

The requested minor amendment does not impact any of the other provisions of the ordinance permitting this use.

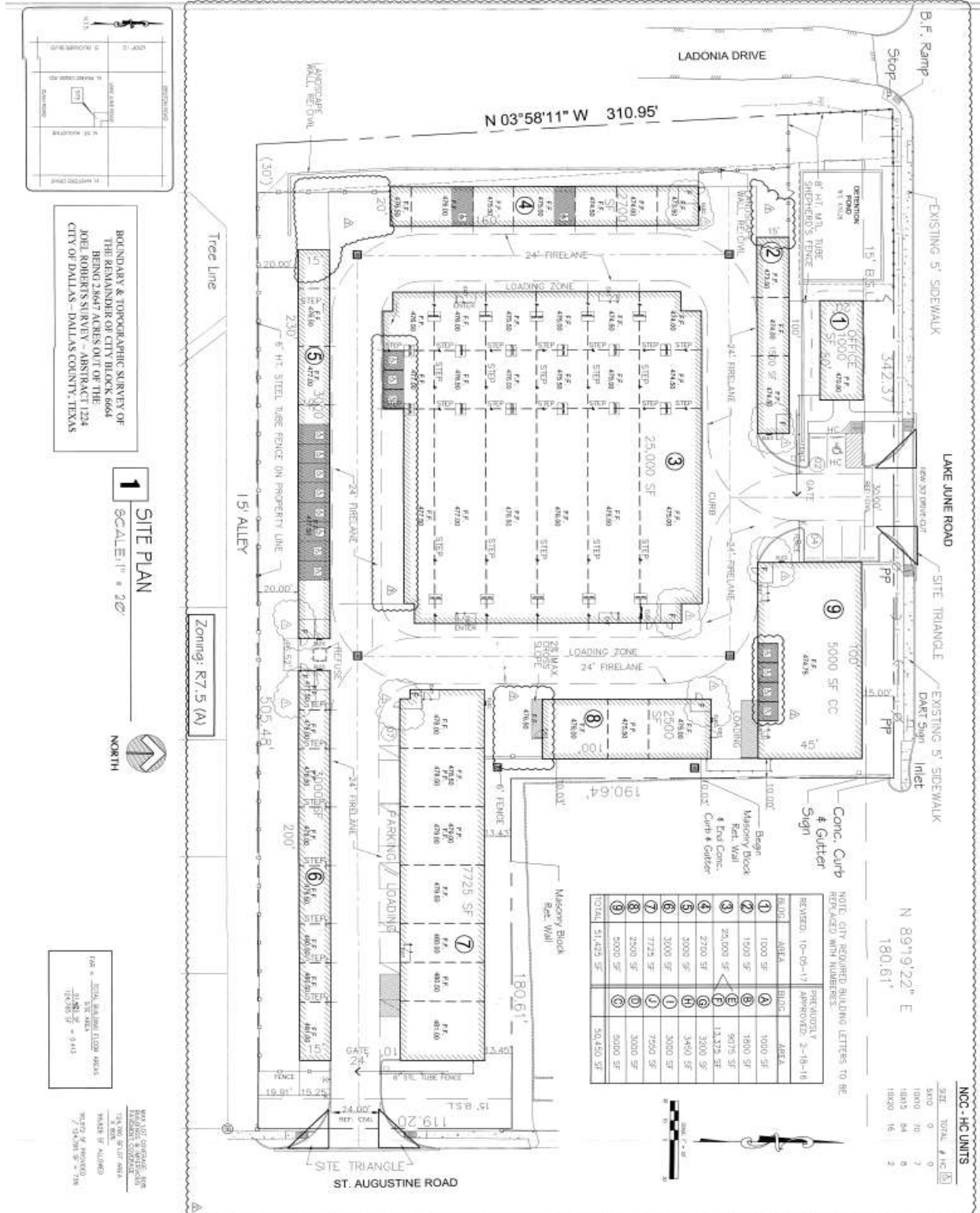
STAFF RECOMMENDATION: Approval

List of Partners/Principals/Officers

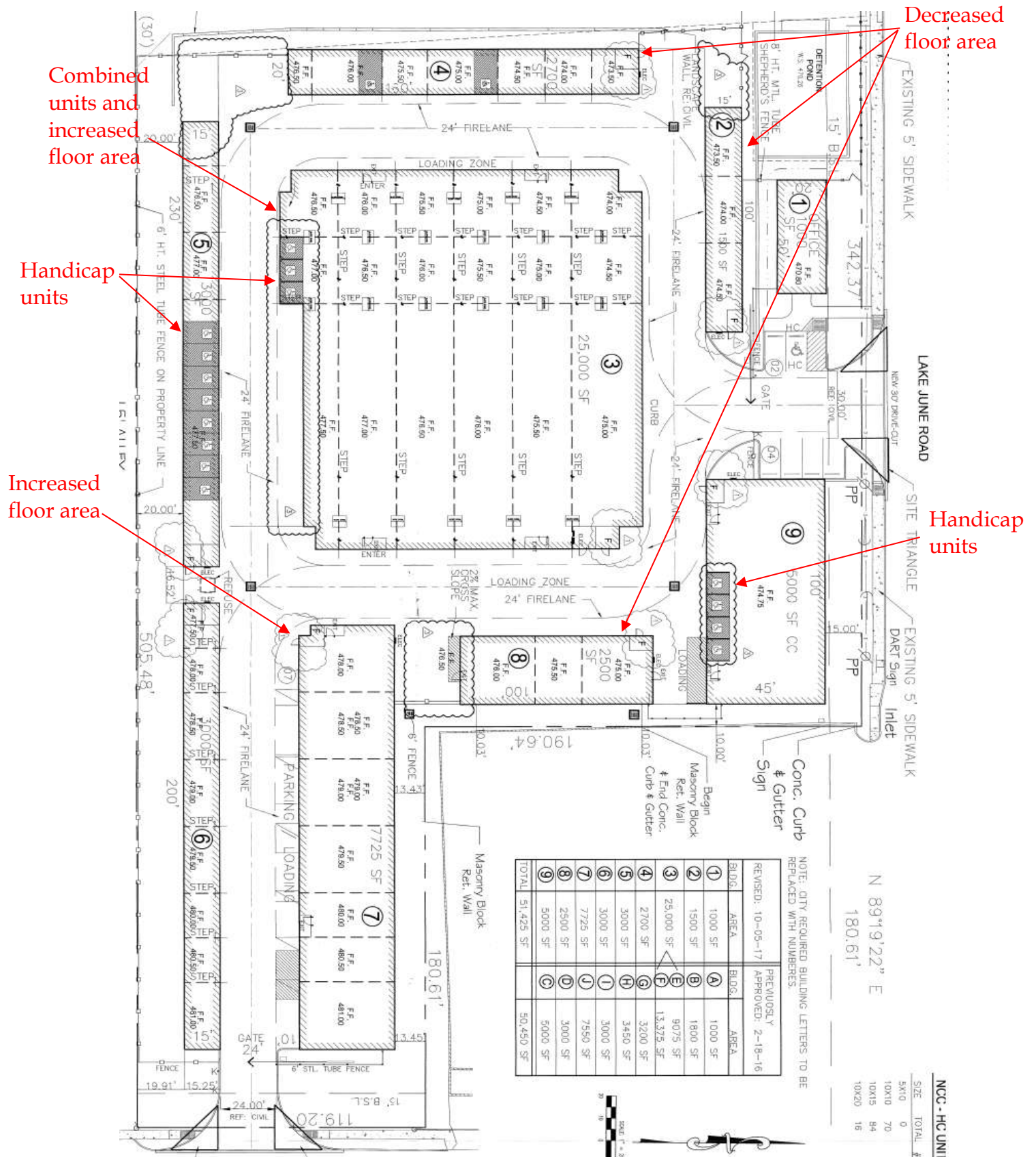
9500 Lake June, LLC

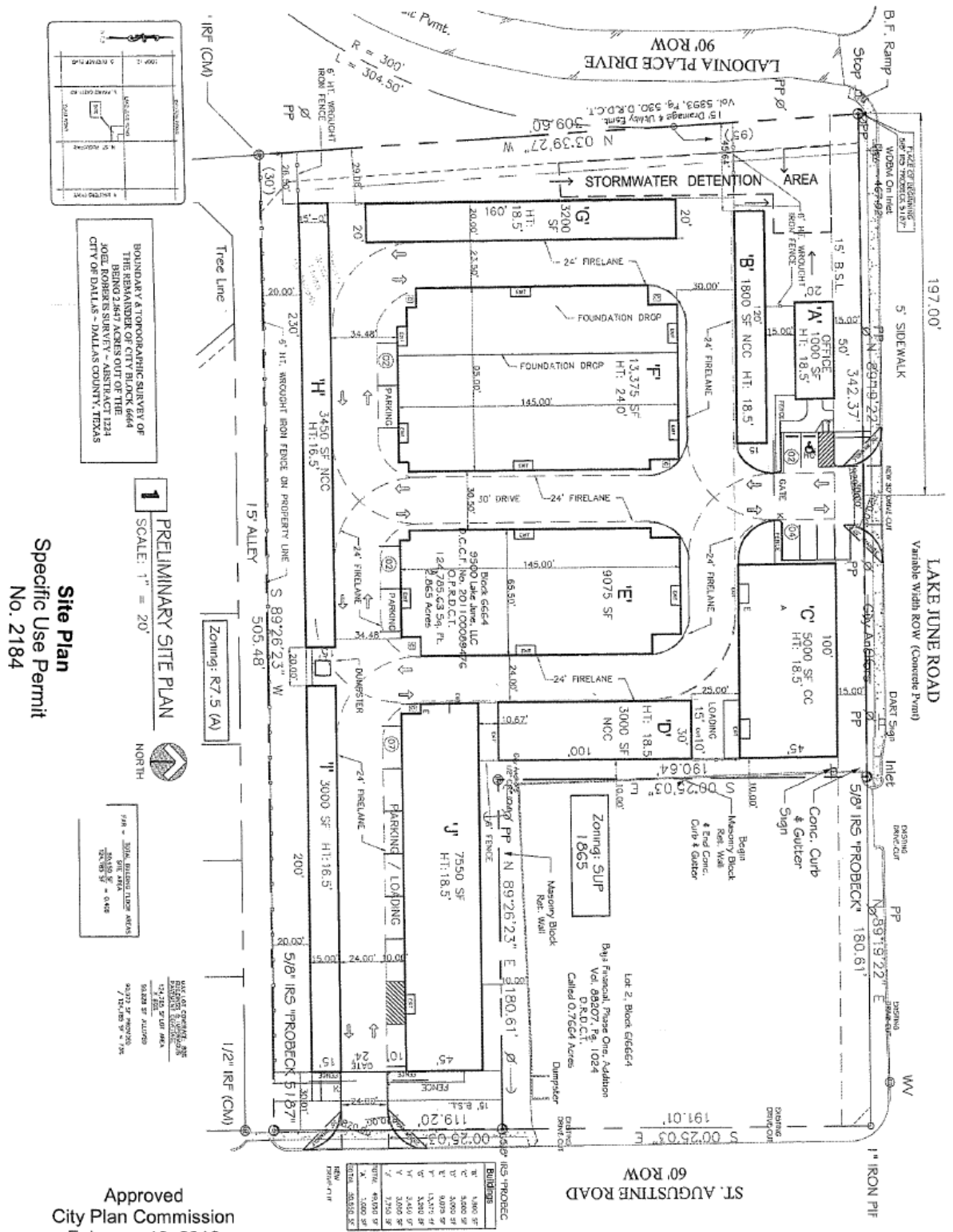
Noorallah Jooma, Manager

Proposed Site Plan



Enlarged Proposed Site Plan





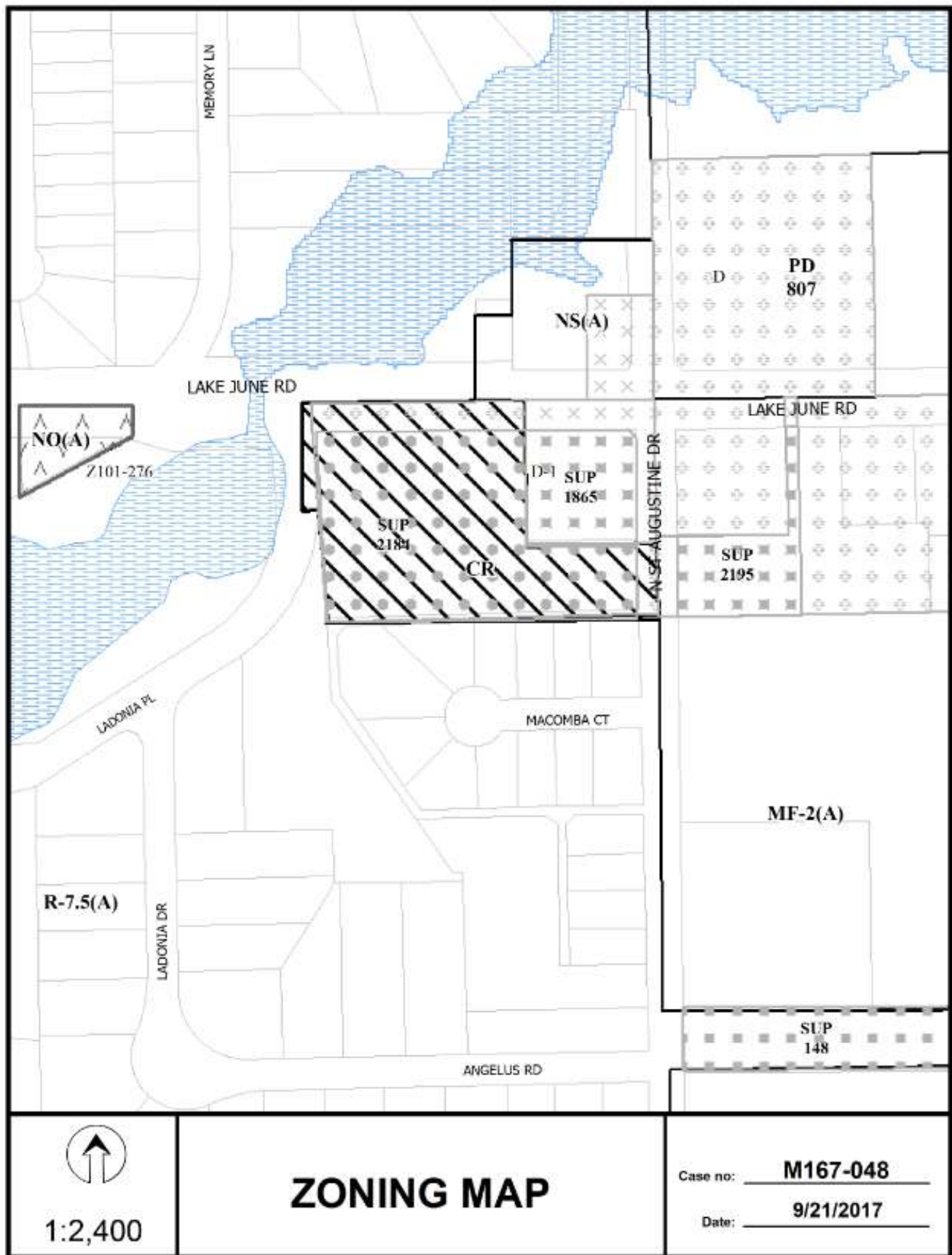
Site Plan
Specific Use Permit
No. 2184

Approved
City Plan Commission
February 18, 2016

AKE JUNE SELF STORAGE
3500 Lake June Road
Dallas, Texas

Winterberry Development, LLC
2727 I-35 Freeway Suite 1020
Dallas, TX 75234

MAULDIN
ARCHITECTS
San Antonio, Texas 210-313-3197
www.MauldinArchitects.com info@MauldinArchitects.com

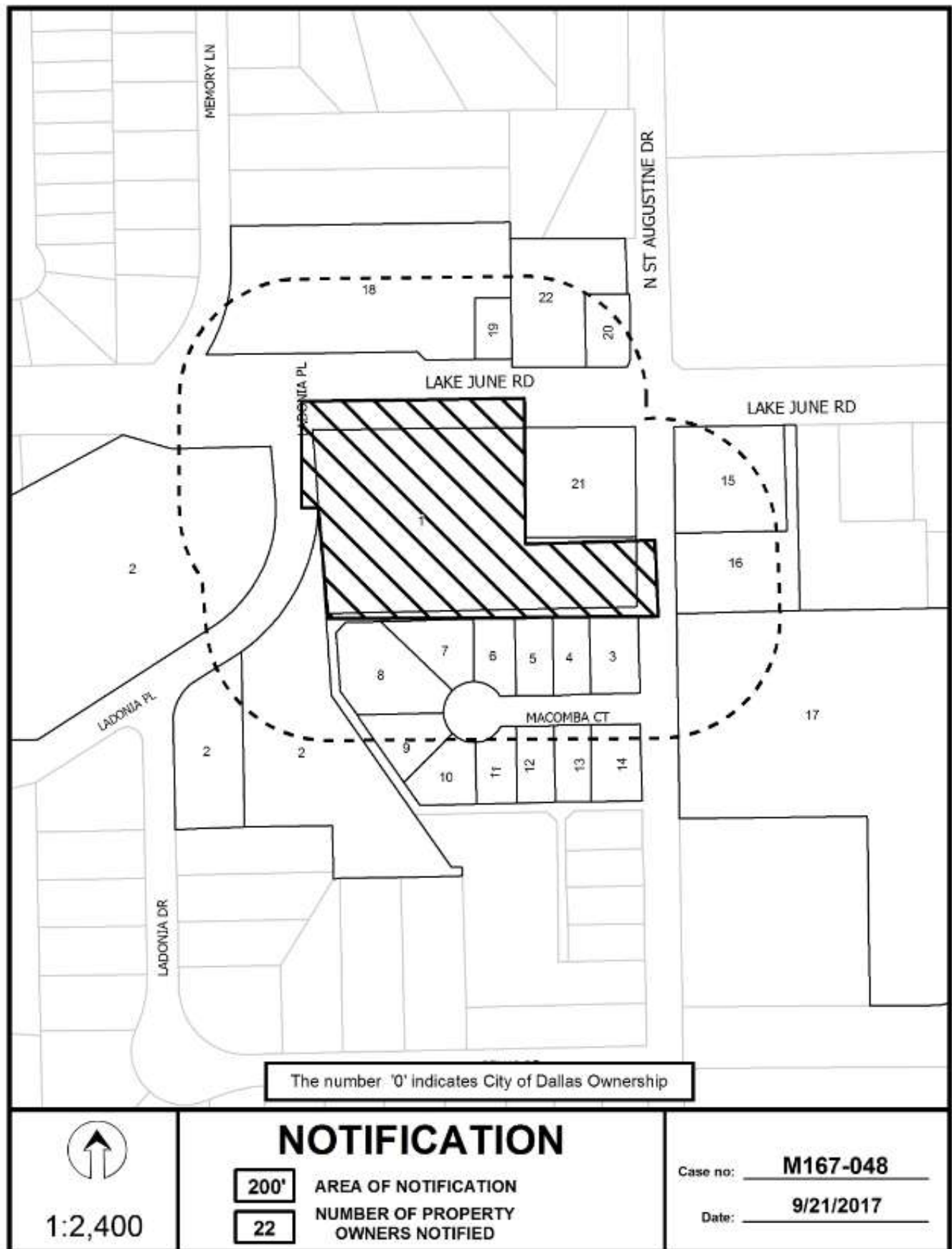




Aerial Map

M167-048

Printed Dated: 11/14/2017



Notification List of Property Owners

M167-048

22 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	9500 LAKE JUNE RD	9500 LAKE JUNE LLC
2	1204 LADONIA DR	ROMAN CATHOLIC DIOCESE DALLAS
3	9523 MACOMBA CR DR	RUIZ ERNESTO
4	9519 MACOMBA CR DR	AGUIRRE PORFIRIO PINEDA &
5	9515 MACOMBA CR DR	VENEGAS J GUARDALUPE MENDOZA &
6	9511 MACOMBA CR DR	COWLING JOSEPH F
7	9507 MACOMBA CR DR	PINEDA ELBA &
8	9503 MACOMBA CR DR	RESI SFR SUB LLC
9	9504 MACOMBA CR DR	GRIFFIN BILLY D
10	9508 MACOMBA CR DR	ESPINOZA FLAVIO S &
11	9512 MACOMBA CR DR	FIGUEROA MANUEL &
12	9516 MACOMBA CR DR	HERNANDEZ JOSE MAURICIO P &
13	9520 MACOMBA CR DR	ALLSUP MARIA S
14	9524 MACOMBA CR DR	BOWEN G C
15	9600 LAKE JUNE RD	TORRES ANTONIO &
16	1230 N ST AUGUSTINE RD	REZAEIZADEH MASOUD &
17	1198 ST AUGUSTINE DR	LA HACIENDA LLC
18	1310 MEMORY LN	WINN KENNETH B
19	9501 LAKE JUNE RD	HERNANDEZ RODOLFO & SOCORRO
20	9545 LAKE JUNE RD	SWEETWATER ASSOCIATES
21	1200 ST AUGUSTINE RD	EVEREST FINANCIAL CORP
22	9543 LAKE JUNE RD	LEE CHY D

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)
DOWNTOWN (GENERAL CBD)**

CASE NUMBER: 1705150026

DATE FILED: May 15, 2017

LOCATION: 400 S. Record Street (east elevation) **SIZE OF REQUEST:** 700 square feet

COUNCIL DISTRICT: 2

ZONING: CA-1(A)

MAPSCO: 45-P

APPLICANT: Gary McMillen

CONTRACTOR: Environmental Signage Solutions, Inc.

OWNER/TENANT: CES Holdings, Inc./City Electric Supply

REQUEST: An application for a Certificate of Appropriateness by Gary McMillen of Environmental Signage Solutions, Inc. for a 700-square-foot upper level attached sign at 400 S. Record Street (east elevation).

SUMMARY: The applicant will construct an upper level flat attached sign that will read "CES City Electric Supply" with the company logo.

STAFF RECOMMENDATION: Approval

SSDAC RECOMMENDATION: Approval

PRIOR ACTION AND UPDATE: The City Plan Commission held this item under advisement on the following dates: July 20; August 3; August 17; September 7; September 28; and October 19, 2017.

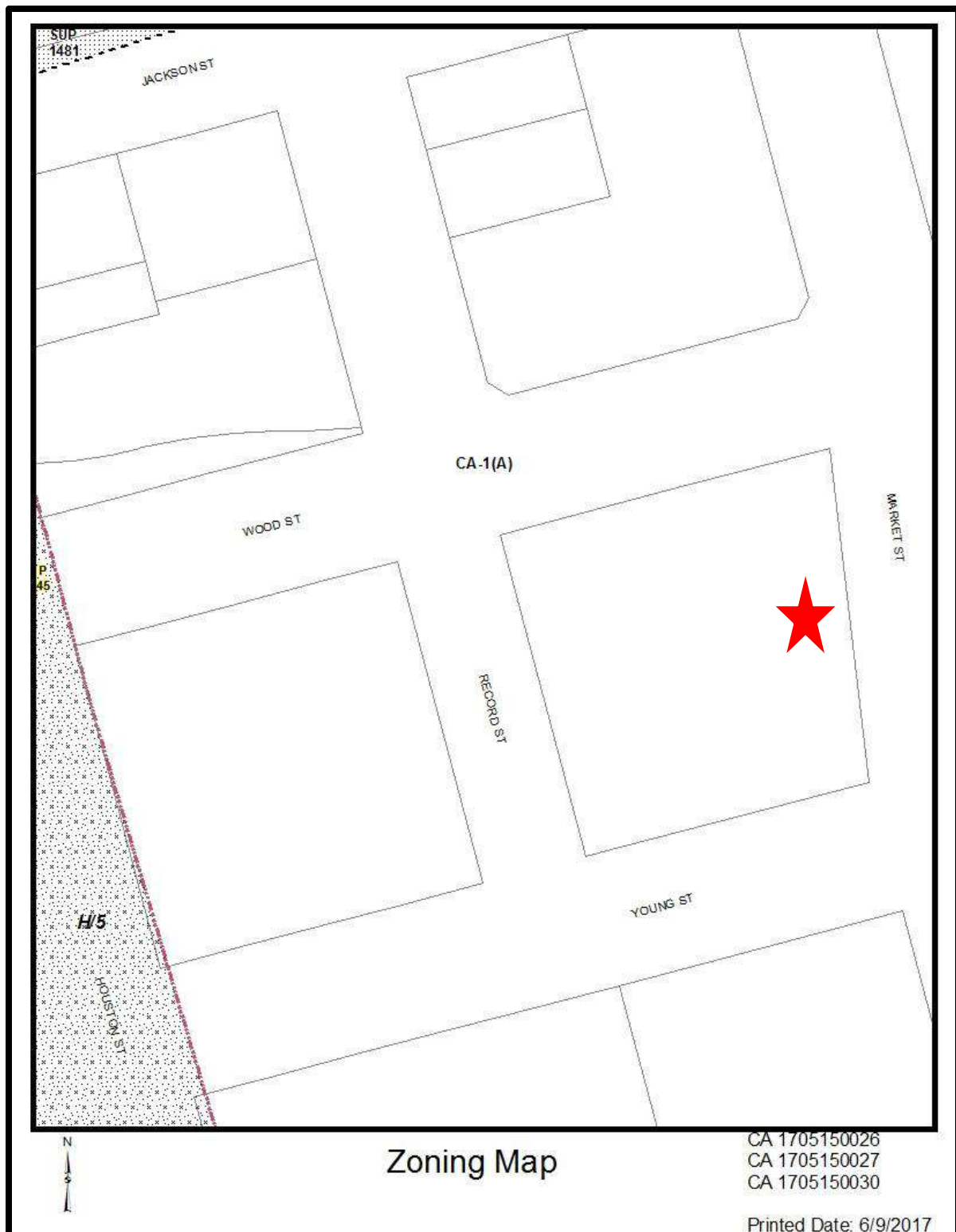
BACKGROUND:

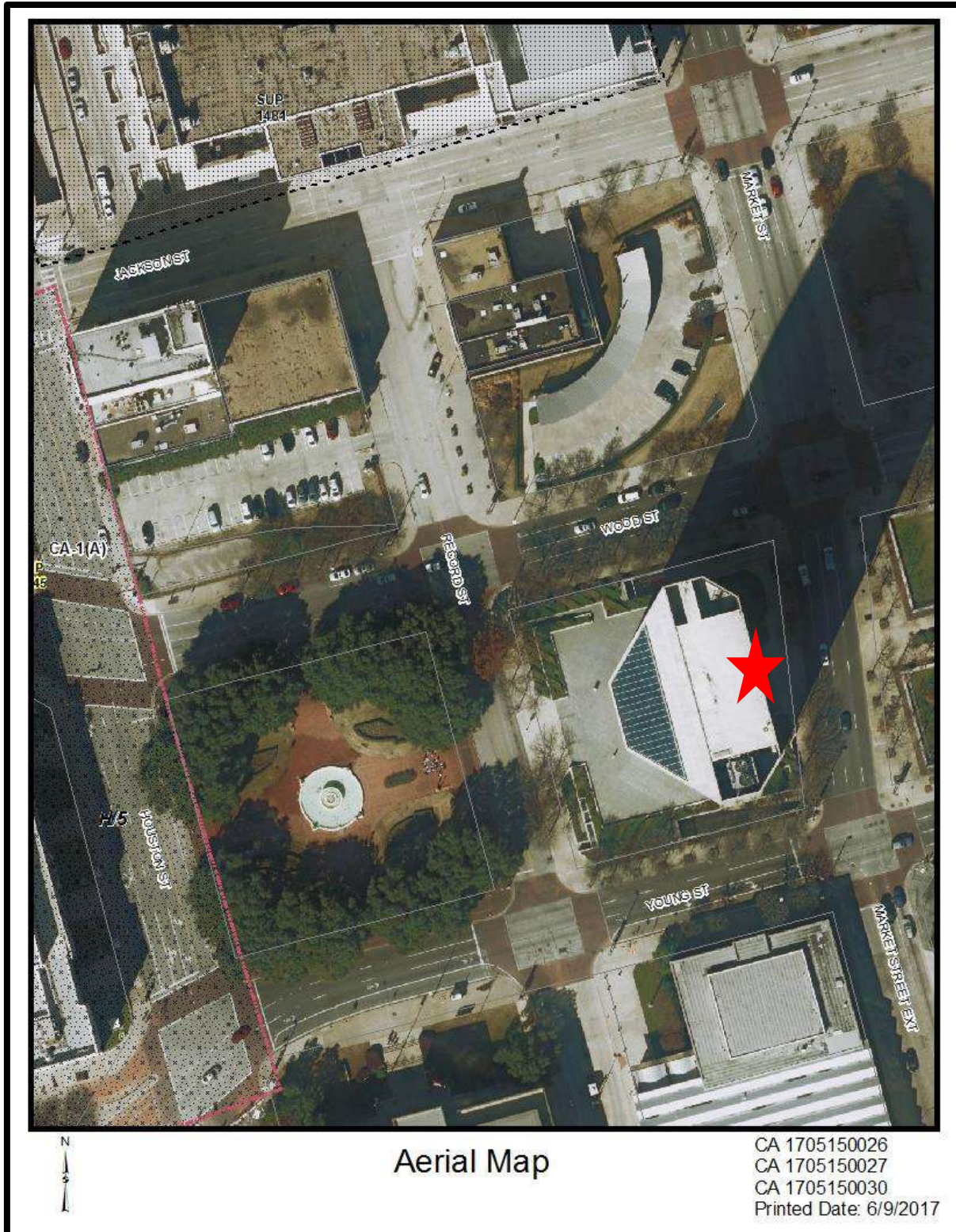
- The subject site is located in the Downtown (General CBD) SPSPD.
- The request is for an *upper level sign*, which is an attached sign wholly situated within the upper level sign area. The *upper level sign area* is the portion of a facade more than 36 feet above grade and within the top 12 feet of a facade on buildings 18 stories or less, or within the top 36 feet of a facade on buildings more than 18 stories.
- The total effective area of an upper level sign may not exceed 30% of the upper level sign area, per Section 51A-7.911 Attached Premise Signs.
- The upper level sign area is approximately 4,320 sq. ft. X 30% = 1,296 square feet. The proposed sign is 700 square feet. It will be located on the east elevation, approximately 234 feet above grade. Signage will be internally illuminated and will be constructed of fabricated aluminum.
- Construction of the upper level attached sign is in accordance with SPSPD regulations and meets the requirements of the Dallas City Code per SEC. 51A-7.911(e)(3)

(3) Upper level flat attached signs.

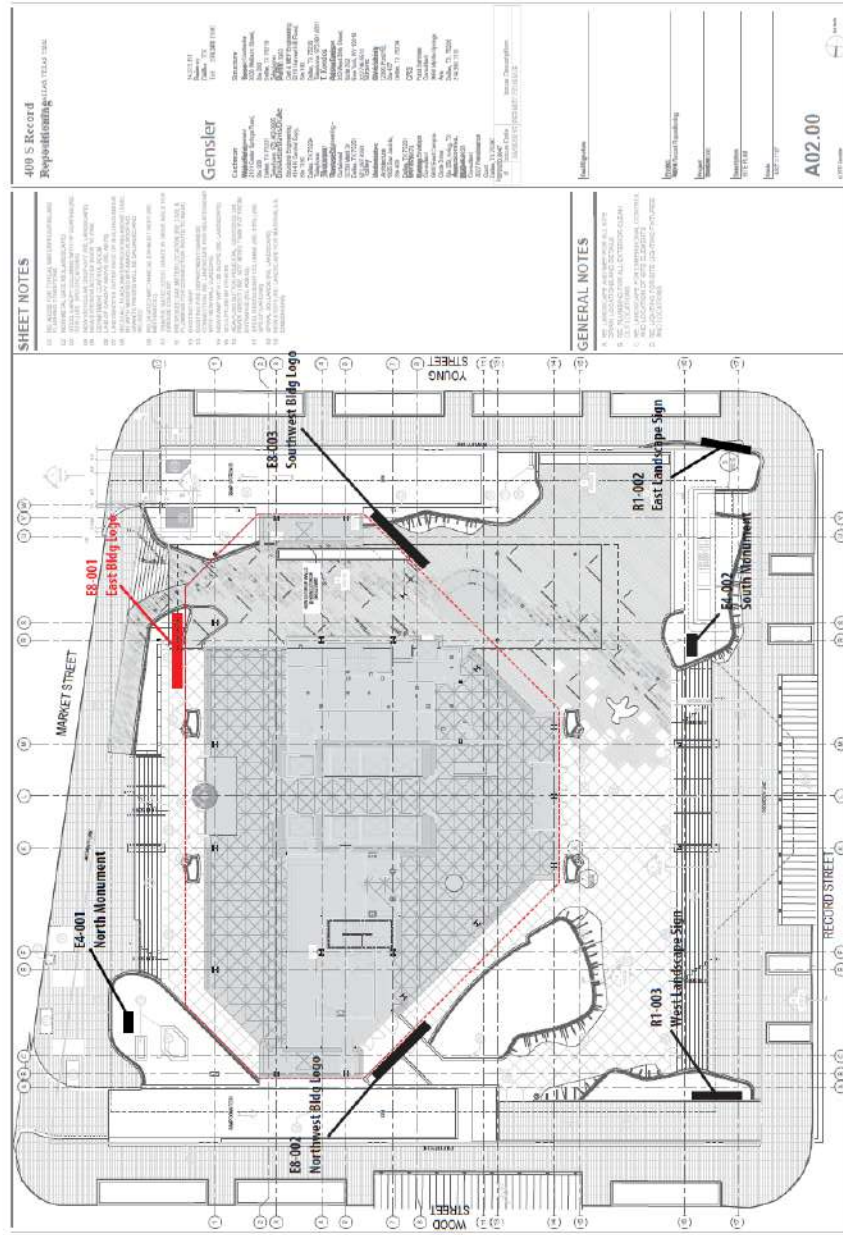
(A) Each upper level flat attached sign may have a maximum of eight words that contain any character of a height equal to or exceeding four inches. [The sign contains three words, three individual channel letters and a logo graphic]

(B) Upper level flat attached signs must be wholly located within the upper level sign area. [The sign is wholly in the upper level sign area]





Overall Signage Layout



Environmental Signage Solutions
8181 Je tstar Drive
Irving, TX 75063
www.atsignage.com





**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)
DOWNTOWN (GENERAL CBD)**

CASE NUMBER: 1706190012

DATE FILED: June 19, 2017

LOCATION: 400 S. Record St (south elevation) **SIZE OF REQUEST:** 313 square feet

COUNCIL DISTRICT: 2

ZONING: CA-1(A)

MAPSCO: 45-P

APPLICANT: Gary McMillen

CONTRACTOR: Environmental Signage Solutions, Inc.

OWNER/TENANT: CES Holdings, Inc./City Electric Supply

REQUEST: An application for a Certificate of Appropriateness by Gary McMillen of Environmental Signage Solutions, Inc. for a 313-square-foot upper level attached sign at 400 S. Record Street (south elevation).

SUMMARY: The applicant will construct an upper level flat attached sign that will read "CES City Electric Supply" with the company logo.

SSDAC RECOMMENDATION: Approval

STAFF RECOMMENDATION: Approval

PRIOR ACTION AND UPDATE: The City Plan Commission held this item under advisement on the following dates: August 17; September 7; September 28; and October 19, 2017.

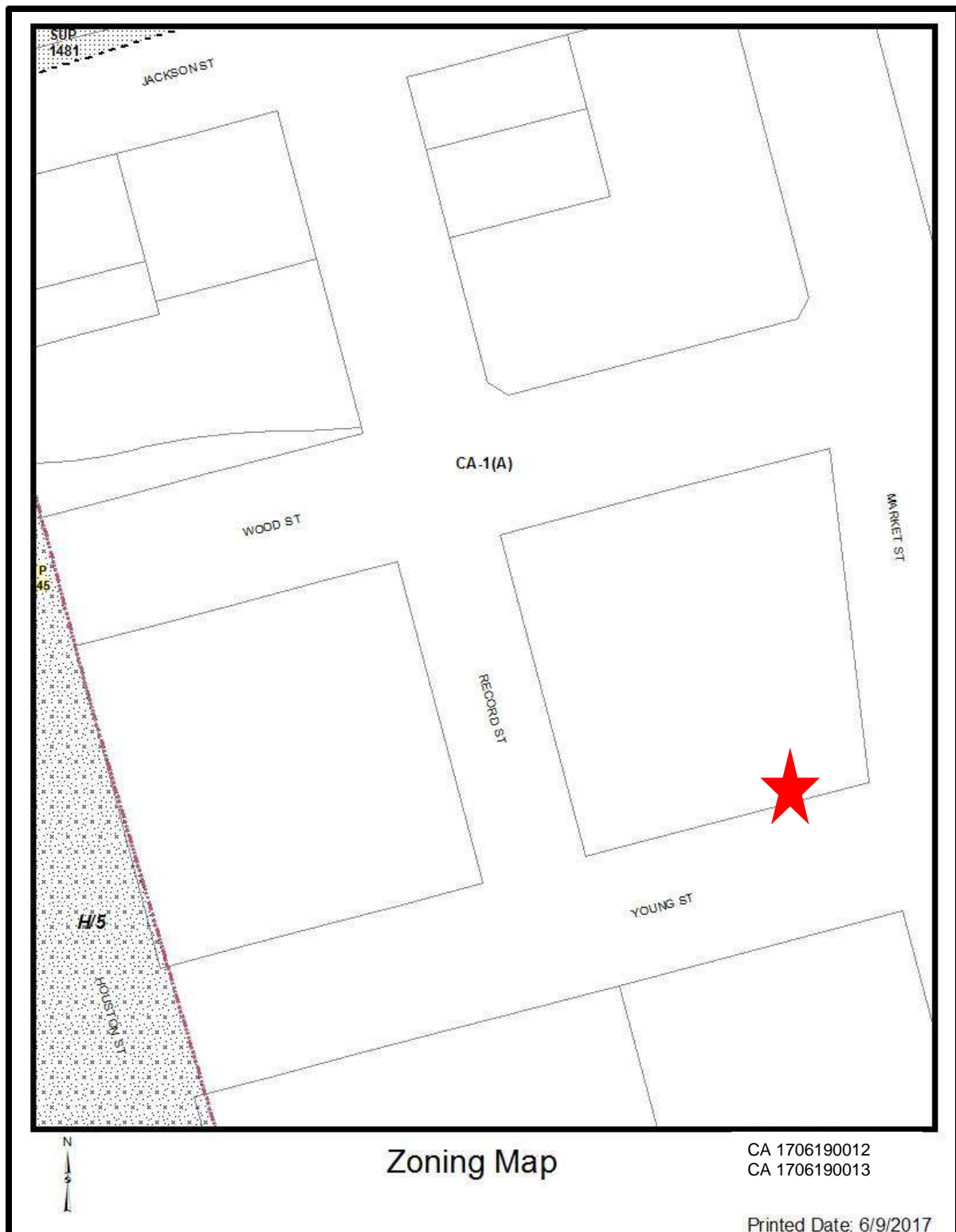
BACKGROUND:

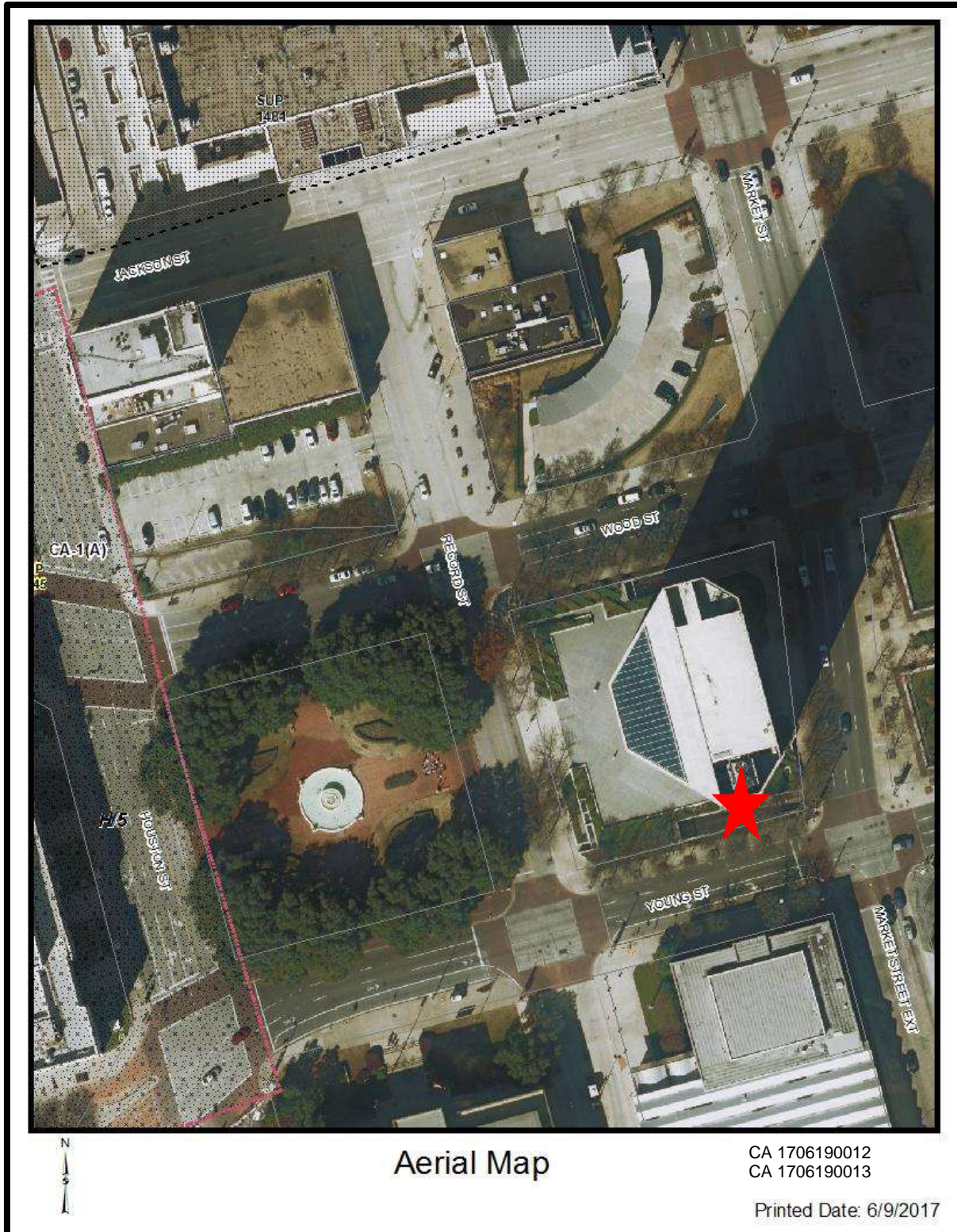
- The subject site is located in the Downtown (General CBD) SPSPD.
- The request is for an *upper level sign*, which is an attached sign wholly situated within the upper level sign area. The *upper level sign area* is the portion of a facade more than 36 feet above grade and within the top 12 feet of a facade on buildings 18 stories or less, or within the top 36 feet of a facade on buildings more than 18 stories.
- The total effective area of an upper level sign may not exceed 30% of the upper level sign area, per Section 51A-7.911 Attached Premise Signs.
- The upper level sign area is approximately 1,080 sq. ft. X 30% = 324 square feet. The proposed sign is 313 square feet. It will be located on the south elevation, approximately 234 feet above grade. Signage will be internally illuminated and will be constructed of fabricated aluminum.
- Construction of the upper level attached sign is in accordance with SPSPD regulations and meets the requirements of the Dallas City Code per SEC. 51A-7.911(e)(3)

(3) Upper level flat attached signs.

(A) Each upper level flat attached sign may have a maximum of eight words that contain any character of a height equal to or exceeding four inches. [The sign contains three words, three individual channel letters and a logo graphic]

(B) Upper level flat attached signs must be wholly located within the upper level sign area. [The sign is wholly in the upper level sign area]

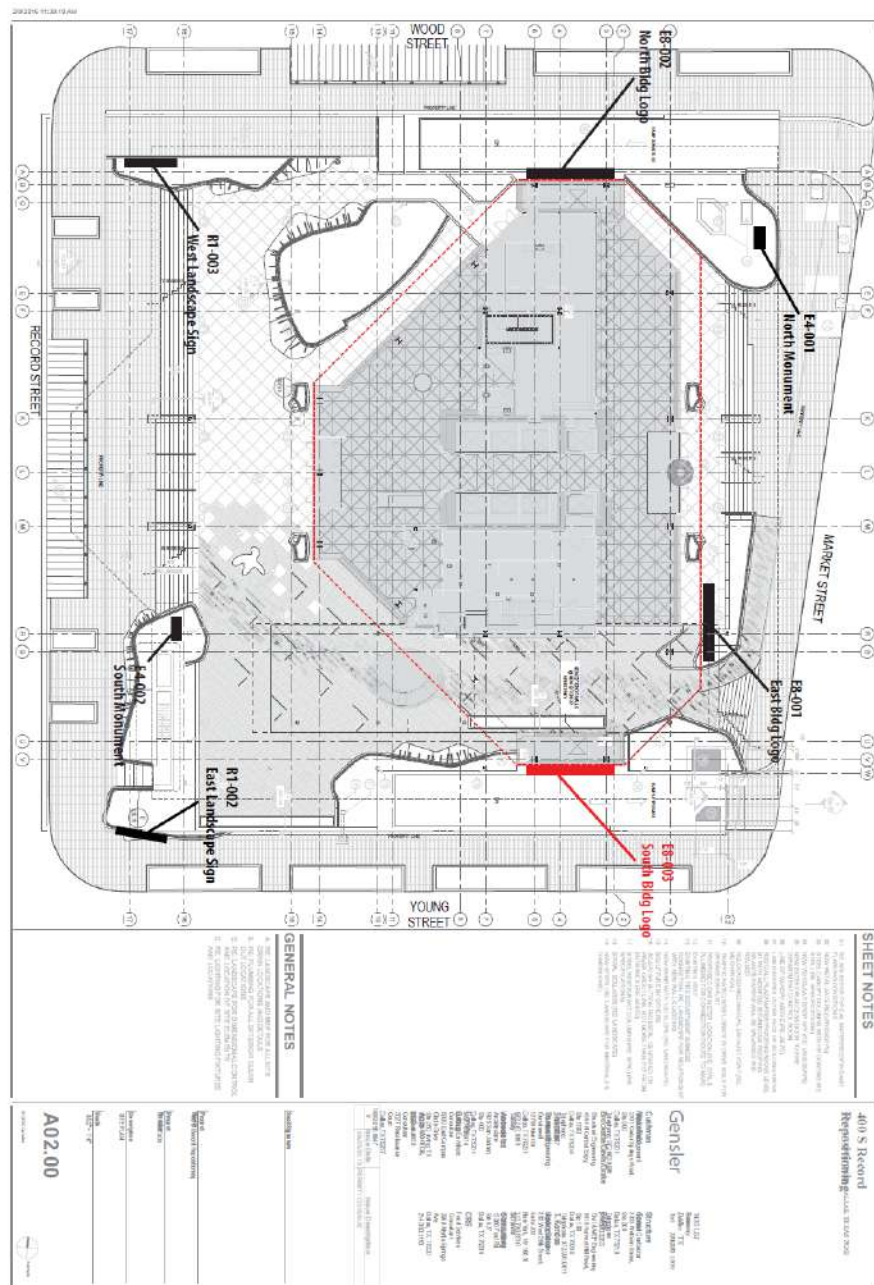




Overall Signage Layout



Environmental Signage Solutions
8181 Jeblar Drive
Irving, TX 75063
www.essignage.com



Sign Details

Material Description:
Material: Aluminum, 1/2" x 1/2" x 1/2"

Material Type:
☐ Clear Acrylic
☐ 75% White Acrylic
☐ Non-Glare Acrylic
☐ Photochromic
☒ Other: Aluminum

Process:
☐ Screen Print
☐ Hot Stamped
☒ Hot Digital
☐ Inkjet
☐ Hot Embossed

Image Colors:
☐ PMS 3005C (Blue/Green)
☐ PMS 685C (Red/Green)
☐ Gray/Green (Green)
☐ PMS 3005C (Blue/Green)

Background Colors/Finishes:
☐ Iron, White Metal (Silver Box)
☐ Black
☐ PMS 685C (Red/Green)

Clear Coat:
☒ Glass
☐ Matte
☐ None

Mounting:
☐ Standard - see drawing.
☐ Custom - see drawing.

Electrical Connection:
Please provide:
(1) 120V/240V circuits to each sign location

Legal Notice:
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Material Description:
Material: Aluminum, 1/2" x 1/2" x 1/2"

Material Type:
☐ Clear Acrylic
☐ 75% White Acrylic
☐ Non-Glare Acrylic
☐ Photochromic
☒ Other: Aluminum

Process:
☐ Screen Print
☐ Hot Stamped
☒ Hot Digital
☐ Inkjet
☐ Hot Embossed

Image Colors:
☐ PMS 3005C (Blue/Green)
☐ PMS 685C (Red/Green)
☐ Gray/Green (Green)
☐ PMS 3005C (Blue/Green)

Background Colors/Finishes:
☐ Iron, White Metal (Silver Box)
☐ Black
☐ PMS 685C (Red/Green)

Clear Coat:
☒ Glass
☐ Matte
☐ None

Mounting:
☐ Standard - see drawing.
☐ Custom - see drawing.

Electrical Connection:
Please provide:
(1) 120V/240V circuits to each sign location

Legal Notice:
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Material Description:
Material: Aluminum, 1/2" x 1/2" x 1/2"

Material Type:
☐ Clear Acrylic
☐ 75% White Acrylic
☐ Non-Glare Acrylic
☐ Photochromic
☒ Other: Aluminum

Process:
☐ Screen Print
☐ Hot Stamped
☒ Hot Digital
☐ Inkjet
☐ Hot Embossed

Image Colors:
☐ PMS 3005C (Blue/Green)
☐ PMS 685C (Red/Green)
☐ Gray/Green (Green)
☐ PMS 3005C (Blue/Green)

Background Colors/Finishes:
☐ Iron, White Metal (Silver Box)
☐ Black
☐ PMS 685C (Red/Green)

Clear Coat:
☒ Glass
☐ Matte
☐ None

Mounting:
☐ Standard - see drawing.
☐ Custom - see drawing.

Electrical Connection:
Please provide:
(1) 120V/240V circuits to each sign location

Legal Notice:
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Material Description:
Material: Aluminum, 1/2" x 1/2" x 1/2"

Material Type:
☐ Clear Acrylic
☐ 75% White Acrylic
☐ Non-Glare Acrylic
☐ Photochromic
☒ Other: Aluminum

Process:
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☐ Hot Stamped
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Clear Coat:
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☐ Matte
☐ None

Mounting:
☐ Standard - see drawing.
☐ Custom - see drawing.

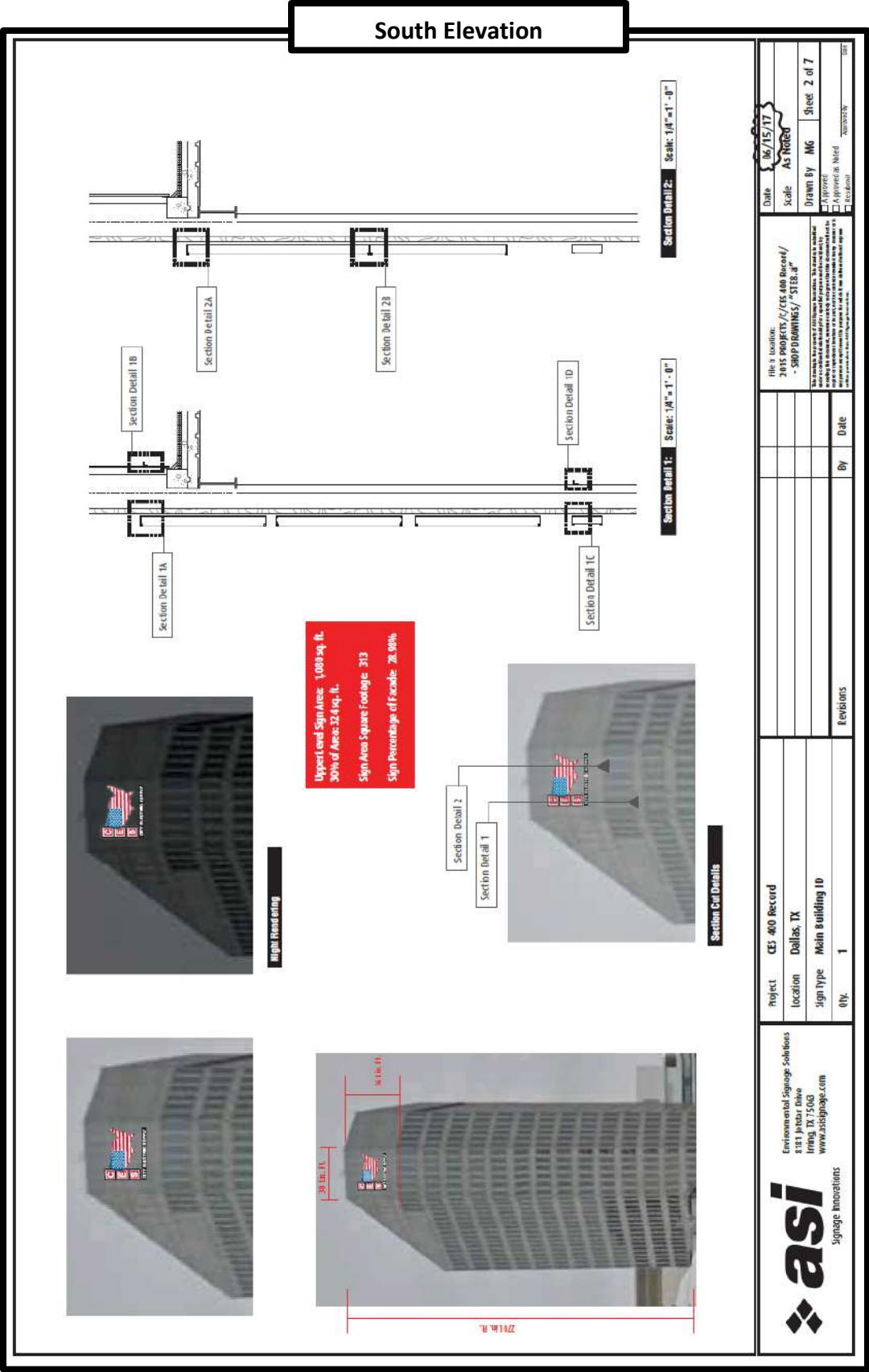
Electrical Connection:
Please provide:
(1) 120V/240V circuits to each sign location

Legal Notice:
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Material Type:
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☐ 75% White Acrylic
☐ Non-Glare Acrylic
☐ Photochromic
☒ Other: Aluminum

Process:
☐ Screen Print
☐ Hot Stamped



**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)
DOWNTOWN (GENERAL CBD)**

CASE NUMBER: 1706190013

DATE FILED: June 19, 2017

LOCATION: 400 S. Record St (north elevation) **SIZE OF REQUEST:** 313 square feet

COUNCIL DISTRICT: 2

ZONING: CA-1(A)

MAPSCO: 45-P

APPLICANT: Gary McMillen

CONTRACTOR: Environmental Signage Solutions, Inc.

OWNER/TENANT: CES Holdings, Inc./City Electric Supply

REQUEST: An application for a Certificate of Appropriateness by Gary McMillen of Environmental Signage Solutions, Inc. for a 313-square-foot upper level attached sign at 400 S. Record Street (north elevation).

SUMMARY: The applicant will construct an upper level flat attached sign that will read "CES City Electric Supply" with the company logo.

SSDAC RECOMMENDATION: Approval

STAFF RECOMMENDATION: Approval

PRIOR ACTION AND UPDATE: The City Plan Commission held this item under advisement on the following dates: August 17; September 7; September 28; and October 19, 2017.

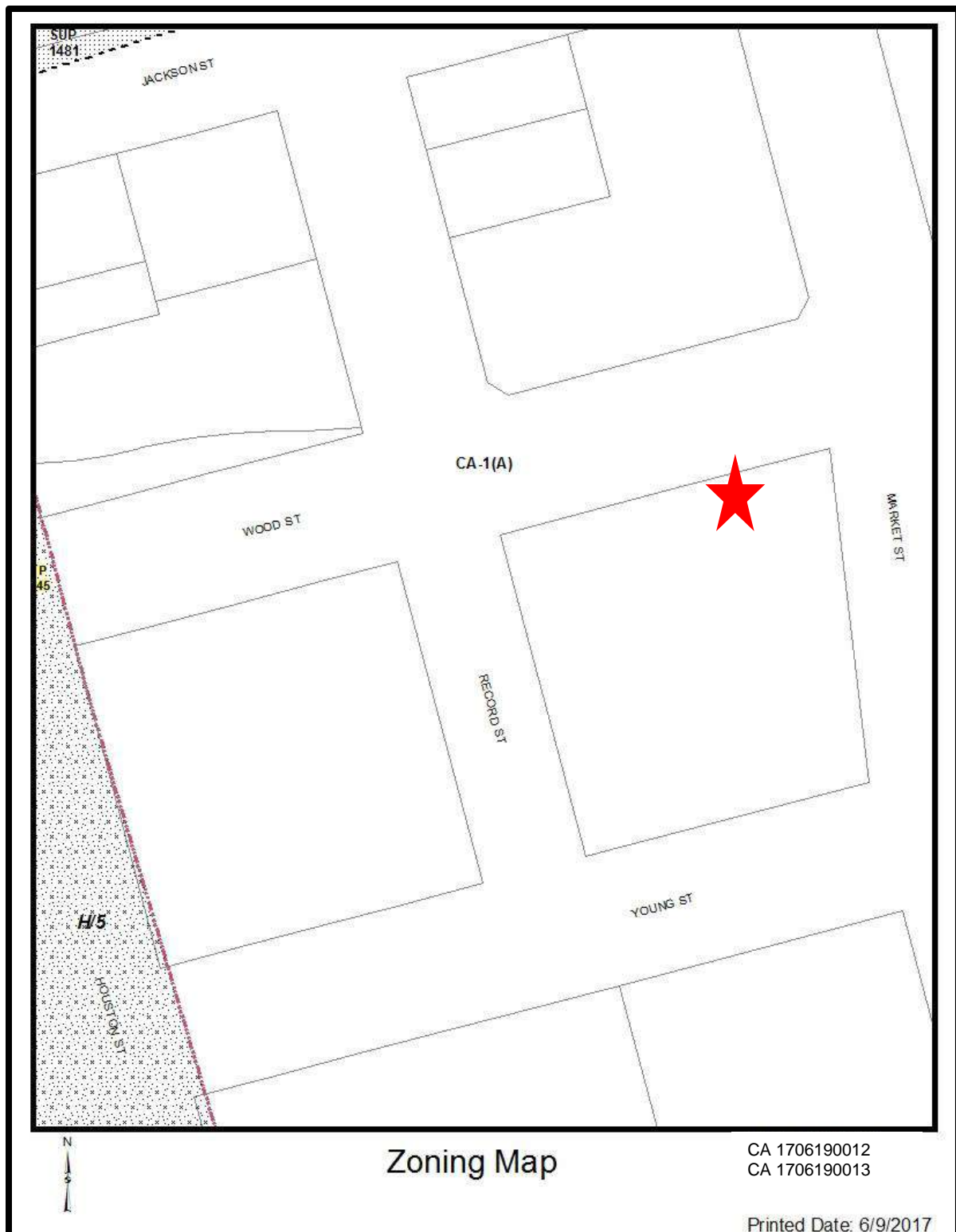
BACKGROUND:

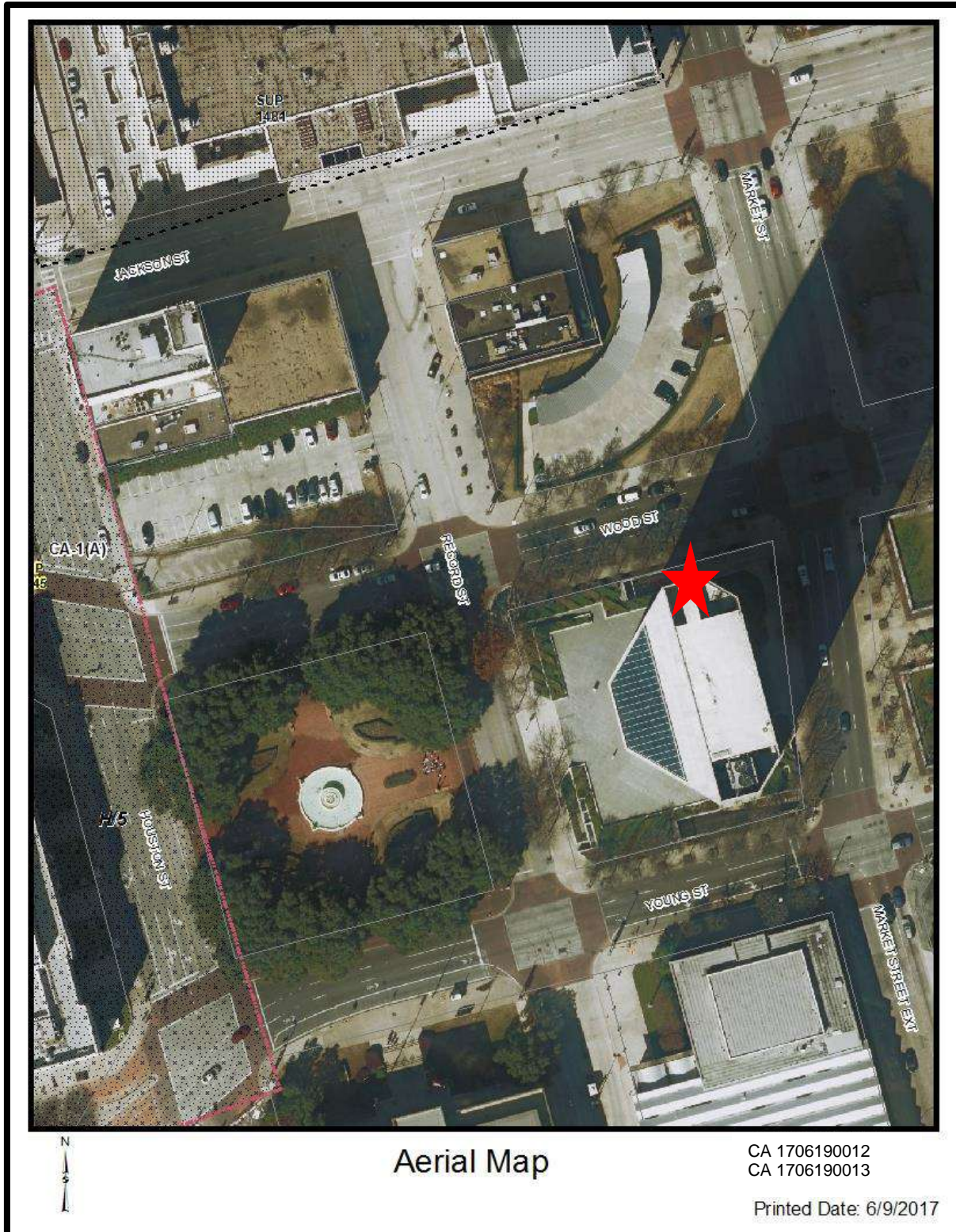
- The subject site is located in the Downtown (General CBD) SPSP.
- The request is for an *upper level sign*, which is an attached sign wholly situated within the upper level sign area. The *upper level sign area* is the portion of a facade more than 36 feet above grade and within the top 12 feet of a facade on buildings 18 stories or less, or within the top 36 feet of a facade on buildings more than 18 stories.
- The total effective area of an upper level sign may not exceed 30% of the upper level sign area, per Section 51A-7.911 Attached Premise Signs.
- The upper level sign area is approximately 1,080 sq. ft. X 30% = 324 square feet. The proposed sign is 313 square feet. It will be located on the north elevation, approximately 234 feet above grade. Signage will be internally illuminated and will be constructed of fabricated aluminum.
- Construction of the upper level attached sign is in accordance with SPSP regulations and meets the requirements of the Dallas City Code per SEC. 51A-7.911(e)(3)

(3) Upper level flat attached signs.

(A) Each upper level flat attached sign may have a maximum of eight words that contain any character of a height equal to or exceeding four inches. [The sign contains three words, three individual channel letters and a logo graphic]

(B) Upper level flat attached signs must be wholly located within the upper level sign area. [The sign is wholly in the upper level sign area]

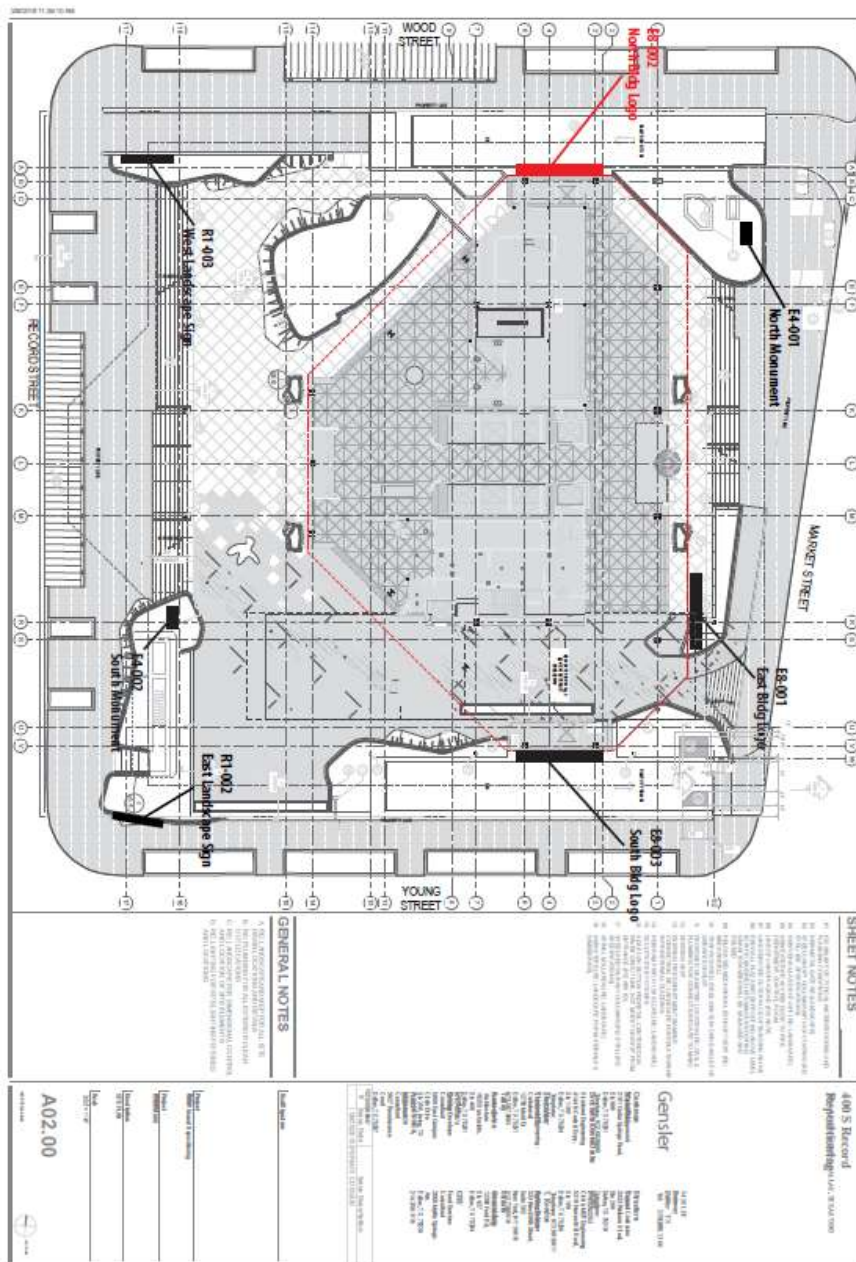




Overall Signage Layout

**Signage Innovations**

Environmental Signage Solutions
8181 Jeffer Drive
Irving, TX 75063
www.edsignage.com



Sign Details

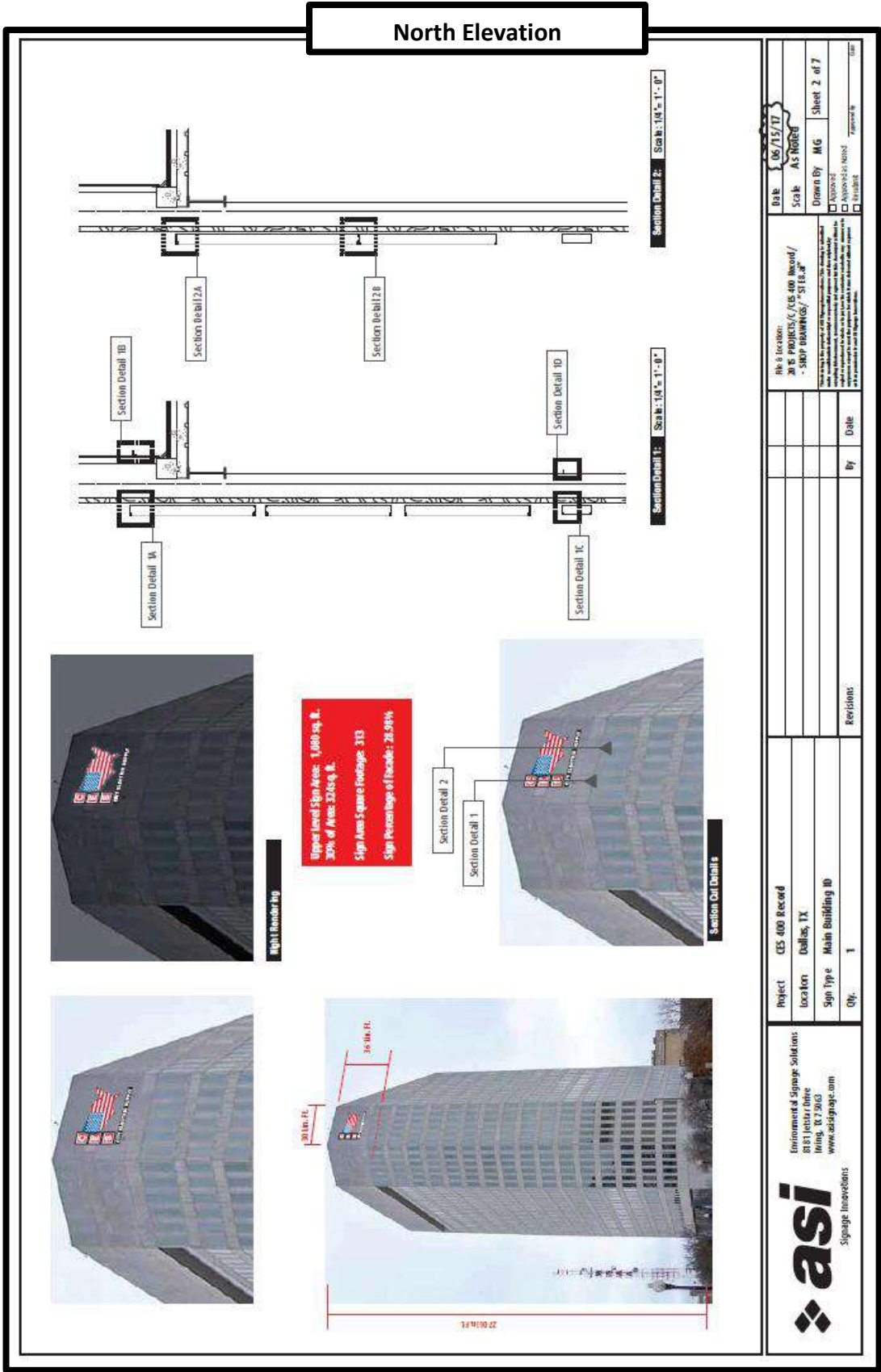
<p>Material Type:</p> <p> <input type="checkbox"/> Clear Glass Acrylic <input type="checkbox"/> PS/Meta Acrylic <input type="checkbox"/> Non-Durable Acrylic <input type="checkbox"/> Polycarbonate <input checked="" type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Process:</p> <p> <input type="checkbox"/> Screen Print <input type="checkbox"/> Hot Stamped <input checked="" type="checkbox"/> Vinyl Digital <input type="checkbox"/> Screen <input type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Image Colors:</p> <p> <input type="checkbox"/> CMYK <input type="checkbox"/> RGB <input type="checkbox"/> Pantone <input type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Background Colors/Finishes:</p> <p> <input type="checkbox"/> White (with material identifier) <input type="checkbox"/> Black <input type="checkbox"/> Silver <input type="checkbox"/> Clear Coat <input type="checkbox"/> Clear <input type="checkbox"/> White <input type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Mounting:</p> <p> <input type="checkbox"/> Standard <input type="checkbox"/> Custom <input type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Electrical Connections:</p> <p> <input type="checkbox"/> Please provide <input type="checkbox"/> 120V/240V circuits to each sign location </p> <p>Legal Notice:</p> <p> This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. </p>		<p>Material Type:</p> <p> <input type="checkbox"/> Clear Glass Acrylic <input type="checkbox"/> PS/Meta Acrylic <input type="checkbox"/> Non-Durable Acrylic <input type="checkbox"/> Polycarbonate <input checked="" type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Process:</p> <p> <input type="checkbox"/> Screen Print <input type="checkbox"/> Hot Stamped <input checked="" type="checkbox"/> Vinyl Digital <input type="checkbox"/> Screen <input type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Image Colors:</p> <p> <input type="checkbox"/> CMYK <input type="checkbox"/> RGB <input type="checkbox"/> Pantone <input type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Background Colors/Finishes:</p> <p> <input type="checkbox"/> White (with material identifier) <input type="checkbox"/> Black <input type="checkbox"/> Silver <input type="checkbox"/> Clear Coat <input type="checkbox"/> Clear <input type="checkbox"/> White <input type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Mounting:</p> <p> <input type="checkbox"/> Standard <input type="checkbox"/> Custom <input type="checkbox"/> Other: Aluminum <input type="checkbox"/> Vinyl Graphics </p> <p>Electrical Connections:</p> <p> <input type="checkbox"/> Please provide <input type="checkbox"/> 120V/240V circuits to each sign location </p> <p>Legal Notice:</p> <p> This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. </p>	
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Sign Type E8-002 - Qty. 1
(North Elevation)

Front Elevation: Size: 3'-0" x 1'-0"

Side Elevation: Size: 3'-0" x 1'-0"

Project: CES 400 Record Location: Dallas, TX Sign Type: Main Building ID Qty: 1		Revisions:	
asi Signage Innovations 815 Jett Drive Irving, TX 76039 www.asisign.com		Project: CES 400 Record Location: Dallas, TX Sign Type: Main Building ID Qty: 1	



Planner: Pamela Daniel

FILE NUMBER: Z167-330(PD) **DATE FILED:** June 20, 2017
LOCATION: South side of Great Trinity Forest Way, west of North Jim Miller Road
COUNCIL DISTRICT: 8 **MAPSCO:** 58W, S
SIZE OF REQUEST: ± .831 acres **CENSUS TRACT:** 0116.01

REPRESENTATIVE: Parvez Malik

APPLICANT / OWNER: Juneja Hospitality Holdings, LLS

REQUEST: An application for a Specific Use Permit for a hotel or motel use on property zoned a CR-D-1 Community Retail District with a D-1 Liquor Control Overlay.

SUMMARY: The applicant proposes to continue the operation of a nonconforming motel or hotel use within the existing structure.

STAFF RECOMMENDATION: Approval for a one-year period, subject to a site plan and conditions.

BACKGROUND INFORMATION:

- The proposed 0.831-acres of land is developed with a one-story motel use consisting of 25 rooms.
- The Classic Inn Motel has been in operation since construction in 1985. A certificate of occupancy was issued for the motel use; however, ownership changed in 2012.
- The Classic Inn Motel applied for a certificate of occupancy in May 2017; however, the application was rejected due to the use requiring a Specific Use Permit.

Zoning History: There have been two recent zoning changes requested in the area within the last five years.

1. **Z156-310** On August 23, 2017, the City Council approved an application for the renewal of Specific Use Permit No. 2099 for the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less on property zoned CR-D-1 Community Retail District with a D-1 Liquor Control Overlay.
2. **Z134-166** On December 13, 2014, the City Council approved an application for Specific Use Permit No. 2099 for the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less on property zoned CR-D-1 Community Retail District with a D-1 Liquor Control Overlay.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW
Great Trinity Forest Way	Principal Arterial	107-ft.

Traffic:

The Engineering Division of the Sustainable Development and Construction Development has reviewed the request and has determined that the proposed development will not have a negative impact on the surrounding street system.

Surrounding Land Uses:

	Zoning	Land Use
Site	CR-D-1	Motel
North	CR-D-1	Church
South	CR-D-1	Single Family, Church
West	CR-D-1	Vacant
East	CR-D-1	Car wash, Convenience Store

STAFF ANALYSIS:

COMPREHENSIVE PLAN:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The Vision Illustration depicts the request site within a *Residential Neighborhood*. While single family dwellings are the dominant land use in such areas, shops, restaurants, or institutional land uses that serve residents may be located at the edges or at key intersections.

In general, the applicant's proposal is consistent with the following goal and policy of the Comprehensive Plan.

URBAN DESIGN ELEMENT

GOAL 5.3 Establishing walk-to convenience

Policy 5.3.1: Encourage a balance of land uses within walking distance of each other.

Land Use Compatibility:

The ± 0.831-acre request site is currently developed with an approximately 7,264-square foot structure consisting of 25 rooms. The applicant proposes to continue the nonconforming use of a hotel or motel. Although the use has been in operation since 1985, Chapter 51A now allows the use by SUP. The cessation of the use for 6 months or a change in ownership which occurred in this instance triggered application for a new certificate of occupancy which requires compliance with today's Code.

The site is located along a principal arterial street to the north and a minor arterial street to the east. The site is surrounded by a church to the north, a vacant lot to the west, a church and single family uses to the south and a commercial carwash and convenience store to the east. The site was developed in 1985, and has operated as a hotel or motel use since. While the existing CR-D-1 zoning allows a motel or hotel use by SUP, and the proposed use is compatible with surrounding land uses, staff recommends approval of the request for a one-year period due to the crime statistics submitted by the Dallas Police Department as shown below.

Police Report:

The Dallas Police Department's crime statistics report provides a list of all calls logged with 911, a list of actual criminal offenses reported by an officer and the number of arrests made by an officer. These reports are listed below for the period from February 2013 to May 2017.

Arrests:

IncidentNum	ArrestYr	ArrestNumID	ArArrestDate	ArArrestTime	ArLAddress	IncidentNum	ChargeDesc
034776-2015	2015	0006176-2015	2/13/2015	20:50	7020 GREAT TRINITY FOREST WAY	034776-2015	ASSAULT -FAMILY VIOLENCE - BODILY INJURY ONLY
018891-2015	2015	0003295-2015	1/24/2015	22:10	7020 GREAT TRINITY FOREST WAY #14	018891-2015	PUBLIC INTOXICATION
160676-2014	2014	0028965-2014	7/4/2014	13:00	7020 GREAT TRINITY FOREST WAY	160676-2014	ASSAULT -FAM VIO, IMPED BREATH/CIRC - NO LOSS OF CONSC

Criminal Offenses:

IncidentNum	ServYr	OffIncident	Date1	Time1	Address	UCR_Offense	ZipCode
160676-2014	2014	ASSAULT -FAM VIO, IMPED BREATH/CIRC - NO LOSS OF CONSC	7/3/2014	19:00	7020 GREAT TRINITY FOREST WAY	ASSAULT	75217
043669-2015	2015	UNAUTHORIZED USE OF MOTOR VEH - AUTOMOBILE	2/25/2015	19:25	7020 GREAT TRINITY FOREST WAY	UUMV	75217
034776-2015	2015	ASSAULT -FAM VIO 2 + OFFENSES IN LAST 12 MONTHS -BODY INJ ONLY	2/13/2015	20:50	7020 GREAT TRINITY FOREST WAY	ASSAULT	75217
260710-2016	2016	ROBBERY OF INDIVIDUAL (AGG)	10/30/2016	22:40	7020 GREAT TRINITY FOREST WAY	ROBBERY-INDIVIDUAL	75217
219566-2016	2016	ROBBERY OF INDIVIDUAL	9/12/2016	2:20	7020 GREAT TRINITY FOREST WAY	ROBBERY-INDIVIDUAL	75217
191699-2016	2016	ROBBERY OF BUSINESS (AGG)	8/9/2016	21:47	7020 GREAT TRINITY FOREST WAY	ROBBERY-BUSINESS	75217
001049-2017	2017	UNAUTHORIZED USE OF MOTOR VEH - AUTOMOBILE	1/2/2017	3:00	7020 GREAT TRINITY FOREST WAY	UUMV	75217

Calls:

Master_Incident_Number	Response_Date	Response_Time	Problem	Address	ZipCode
17-0970788	5/22/2017	23:57	40/01 - Other	7020 Great Trinity Forest Way	75217
17-0794158	4/27/2017	17:31	09 - Theft	7020 Great Trinity Forest Way	75217
16-2575624	12/31/2016	10:17	09V - UUMV	7020 Great Trinity Forest Way	75217
16-2529163	12/24/2016	9:19	6X - Major Dist (Violence)	7020 GREAT TRINITY FOREST WAY	75217
16-2394324	12/4/2016	1:16	40 - Other	7020 Great Trinity Forest Way	75217
16-2389796	12/3/2016	11:09	40/01 - Other	7020 Great Trinity Forest Way	75217
16-2168391	10/30/2016	22:42	41/20 - Robbery - In Progress	7020 Great Trinity Forest Way	75217
16-2140639	10/27/2016	4:25	40/01 - Other	7020 Great Trinity Forest Way	75217
16-2065190	10/16/2016	11:51	6X - Major Dist (Violence)	7020 GREAT TRINITY FOREST WAY	75217
16-1948520	9/30/2016	2:14	16 - Injured Person	7020 Great Trinity Forest Way	75217
16-1791569	9/8/2016	7:52	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
16-1764329	9/4/2016	10:58	40/01 - Other	7020 Great Trinity Forest Way	75217
16-1608770	8/13/2016	19:58	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
16-1580031	8/9/2016	21:57	20 - Robbery	7020 Great Trinity Forest Way	75217
16-1507733	7/31/2016	1:01	04 - 911 Hang Up	7020 Great Trinity Forest Way	75217
16-1508075	7/31/2016	1:56	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
16-1415199	7/18/2016	8:06	38 - Meet Complainant	7020 GREAT TRINITY FOREST WAY	75217
16-1073485	6/3/2016	10:14	09 - Theft	7020 Great Trinity Forest Way	75217
16-0820812	4/30/2016	11:27	38 - Meet Complainant	7020 Great Trinity Forest Way	75217
16-0621543	4/2/2016	12:42	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
16-0279877	2/12/2016	16:43	40/01 - Other	7020 Great Trinity Forest Way	75217
16-0202509	2/1/2016	5:19	20 - Robbery	7020 Great Trinity Forest Way	75217
15-2580241	12/26/2015	6:24	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-1909285	9/19/2015	12:02	40 - Other	7020 Great Trinity Forest Way	75217
15-1883962	9/16/2015	0:17	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-1773317	9/1/2015	4:51	04 - 911 Hang Up	7020 Great Trinity Forest Way	75217
15-1772318	8/31/2015	23:31	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-1645814	8/15/2015	2:08	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-1648357	8/15/2015	12:56	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-1374052	7/10/2015	17:36	40 - Other	7020 Great Trinity Forest Way	75217
15-1374561	7/10/2015	18:41	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-0935738	5/16/2015	4:48	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-0893559	5/10/2015	8:46	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-0850473	5/4/2015	13:30	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-0470548	3/13/2015	11:16	04 - 911 Hang Up	7020 Great Trinity Forest Way	75217
15-0446847	3/9/2015	20:44	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-0291412	2/13/2015	20:13	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-0263056	2/9/2015	17:33	04 - 911 Hang Up	7020 Great Trinity Forest Way	75217
15-0210859	2/1/2015	19:49	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
15-0197952	1/30/2015	21:41	04 - 911 Hang Up	7020 Great Trinity Forest Way	75217
15-0157698	1/24/2015	22:50	40/01 - Other	7020 Great Trinity Forest Way	75217
14-2065191	10/21/2014	23:23	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
14-1993047	10/11/2014	16:19	09 - Theft	7020 Great Trinity Forest Way	75217
14-1872782	9/25/2014	16:39	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
14-1702257	9/1/2014	0:59	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
14-1611585	8/19/2014	3:24	32 - Suspicious Person	7020 GREAT TRINITY FOREST WAY	75217
14-1281864	7/4/2014	12:26	6XA - Major Dist Ambulance	7020 Great Trinity Forest Way	75217
14-0382445	2/27/2014	20:01	7X - Major Accident	7020 Great Trinity Forest Way	75217
14-0307785	2/16/2014	17:21	04 - 911 Hang Up	7020 Great Trinity Forest Way	75217
14-0294714	2/14/2014	19:38	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
13-1947740	10/4/2013	13:06	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
13-1519185	8/4/2013	12:24	40/01 - Other	7020 Great Trinity Forest Way	75217
13-1321250	7/7/2013	17:54	04 - 911 Hang Up	7020 Great Trinity Forest Way	75217
13-0211105	2/2/2013	2:46	DAEF-Dist Armed Encounter Foot	7020 Great Trinity Forest Way	75217
13-0211282	2/2/2013	3:44	40/01 - Other	7020 Great Trinity Forest Way	75217
13-0212053	2/2/2013	9:41	6X - Major Dist (Violence)	7020 Great Trinity Forest Way	75217
13-0207400	2/1/2013	16:54	04 - 911 Hang Up	7020 Great Trinity Forest Way	75217
13-0208170	2/1/2013	18:36	40/01 - Other	7020 Great Trinity Forest Way	75217
13-0208488	2/1/2013	19:17	40 - Other	7020 Great Trinity Forest Way	75217

Parking:

Pursuant to the Dallas Development Code, the off-street parking requirement for a hotel or motel use is a minimum of one (1) space for each unit plus one ADA accessible space. The proposed hotel or motel use has a maximum of 25 units which requires 25 parking spaces plus one handicap space for a total of 26 required parking spaces. The applicant is exceeding the minimum parking requirement and providing a total of 31 spaces, as depicted on the site plan.

Landscaping:

Landscaping is provided in accordance with Article X as amended.

Z167-330(PD)

List of Partners/Principals/Officers

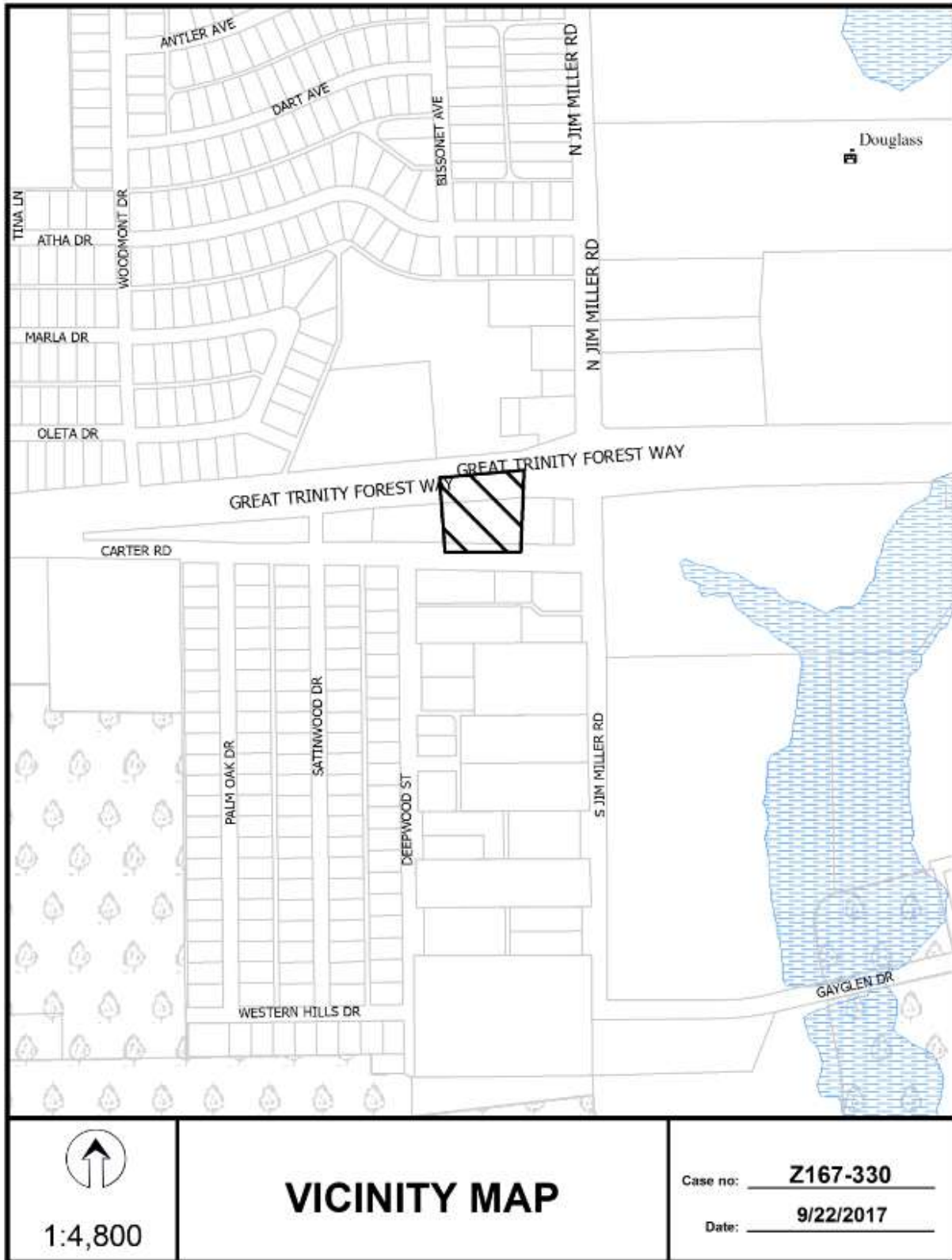
Juneja Hospitality Holdings LLC

Wazir Juneja, Manager

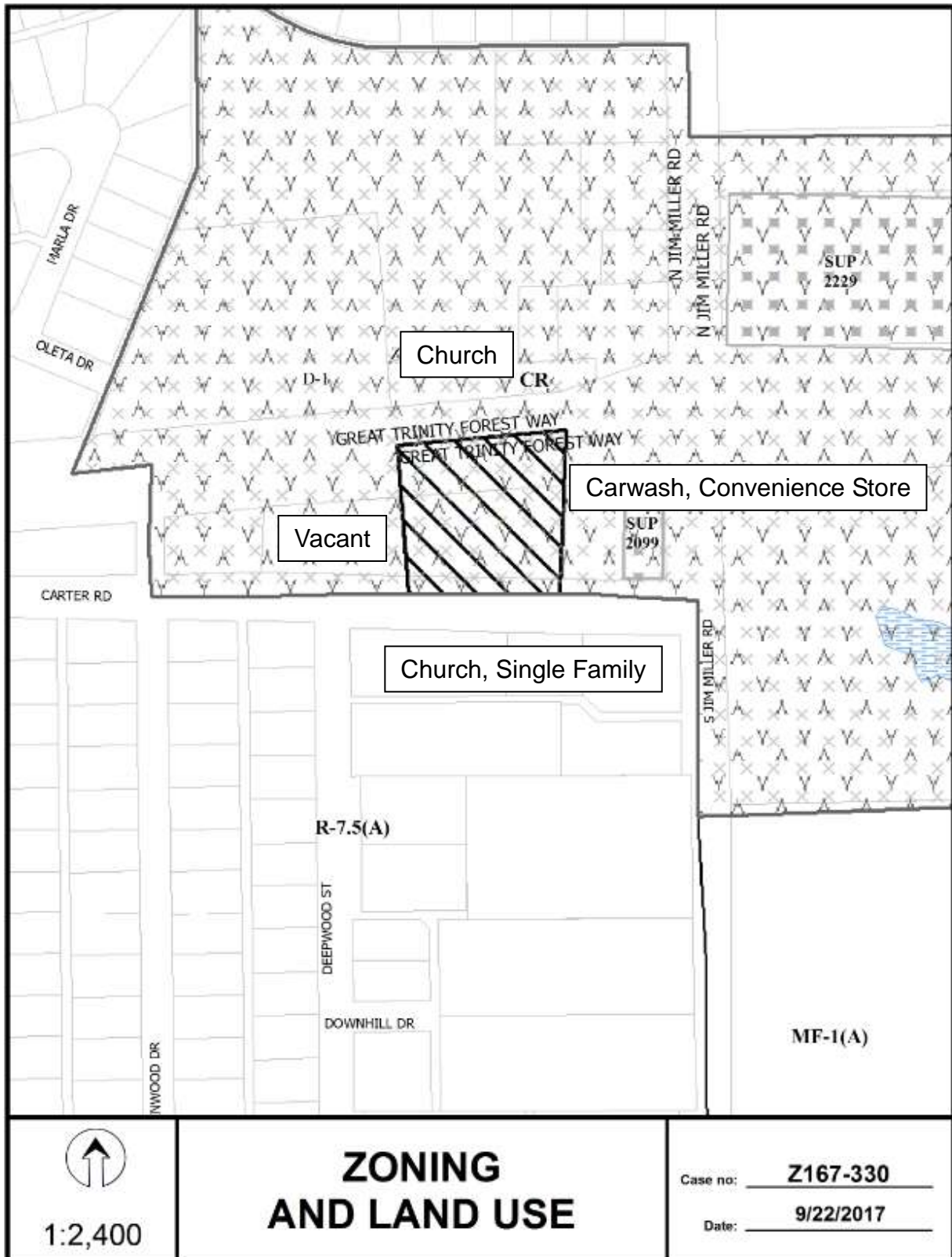
PROPOSED SUP CONDITIONS

1. USE: The only use authorized by this specific use permit is a hotel or motel use.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on_____, (one-year period from the passage of this ordinance).
3. LANDSCAPING:
 - A. Landscaping must be provided and maintained in accordance with Article X.
 - B. Plant materials must be maintained in a healthy, growing condition.
4. BATHROOMS: At least one bathroom, including a shower, wash basin, and toilet, must be provided for each guest room.
5. ROOMS: The maximum number of guest rooms is 25.
6. FLOOR AREA:
 - A. Maximum total floor area is 7,264 square feet with a maximum office floor area of 1,200 square feet.
 - B. Meeting and conference rooms are prohibited.
7. DUMPSTER: A dumpster must be provided in the location shown on the attached site plan and must be screened from public rights-of-way by a six-foot-high solid fence.
8. SCREENING: Screening of off-street parking must be provided as shown on the attached site plan.
9. INGRESS-EGRESS: Ingress and egress must be provided in the location shown on the attached site plan. No other ingress or egress is permitted.
10. PARKING: Of the 31 parking spaces shown on the attached site plan, 26 spaces must serve as the required parking for the use authorized by this specific use permit.
11. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
12. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.

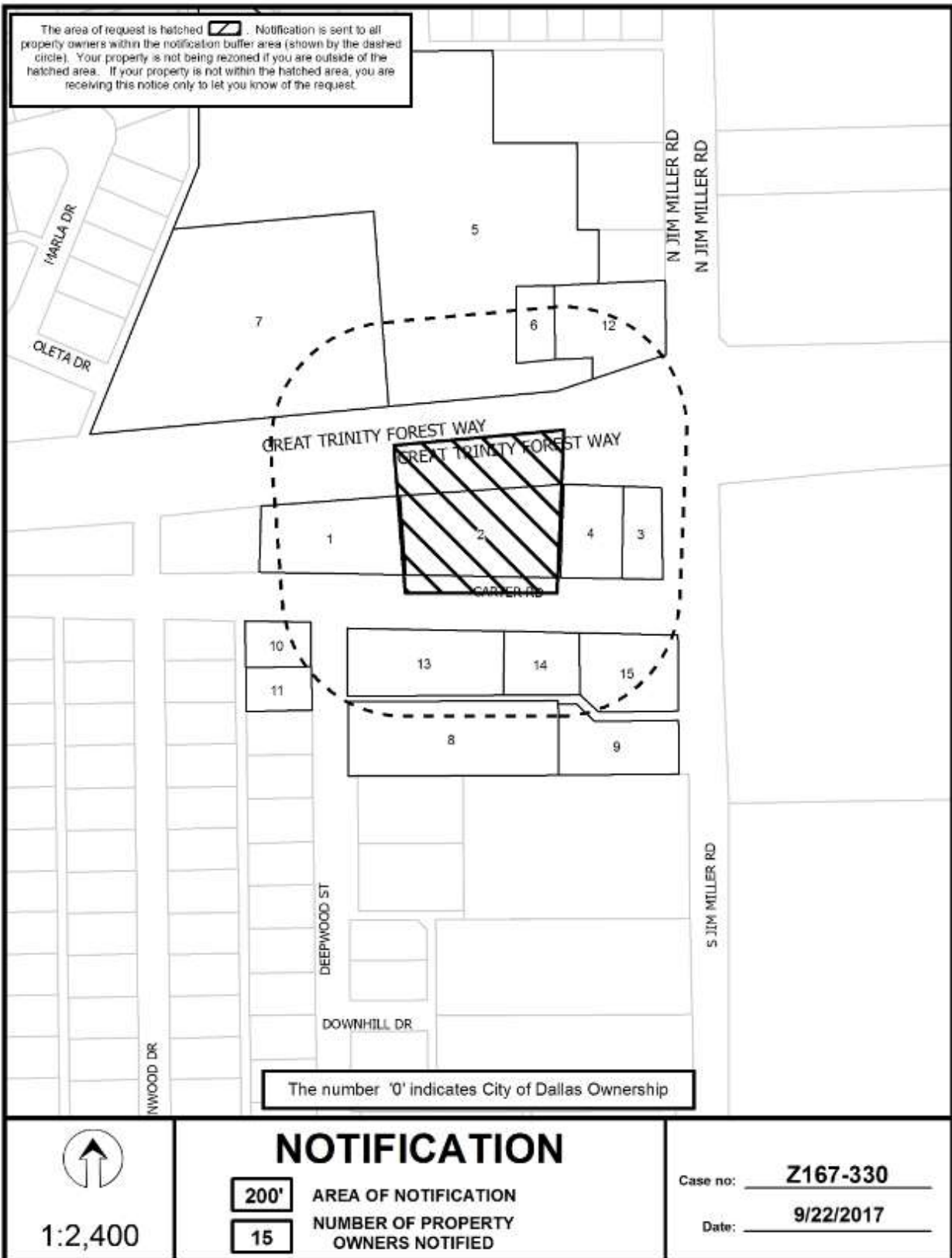












09/22/2017

Notification List of Property Owners

Z167-330

15 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	7020 GREAT TRINITY FOREST WAY	PATEL BALU
2	7020 GREAT TRINITY FOREST WAY	JUNEJA HOSPITALITY HOLDINGS LLC
3	7036 GREAT TRINITY FOREST WAY	JUNEJA PROPERTY HOLDINGS INC
4	7028 GREAT TRINITY FOREST WAY	PHILLIPS LEO &
5	6901 GREAT TRINITY FOREST WAY	CATHEDRAL OF FAITH
6	7015 GREAT TRINITY FOREST WAY	CATHEDRAL OF FAITH
7	6800 GREAT TRINITY FOREST WAY	CATHEDRAL OF FAITH BAPT
8	120 DEEPWOOD ST	COX ERMA
9	137 S JIM MILLER RD	MENDOZA JUAN
10	107 DEEPWOOD ST	EDWARDS JESSIE L
11	111 DEEPWOOD ST	CHINN WILLIAM E
12	7071 GREAT TRINITY FOREST WAY	ALEJANDRE ARCANGEL
13	7004 CARTER RD	LOVE OF GOD CHURCH
14	7026 CARTER RD	GIBSON KENNETH E
15	7040 CARTER RD	HOUSE OF PRAYER

FILE NUMBER: Z167-391(PD)

DATE FILED: September 11, 2017

LOCATION: South line of West Illinois Avenue, between Duncanville Road and Knoxville Street

COUNCIL DISTRICT: 3

MAPSCO: 52-U

SIZE OF REQUEST: ± 2.46 acres

CENSUS TRACT: 108.01

REPRESENTATIVE: Elsie Thurman

APPLICANT/OWNER: CCA Investments Inc.

REQUEST: An application for an MF-2(A) Multifamily District on property zoned a CR Community Retail District.

SUMMARY: The applicant proposes to develop the site with a multifamily residential community containing 137 dwelling units and typical accessory uses such as a leasing office, exercise room, swimming pool, and party room. The general zoning change will allow uses within the MF-2(A) Multifamily District.

STAFF RECOMMENDATION: Approval

BACKGROUND INFORMATION:

- The ±2.46-acre request site is currently undeveloped and is immediately adjacent to undeveloped MF-2(A) zoned property owned by the applicant to the east.
- The proposed MF-2(A) Multifamily District will allow the land use of multifamily by right. The current zoning of CR Community Retail does not allow the multifamily land use.
- The request will conform to all regulations within the MF-2(A) Multifamily District.
- The request site is surrounded by a college to the north, multifamily to the south, undeveloped land to the east, and medical office and undeveloped land to the west.

Zoning History: There have been no recent zoning cases in the area within the past five years.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW
W. Illinois Avenue	Principal Arterial	100-ft.

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the proposed zoning change will not have a detrimental impact on the surrounding street system.

Land Use:

	Zoning	Land Use
Site	CR	Undeveloped Land
North	R-7.5(A)	Mountain View College
South	MF-2(A)	Multifamily
East	MF-2(A)	Undeveloped Land
West	CR	Medical Office and Undeveloped Land

Comprehensive Plan:

The forwardDallas! Comprehensive Plan was adopted by the City Council in June 2006. The forwardDallas! Comprehensive Plan outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The request complies with the following land use goals and policies of the Comprehensive Plan:

LAND USE ELEMENT

GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES

Policy 1.1.15 Strengthen existing neighborhoods and promote neighborhoods' unique characteristics. Acknowledge the importance of neighborhoods to the city's long-term health and vitality.

Implementation Measure 1.1.5.4 Provide appropriate transitions between non-residential uses and neighborhoods to protect stability and quality of life.

ECONOMIC ELEMENT

GOAL 2.1 Promote Balanced Growth

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions.

NEIGHBORHOOD PLUS

One of the goals of *Neighborhood Plus* is to expand homeownership. This goal encourages a wider range of housing types to respond to emerging preferences, identifies incentives for infill development and home improvements in targeted neighborhoods, expands programs to reach a broader range of potential home buyers, and develops partnership to increase the pool of eligible loan applicants.

GOAL 6 Enhance Rental Housing Options

Policy 6.1 Raise the quality of rental property through better design standards, proactive and systematic code enforcement, and zero tolerance towards chronic offenses.

Action 6.1.3 Strengthen regulatory standards and provide incentives for volume single family and multi-family developers to provide a range of housing unit sizes, and include family-friendly amenities such as play area or open/green space for active, healthy living.

Per the applicant, the request site would provide swimming pools as an amenity to their tenants. The site will have to comply with Article X landscaping regulations. One of the

design standards of this particular policy with in Neighborhood Plus is pedestrian amenities that could be used in order to meet compliance with this zoning requirement.

Land Use Compatibility:

The applicant is proposing to construct a multifamily residential community containing 137 dwelling units and typical accessory uses such as a leasing office, pavilion, exercise room, party room and swimming pool, on the area of request. Since these accessory uses are incidental to a multifamily development they must be for the exclusive use of the residents of the community and their guests.

The ±2.46-acre request site is currently undeveloped and immediately adjacent to a 3.16-acre site currently zoned MF-2(A) and owned by the applicant. The request site is adjacent to a college to the north, multifamily to the south, undeveloped land to the east, and medical office and undeveloped land to the west. West Illinois Avenue is a principal arterial and borders the north side of the site. An MF-2(A) Multifamily District is consistent with the overall land use pattern of the area. There are adjacent parcels that are zoned MF-2(A) to support this general zoning change. The MF-2(A) Multifamily District supports the development of residential uses, institutional and community service uses, and recreation uses. This zoning district prohibits all commercial and office uses; and focuses on area regulations that are designed to protect the residential character and to prevent the overcrowding of the land by providing minimum standards for building spacing, yards, off-street parking, and coverage.

Staff's recommendation is approval because the applicant's request is consistent with the intent of the Dallas Development Code as the rezoning of this 2.46-acre tract will provide a stair step zoning pattern from low density residential development to medium density residential development and finally commercial, retail, and personal service development directly adjacent to the highway.

Development Standards:

District	Setbacks		Density	Height	Lot Coverage	Special Standards	Primary Uses
	Front	Side/Rear					
CR Community Retail	15	20' adjacent to residential OTHER: No Min.	0.75 FAR overall 0.5 office	54' 4 stories	60%	Proximity Slope Visual Intrusion	Retail & Personal Service, Office
MF-2(A) Multifamily	15'	10'/15' or 10' when building site backs up to non MF-2(A)	Based on unit size	36'	60%	Proximity Slope	Multifamily, Duplex, Single Family

Parking:

Pursuant to the Dallas Development Code, the off-street parking must be provided in accordance with Division 51A-4.200. The Dallas Development Code requires off-street parking to be provided at one space per bedroom with a minimum of one space per dwelling unit plus 0.25 spaces per dwelling unit for guest parking.

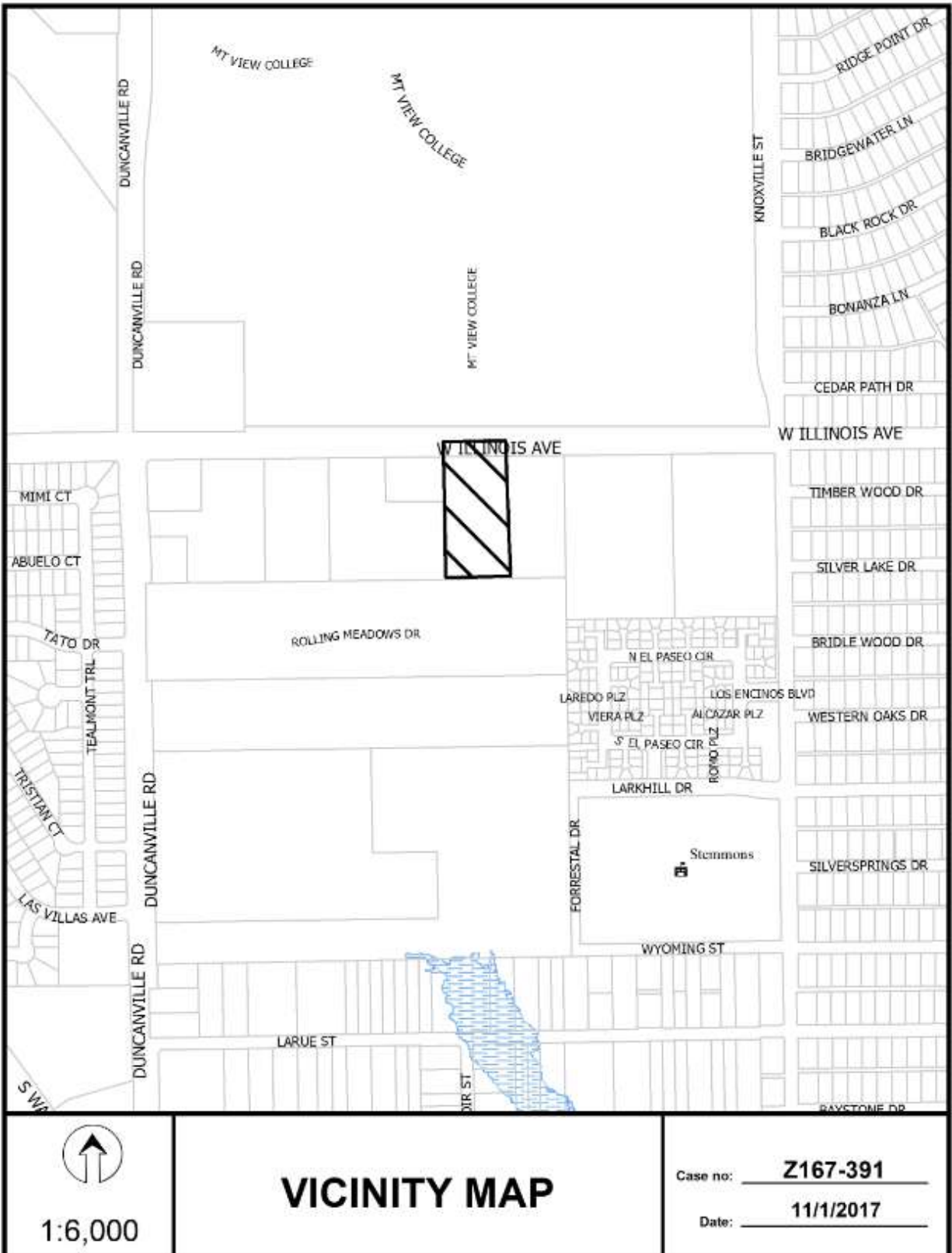
Landscaping:

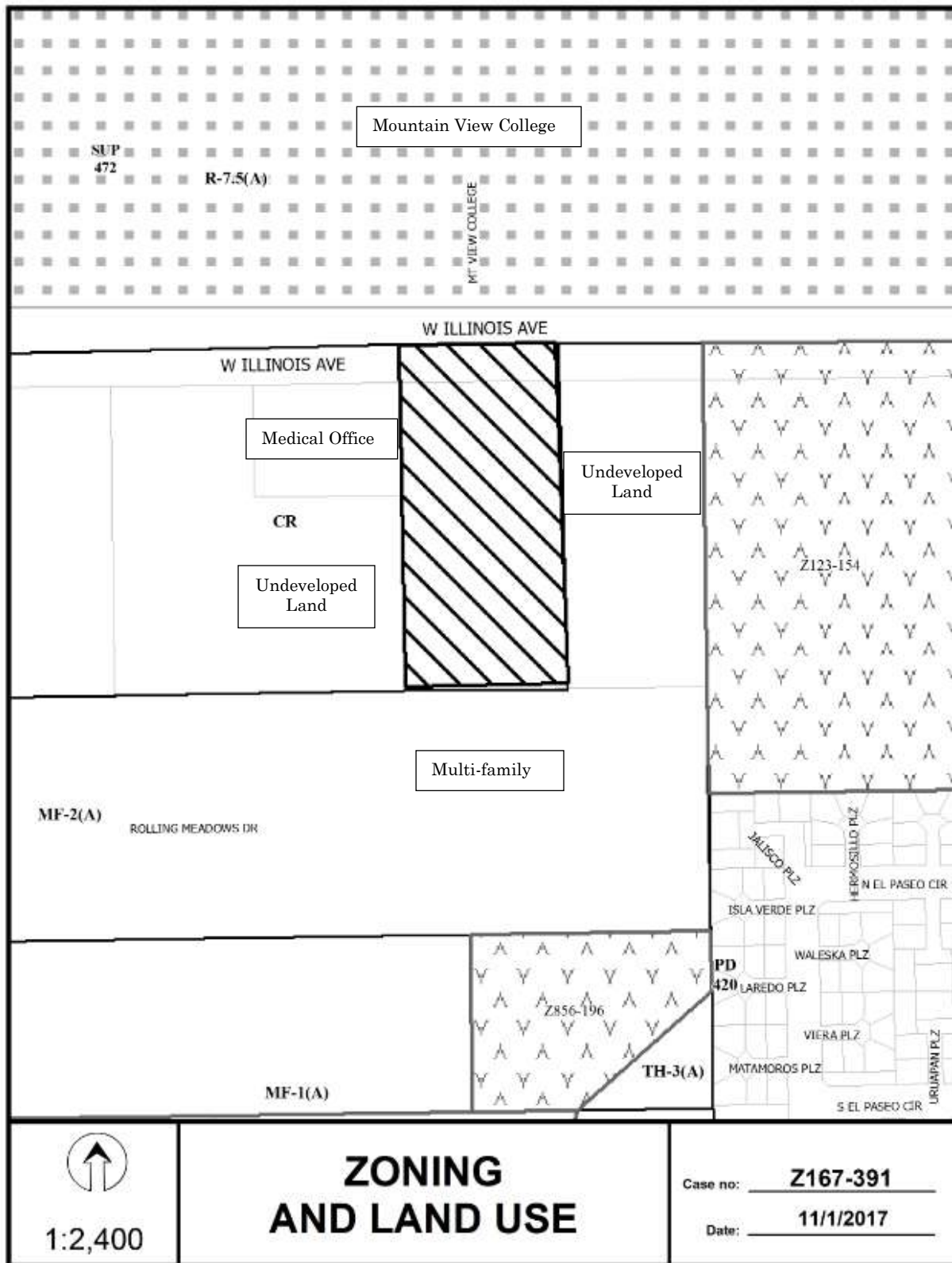
Landscaping must be provided in accordance with the landscaping requirements in Article X, as amended.

Z167-391(PD)

List of Partners/Principals/Officers

CCA Investments, Incorporated
Emeka Akpunku





The area of request is hatched . Notification is sent to all property owners within the notification buffer area (shown by the dashed circle). Your property is not being rezoned if you are outside of the hatched area. If your property is not within the hatched area, you are receiving this notice only to let you know of the request.

The number '0' indicates City of Dallas Ownership

 <p>1:2,400</p>	<h2 style="margin: 0;">NOTIFICATION</h2> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> <div style="border: 1px solid black; padding: 2px 5px;">300'</div> <div>AREA OF NOTIFICATION</div> </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> <div style="border: 1px solid black; padding: 2px 5px;">7</div> <div>NUMBER OF PROPERTY OWNERS NOTIFIED</div> </div>	<p>Case no: Z167-391</p> <p>Date: 11/1/2017</p>
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11/01/2017

Notification List of Property Owners

Z167-391

7 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	4800 W ILLINOIS AVE	CCA INVESTMENTS INC
2	4849 W ILLINOIS AVE	DALLAS COUNTY COMMUNITY
3	4732 W ILLINOIS AVE	LBU HOLDINGS INC
4	2500 DUNCANVILLE RD	ROLLING MEADOWS INVESTORS LLC
5	715 JALISCO PLAZA	CARREON EDGARDO JAVIER
6	4810 W ILLINOIS AVE	INVESTMENT PROPERTY SOLUTIONS INC &
7	4810 W ILLINOIS AVE	BNNC INC

FILE NUMBER: Z167-398(JM)

DATE FILED: September 21, 2017

LOCATION: On the north side of Main Street, east of North Field Street.

COUNCIL DISTRICT: 14

MAPSCO: 45-P

SIZE OF REQUEST: ±14,550 sq. ft.

CENSUS TRACT: 31.01

APPLICANT: William Katz

OWNER: Davis 1309 Main, LLC

REPRESENTATIVE: Nick Galen

REQUEST: An application for the renewal and amendment of Specific Use Permit No. 2127 for a restaurant without drive-in or drive-through service on property zoned Subdistrict B within Planned Development District No. 619 with Historic Overlay No. 87.

SUMMARY: The applicant proposes to maintain the existing restaurant [Frankie's Sports Bar and Grill] located at the street level and to extend operating hours to begin at 10:00 a.m. instead of 11:00 a.m. A restaurant 2,000 square feet or more located below street level requires an SUP. On December 10, 2014, the City Council approved this Specific Use Permit for a three-year period.

STAFF RECOMMENDATION: Approval for a three-year period, subject to a site plan and conditions.

BACKGROUND INFORMATION:

- The request site is an existing one-story restaurant without drive-in or drive-through service with 14,550 square feet of floor area.
- SUP No. 2127 was granted by City Council on December 10, 2013 and expires on December 10, 2017.
- The current request is to renew the SUP. There are no proposed changes to the existing site plan. The applicant has requested to change the opening time from 11:00 a.m. to 10:00 a.m.

Zoning History: There have been seven zoning change requests in the area within the last five years.

1. **Z167-130:** On June 28, 2017, the City Council approved Historic Overlay District No. 150 (One Main Place) on property zoned Planned Development District No. 619, an area bounded by Main Street, Griffin Street, Elm Street, and Field Street with the exception of the northwest corner of Field Street and Main Street.
2. **Z156-249:** On August 4, 2016, the City Plan Commission approved a request for a Specific Use Permit for installation of a non-premise district activity videoboard on property zoned Planned Development District No. 619 on the northwest corner of Main and Field Streets. (No CC action found and no SUP issued)
3. **Z145-276:** On September 9, 2015, the City Council approved the renewal of Specific Use Permit No. 1755 for two attached projecting non-premise district activity videoboard signs on property zoned Planned Development District No. 619, located on the north side of Main Street and the east side of Four Way Place.
4. **Z145-277:** On September 9, 2015, the City Council approved the renewal of Specific Use Permit No. 1788 an attached projecting non-premise district activity videoboard sign on property zoned Planned Development District No. 619, located on the northeast corner of Commerce Street and South Field Street.
5. **Z145-278:** On September 9, 2015, the City Council approved the renewal of Specific Use Permit No. 1791 for an attached projecting non-premise district activity videoboard sign on property zoned Planned Development District No. 619, located on the south side of Elm Street and the east side of North Akard Street.
6. **Z134-322:** On September 9, 2015, the City Council approved an application for expansion and modifications to Historic Overlay 36, Adolphus Hotel on property zoned Planned Development District No. 619, located on the northwest corner of South Akard Street and Commerce Street.
7. **Z134-254:** On December 10, 2014, the City Council approved the renewal of Specific Use Permit No. 1887 for an alcoholic beverage establishment limited to

a bar, lounge or tavern and a commercial amusement (inside) limited to a Class A dance hall on property within Planned Development District No. 619, located on the south side of Main Street, east of South Field Street.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
Main Street	Minor Arterial	80 feet	80 feet
Field Street	Local	50 feet	50 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the proposed amendment will not have a negative impact on the surrounding street system.

Surrounding Land Uses:

	Zoning	Land Use
Site	PDD No. 619; H/87	Residential, retail, and office
North	PDD No. 619	Restaurants, office, and retail
East	PDD No. 619; H/36 on a portion	Hotel, offices, and retail
South	PDD No. 619	Restaurant, retail, and parking garage
West	PDD No. 619; H/87	Residential, retail, and office

STAFF ANALYSIS:

Comprehensive Plan:

The comprehensive plan does not make a specific land use recommendation related to the request, however the *forwardDallas! Vision Illustration*, adopted June 2006, is comprised of a series of Building Blocks that depicts general land use patterns. Building Blocks are generalized patterns without well-defined boundaries that indicate where certain types and densities of development might logically occur.

The Vision Illustration depicts the request site as within the City's Downtown; a centrally located hub that provides high intensity concentrated regional job and commercial

activity supported by high density housing. A Downtown Building Block includes pedestrian-oriented and mixed-use development that offers multiple transportation options.

The request is consistent with the *forwardDallas! Vision* to promote a pedestrian-oriented mix of uses in the downtown area.

Land Use Compatibility:

The request site is surrounded by a mix of uses, which include retail, restaurant, parking garage and office uses. The existing establishment provides a service within the Central Business District and does not negatively impact the adjacent properties.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards.

Parking:

Planned Development District No. 619 requires off-street parking to be provided per the CA-1(A) Central Area District standards. For a new structure or an addition to an existing structure, one space is required for each 2,000 square feet of floor area. The proposed use is located within an existing structure; therefore, no parking is required.

Police Records:

Period of reporting is since the SUP was granted in December of 2013 to present.

Crime Parts 1 & 2, Jan 1 2017-Oct 23 2017 - 1309 Main St						
IncidentNum	ServYr	Date1	Time1	Address	UCR_Offense	ZipCode
197896-2017	2017	8/24/2017	5:30	1309 MAIN ST	BURGLARY-BUSINESS	75202
121425-2017	2017	5/29/2017	23:25	1309 MAIN ST	ASSAULT	75202
111709-2017	2017	5/18/2017	15:00	1309 MAIN ST	FRAUD	75202
074457-2017	2017	3/27/2017	17:00	1309 MAIN ST	OTHER THEFTS	75202
067274-2017	2017	3/26/2017	3:37	1309 MAIN ST	ASSAULT	75202
041298-2017	2017	2/19/2017	17:00	1309 MAIN ST	VANDALISM & CRIM MISCHIEF	75202
011145-2017	2017	1/14/2017	22:55	1309 MAIN ST	ASSAULT	75202

Crime Parts 1 & 2, Jan 1 2016-Dec 31 2016 - 1309 Main St						
IncidentNum	ServYr	Date1	Time1	Address	UCR_Offense	ZipCode
300161-2016	2016	12/17/2016	21:20	1309 MAIN ST	ASSAULT	75202
267711-2016	2016	11/7/2016	21:00	1309 MAIN ST	THEFT/BMV	75202
256686-2016	2016	10/25/2016	20:40	1309 MAIN ST	EVADING	75202
256686-2016	2016	10/25/2016	20:40	1309 MAIN ST	FRAUD	75202
251340-2016	2016	10/18/2016	23:00	1309 MAIN ST	THEFT/BMV	75202
225478-2016	2016	9/18/2016	21:37	1309 MAIN ST	ASSAULT	75202
222508-2016	2016	9/14/2016	21:45	1309 MAIN ST	THEFT/BMV	75202
183989-2016	2016	7/30/2016	10:00	1309 MAIN ST	UUMV	75202
164718-2016	2016	7/6/2016	20:00	1309 MAIN ST	CRIMINAL MISCHIEF/VANDALI	75202
161665-2016	2016	7/4/2016	1:00	1309 MAIN ST	ASSAULT	75202
153398-2016	2016	6/25/2016	0:10	1309 MAIN ST	VANDALISM & CRIM MISCHIEF	75202
142767-2016	2016	6/11/2016	19:00	1309 MAIN ST	THEFT/BMV	75202
116827-2016	2016	5/10/2016	17:05	1309 MAIN ST	UUMV	75202
042556-2016	2016	2/19/2016	18:00	1309 MAIN ST	CRIMINAL MISCHIEF/VANDALI	75202
020402-2016	2016	1/25/2016	18:00	1309 MAIN ST	THEFT/BMV	75202
016894-2016	2016	1/21/2016	21:47	1309 MAIN ST	ROBBERY-INDIVIDUAL	75202
016894-2016	2016	1/21/2016	21:47	1309 MAIN ST	ROBBERY-INDIVIDUAL	75202
022993-2016	2016	1/15/2016	10:00	1309 MAIN ST	BURGLARY-RESIDENCE	75202
007088-2016	2016	1/8/2016	17:40	1309 MAIN ST	UUMV	75202

Crime Parts 1 & 2, Jan 1 2015-Dec 31 2015 - 1309 Main St						
IncidentNum	ServYr	Date1	Time1	Address	UCR_Offense	ZipCode
299573-2015	2015	12/25/2015	9:30	1309 MAIN ST	THEFT/BMV	75202
283457-2015	2015	12/5/2015	16:30	1309 MAIN ST	UUMV	75202
269336-2015	2015	11/18/2015	22:00	1309 MAIN ST	UUMV	75202
249244-2015	2015	11/3/2015	16:30	1309 MAIN ST	UUMV	75202
257003-2015	2015	11/3/2015	19:35	1309 MAIN ST	OTHER THEFTS	75202
251966-2015	2015	10/28/2015	19:30	1309 MAIN ST	THEFT/BMV	75202
233917-2015	2015	10/6/2015	19:00	1309 MAIN ST	THEFT/BMV	75202
209160-2015	2015	9/7/2015	22:00	1309 MAIN ST	UUMV	75202
194935-2015	2015	8/15/2015	12:00	1309 MAIN ST	THEFT/BMV	75202
185799-2015	2015	8/10/2015	19:00	1309 MAIN ST	BURGLARY-RESIDENCE	75202
187729-2015	2015	8/9/2015	3:00	1309 MAIN ST	OTHER THEFTS	75202
184925-2015	2015	8/9/2015	22:00	1309 MAIN ST	THEFT/BMV	75202
170134-2015	2015	8/9/2015	13:00	1309 MAIN ST	UUMV	75202
185243-2015	2015	8/8/2015	19:30	1309 MAIN ST	UUMV	75202
158619-2015	2015	7/11/2015	2:30	1309 MAIN ST	ASSAULT	75202
169292-2015	2015	6/26/2015	19:00	1309 MAIN ST	THEFT/BMV	75202
143075-2015	2015	6/22/2015	23:00	1309 MAIN ST	VANDALISM & CRIM MISCHIEF	75202
141703-2015	2015	6/20/2015	22:00	1309 MAIN ST	THEFT/BMV	75202
140582-2015	2015	6/19/2015	7:30	1309 MAIN ST	THEFT/BMV	75202
115572-2015	2015	5/18/2015	17:30	1309 MAIN ST	THEFT/BMV	75202
109501-2015	2015	5/13/2015	21:00	1309 MAIN ST	THEFT/BMV	75202
106597-2015	2015	5/12/2015	0:00	1309 MAIN ST	THEFT/BMV	75202
092830-2015	2015	4/24/2015	12:00	1309 MAIN ST	DISORDERLY CONDUCT	75202
014058-2015	2015	1/18/2015	16:30	1309 MAIN ST	UUMV	75202

Crime Parts 1 & 2, Jan 1 2014-Dec 31 2014 - 1309 Main St						
IncidentNum	ServYr	Date1	Time1	Address	UCR_Offense	ZipCode
309351-2014	2014	12/30/2014	17:50	1309 MAIN ST	CRIMINAL TRESPASS	75202
295287-2014	2014	12/12/2014	12:30	1309 MAIN ST	CRIMINAL TRESPASS	75202
292826-2014	2014	12/8/2014	21:00	1309 MAIN ST	THEFT/BMV	75202
281947-2014	2014	11/25/2014	12:00	1309 MAIN ST	CRIMINAL TRESPASS	75202
268729-2014	2014	11/7/2014	21:00	1309 MAIN ST	THEFT/BMV	75202
268602-2014	2014	11/7/2014	20:00	1309 MAIN ST APT 1105	VANDALISM & CRIM MISCHIEF	75202
268506-2014	2014	11/7/2014	20:30	1309 MAIN ST	VANDALISM & CRIM MISCHIEF	75202
234562-2014	2014	9/27/2014	7:30	1309 MAIN ST	UUMV	75202
198442-2014	2014	8/18/2014	0:30	1309 MAIN ST	THEFT/BMV	75202
195042-2014	2014	8/13/2014	23:30	1309 MAIN ST APT 1710	THEFT/BMV	75202
176247-2014	2014	7/20/2014	17:30	1309 MAIN ST	THEFT/BMV	75202
176247-2014	2014	7/20/2014	17:30	1309 MAIN ST	THEFT/BMV	75202
157974-2014	2014	6/29/2014	8:30	1309 MAIN ST APT 1010	OTHER THEFTS	75202
143735-2014	2014	6/14/2014	17:15	1309 MAIN ST	VANDALISM & CRIM MISCHIEF	75202
134965-2014	2014	6/4/2014	0:15	1309 MAIN ST	VANDALISM & CRIM MISCHIEF	75202
20140131289	2014	5/31/2014	1:00	01309 MAIN ST	ASSAULT	75202
20140122442	2014	5/19/2014	17:00	01309 MAIN ST	THEFT/BMV	75202
20140115573	2014	5/10/2014	20:00	01309 MAIN ST	THEFT/BMV	75202
20140109078	2014	5/5/2014	17:30	01309 MAIN ST	THEFT/BMV	75202
20140101513	2014	4/28/2014	1:30	01309 MAIN ST	THEFT/BMV	75202
20140072990	2014	3/31/2014	12:00	01309 MAIN ST	FRAUD	75202
20140075601	2014	3/29/2014	20:30	01309 MAIN ST	THEFT/BMV	75202
20140062137	2014	3/15/2014	23:45	01309 MAIN ST	THEFT/BMV	75202
20140062438	2014	3/14/2014	16:00	01309 MAIN ST	VANDALISM & CRIMINAL MISCHIEF	75202
20140033488	2014	2/10/2014	3:30	01309 MAIN ST	THEFT/BMV	75202
20140001849	2014	1/2/2014	22:30	01309 MAIN ST	THEFT/BMV	75202

December 2013**NO OFFENSE REPORTED**

List of Officers



FRANKIE'S DOWNTOWN

1303 Main Street, Dallas, TX 75202

18 SEP 2017

RE: List of Partners, Principals and Officers
SUP Renewal

Name

Position

Frankie's Downtown

William Katz	Chairman of the Board
Johnnie C. Katz	CEO

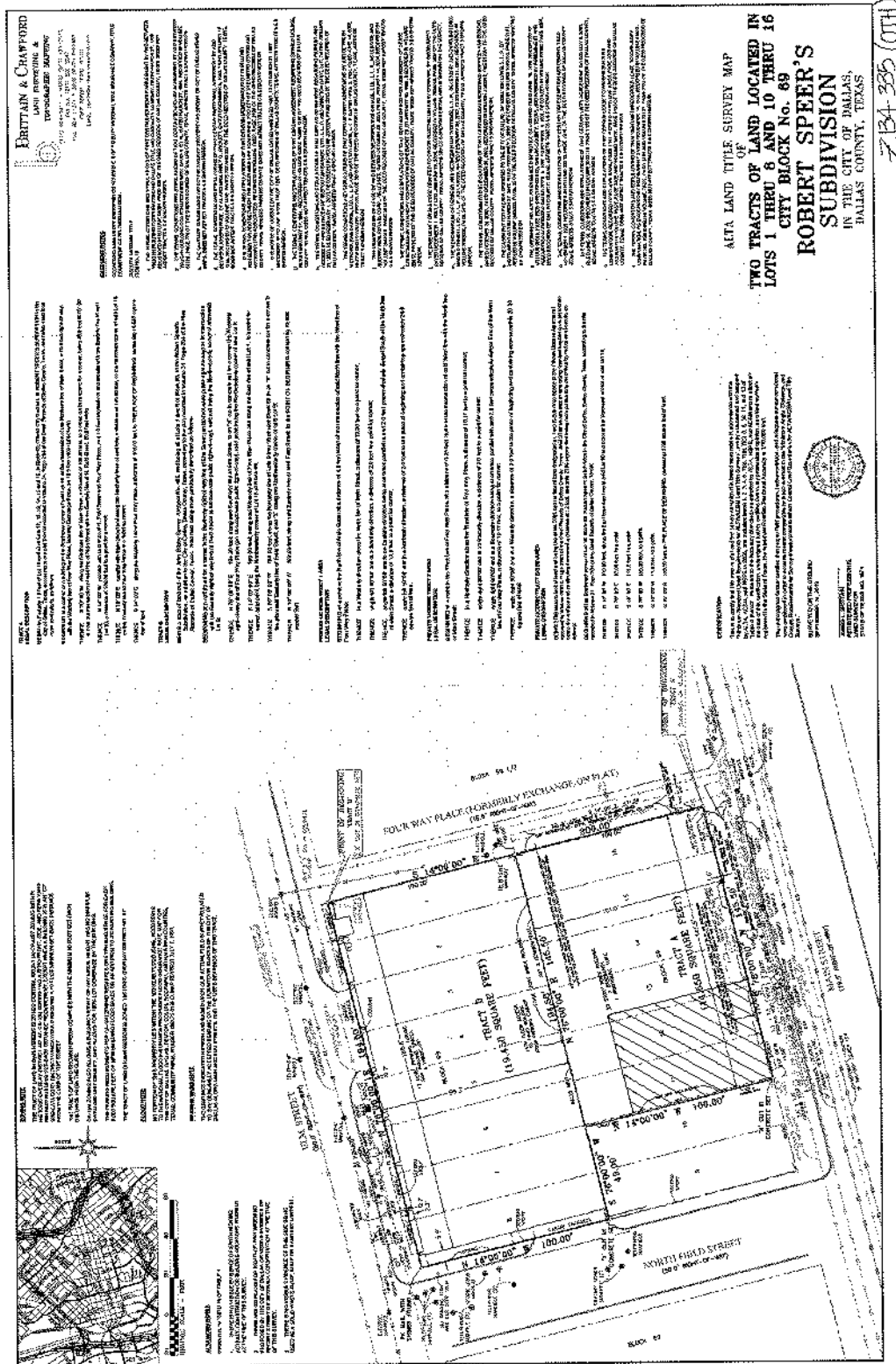
Headington Companies (Landlord)

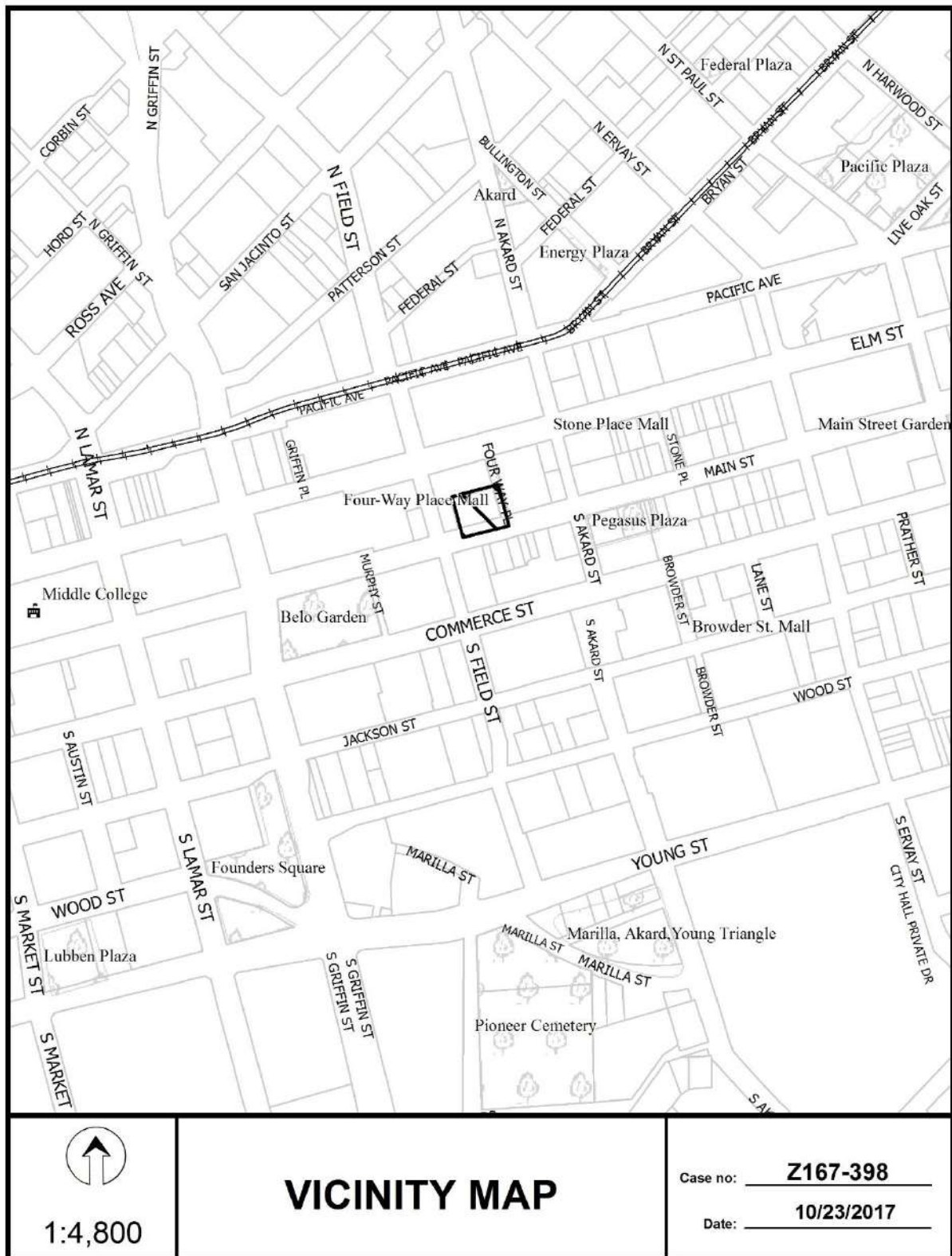
Tim Headington	Chairman and CEO
Michael Tregoning	President, Manager, Registered Agent
John Ambler	Senior Vice President, Legal
Kim Szarzynski	Vice President, Legal
Keith Bunch	Senior Vice President, Accounting & Tax, Treasurer
Julie Ciesielski	Secretary

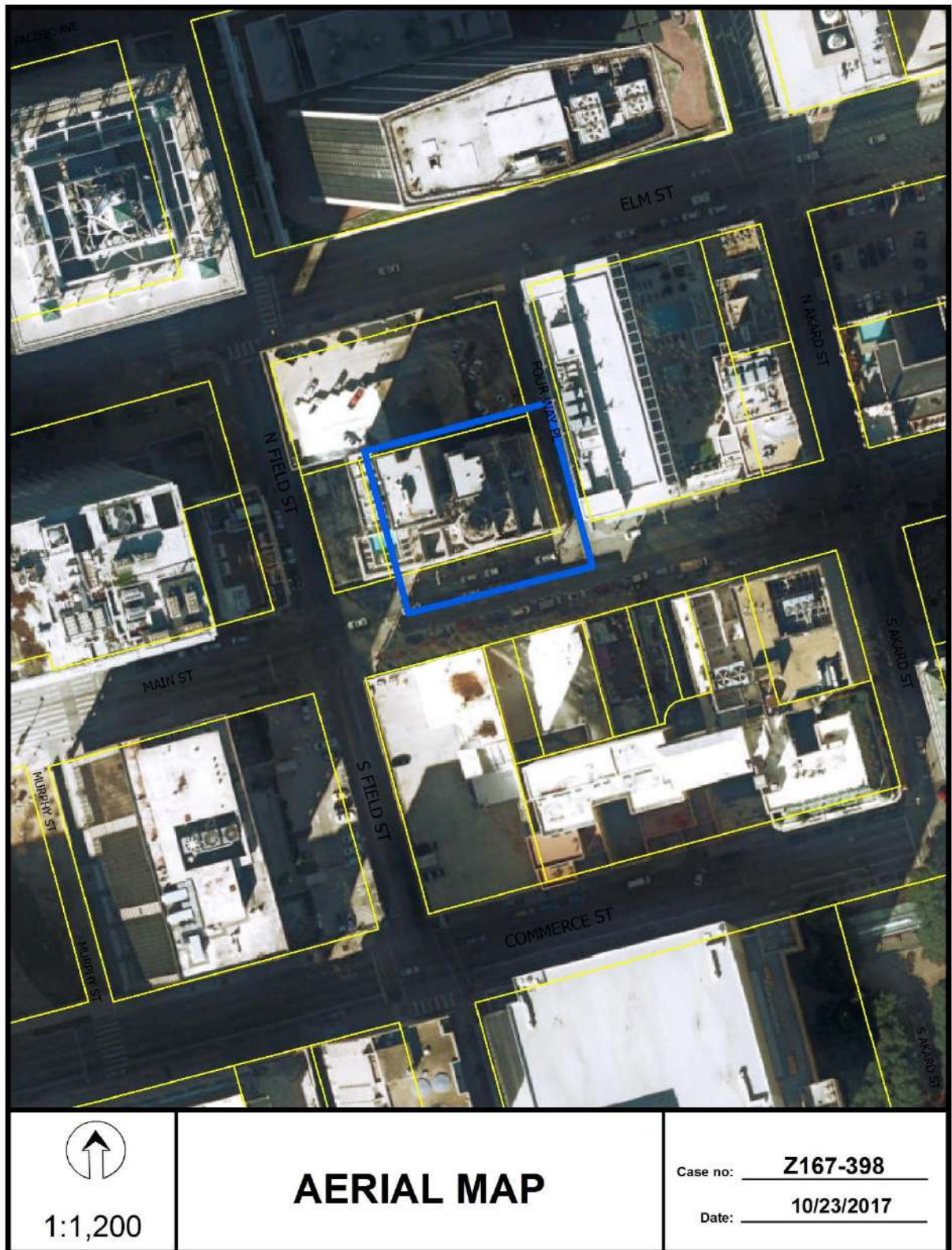
**AMENDING SUP CONDITIONS
SUP NO. 2127**

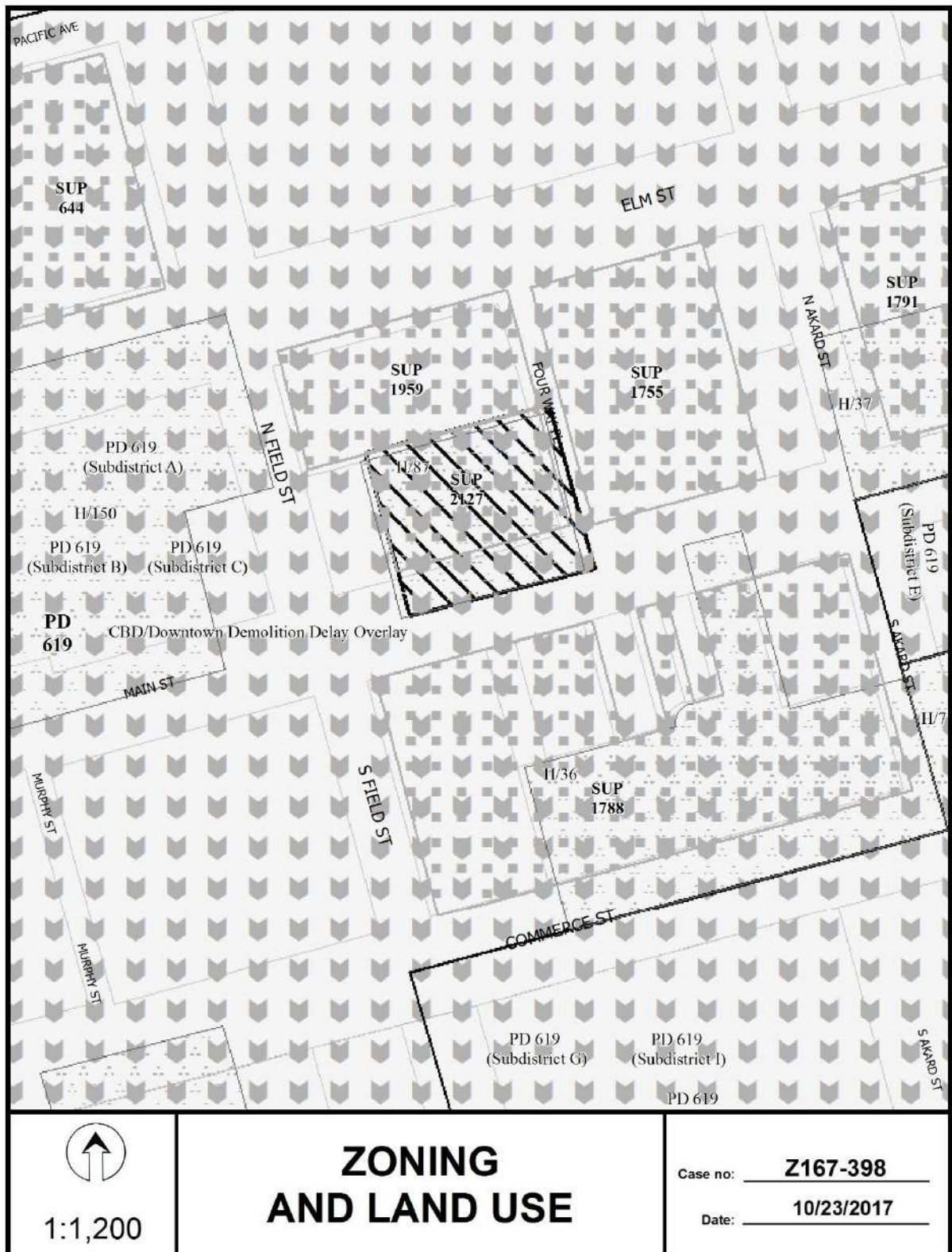
1. USE: The only use authorized by this specific use permit is a restaurant without drive-in or drive-through service.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on ~~December 10, 2017~~ **three-years from the passage of this ordinance.**
3. HOURS OF OPERATION: The restaurant without drive-in or drive-through service may only operate between ~~11:00 a.m.~~ **10:00 a.m.** and 2:00 a.m. Monday through Sunday.
4. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
5. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.

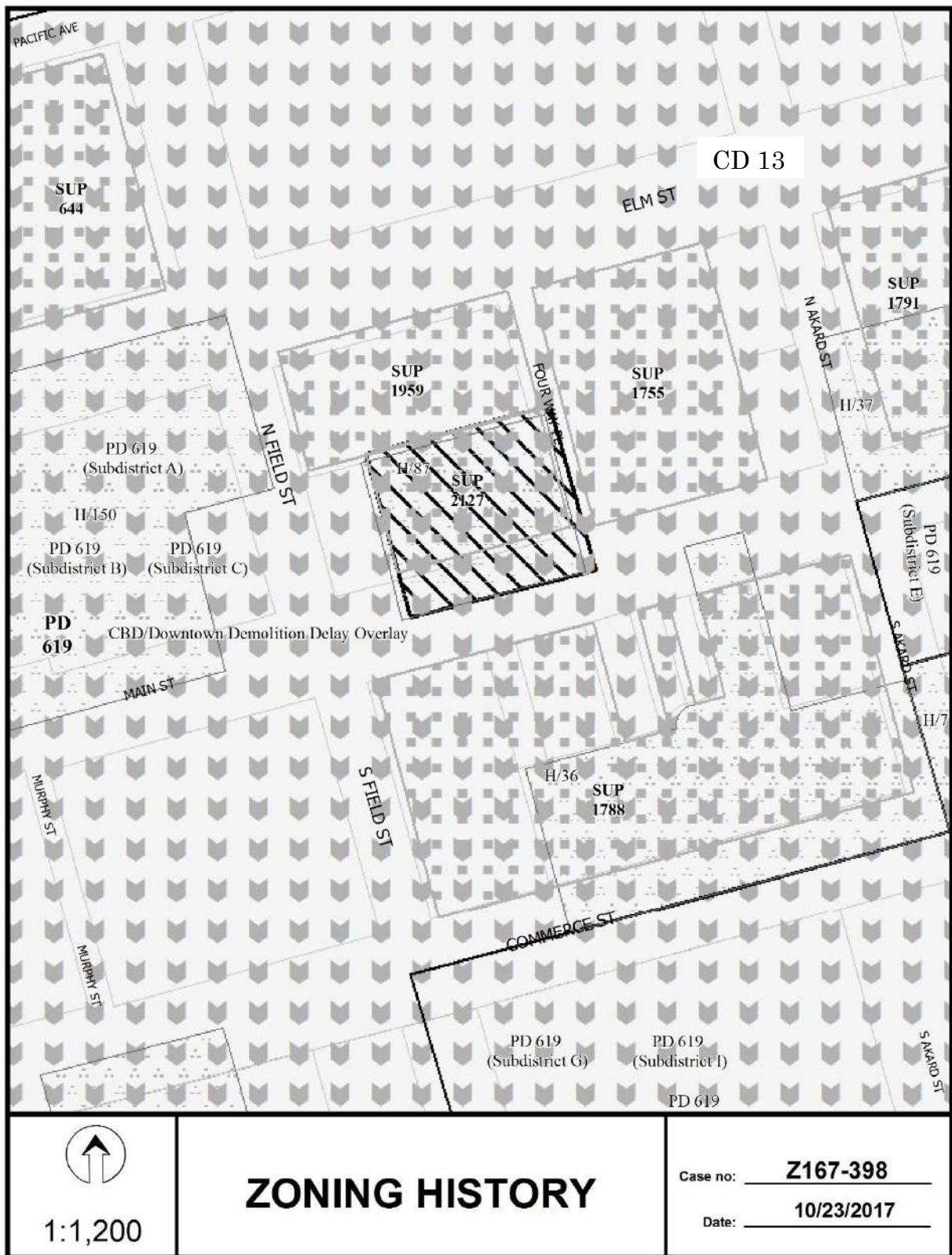
Existing Site Plan

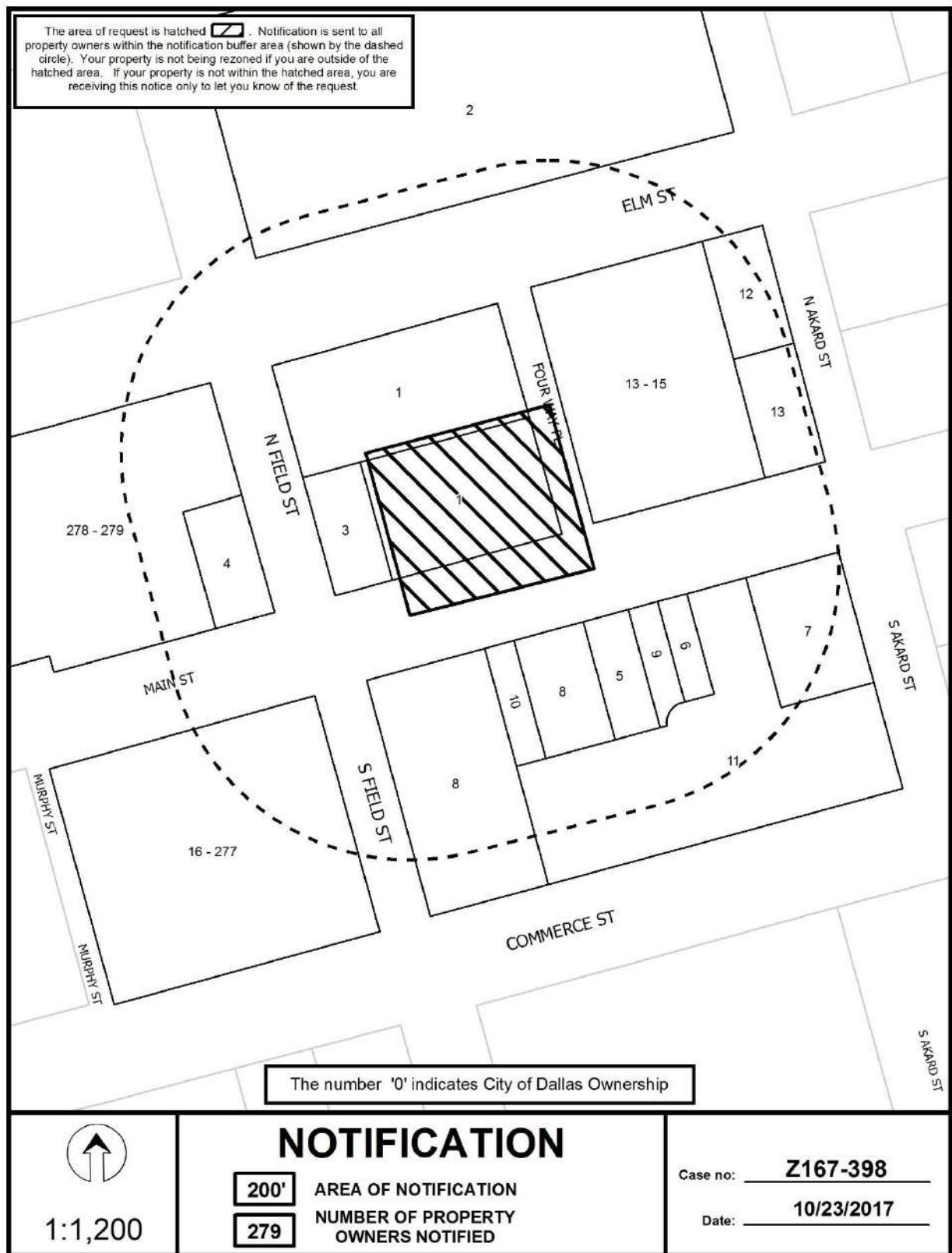












10/23/2017

Notification List of Property Owners***Z167-398******279 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	1302 ELM ST	DAVIS 1309 MAIN LLC
2	1401 ELM ST	DREVER 1401 ELM LLC
3	1301 MAIN ST	NAYEB FAMILY LP
4	1217 MAIN ST	HEADINGTON REALTY & CAPITAL LLC
5	1400 MAIN ST	RBP ADOLPHUS LLC
6	1404 MAIN ST	APAL CO LLC
7	1412 MAIN ST	1412 MAIN STREET LLC
8	1300 MAIN ST	RBP ADOLPHUS LLC
9	1402 MAIN ST	APAL LLC
10	1306 MAIN ST	RBP ADOLPHUS LLC
11	1315 COMMERCE ST	RBP ADOLPHUS LLC
12	1414 ELM ST	LICGF DALLAS LOFTS INC
13	1407 MAIN ST	LICGF DALLAS LOFTS INC
14	1407 MAIN ST	DRED PROPERTIES LTD
15	1407 MAIN ST	DCAR PROPERTIES LTD
16	1200 MAIN ST	TONOLI FRANK E &
17	1200 MAIN ST	FISCHER JOSHUA A
18	1200 MAIN ST	1621 ERVAY LTD
19	1200 MAIN ST	BRANAMAN MICHAEL S &
20	1200 MAIN ST	SMITH RANDOLPH
21	1200 MAIN ST	DIXON GLORIA D
22	1200 MAIN ST	ORTIZ GUILLERMINA
23	1200 MAIN ST	FONTENOT TOMMY JAMES
24	1200 MAIN ST	RAFF GEORGE JR
25	1200 MAIN ST	SMITH DANIEL E & HERMA A
26	1200 MAIN ST	BRANSTETTER ROBERT M & CAROL SHELTON

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	1200 MAIN ST	FREEMAN SCOTT
28	1200 MAIN ST	BOBBITT CHARLES MICHAEL
29	1200 MAIN ST	JUAREZ GERARDO
30	1200 MAIN ST	KIRKLAND MYRA EDITH &
31	1200 MAIN ST	AMONGKOL JITTADA KITTY
32	1200 MAIN ST	HART STANLEY L &
33	1200 MAIN ST	SMITH SHERIA D
34	1200 MAIN ST	CRIST EUGENE SCOTT
35	1200 MAIN ST	TERESI MARK A & JEANNE N
36	1200 MAIN ST	CWALINO PETER
37	1200 MAIN ST	KISLING MISTY
38	1200 MAIN ST	SANADI NISAR & THU NGUYET
39	1200 MAIN ST	CARPENTER ROBIN N
40	1200 MAIN ST	MASTAGLIO LINDA R
41	1200 MAIN ST	LOPEZ DENNIS A
42	1200 MAIN ST	CLARK TAMPA CATHERINE
43	1200 MAIN ST	BAILEY PETER & MARY
44	1200 MAIN ST	PERRI ANTHONY J &
45	1200 MAIN ST	KANTELADZE ANNA &
46	1200 MAIN ST	FAYE WILLIS DESIGNS INC
47	1200 MAIN ST	BAGARIA SAPNA & SURESH
48	1200 MAIN ST	PARKER MARK GRAHAM
49	1200 MAIN ST	ABDULKHAALIQ ANWAAR
50	1200 MAIN ST	ARAUJO JOSEPH
51	1200 MAIN ST	CHATTERJEE ARUNABHA
52	1200 MAIN ST	SALVANT WAYNE
53	1200 MAIN ST	ELLER TOM J & ROBYN
54	1200 MAIN ST	MASSEY LINDA
55	1200 MAIN ST	DASH PRIYARANJAN &
56	1200 MAIN ST	MUEHLENWEG ROBERT J &
57	1200 MAIN ST	CUEVAS ISRAEL F

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	1200 MAIN ST	EDWARDS JAMES & BARBARA
59	1200 MAIN ST	NORRED J WESLEY III
60	1200 MAIN ST	JIA YUEMENG
61	1200 MAIN ST	BIERMAN SYDNEY GRACE
62	1200 MAIN ST	KADAN PROPERTIES LP
63	1200 MAIN ST	CAMPOS EDWARD
64	1200 MAIN ST	ADAMS WILHELMINA J
65	1200 MAIN ST	COMBS DAMETIA
66	1200 MAIN ST	YAVANZA LLC
67	1200 MAIN ST	ALCANTARA PEDRO
68	1200 MAIN ST	HERICKS JAMES &
69	1200 MAIN ST	BAKER WILLIAM H III
70	1200 MAIN ST	SPRING TRUMAN E JR
71	1200 MAIN ST	TITTLE CYNTHIA LARK
72	1200 MAIN ST	DANIEC MONICA
73	1200 MAIN ST	BLACK PAUL
74	1200 MAIN ST	HAQUE NAZ &
75	1200 MAIN ST	BRANCELA JOHN
76	1200 MAIN ST	LINDSAY HAWNI E
77	1200 MAIN ST	CHANEY GARY WAYNE 1992 FAMILY TRUST
78	1200 MAIN ST	NGUYEN MICHAEL
79	1200 MAIN ST	BENEVENTI MARK FRANCIS
80	1200 MAIN ST	DU YALI
81	1200 MAIN ST	PATOINE TERESA SUSAN
82	1200 MAIN ST	SAIED ANNA M
83	1200 MAIN ST	FAIRCHILD MELISSA
84	1200 MAIN ST	CANON JOSEPH & ELIZABETH
85	1200 MAIN ST	DEMPSEY MICHAEL THOMAS &
86	1200 MAIN ST	HARRIS KENDRICK LASALLE
87	1200 MAIN ST	CRIST EUGENE SCOTT
88	1200 MAIN ST	PATEL JAYSHREE &

Z167-398(JM)

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
89	1200 MAIN ST	ALSUP LAUREN BRITTANY
90	1200 MAIN ST	KAHANE DENNIS SPENCER
91	1200 MAIN ST	PRIBADI LILIANA
92	1200 MAIN ST	SALEEM ADEEL
93	1200 MAIN ST	ANTAO RYAN TRISTEN
94	1200 MAIN ST	MOBLEY HENRY B JR
95	1200 MAIN ST	COWAN MICHAEL & MARTHA
96	1200 MAIN ST	GHODSI YEGANEH &
97	1200 MAIN ST	CLEERE LARRY J &
98	1200 MAIN ST	IPPOLITO MARTA
99	1200 MAIN ST	CIN ALBERTO DAL
100	1200 MAIN ST	BROWN GLENN ALAN
101	1200 MAIN ST	ROMERO GERALD & LOURDES
102	1200 MAIN ST	BEANEY STEVEN LEE
103	1200 MAIN ST	SCARBOROUGH DONALD D
104	1200 MAIN ST	KEANE JUSTIN SCOTT &
105	1200 MAIN ST	BROWN NOLLEY LEON CLEMON &
106	1200 MAIN ST	LUMME DONALD GUY JR
107	1200 MAIN ST	XIE JIMIN
108	1200 MAIN ST	OROZCO CARLOS A
109	1200 MAIN ST	BABAKHANIAN ROUBEN
110	1200 MAIN ST	DOMINGUEZ JOSE R
111	1200 MAIN ST	PURNELL KENNETH
112	1200 MAIN ST	ROSALES JORGE
113	1200 MAIN ST	MA MAU & JUYEI
114	1200 MAIN ST	THOMAS BIJU
115	1200 MAIN ST	COMPEAU BRYAN
116	1200 MAIN ST	MADDERRA RHONDA & FARON
117	1200 MAIN ST	HONRALES MARK &
118	1200 MAIN ST	CRAIG TERRY E &
119	1200 MAIN ST	BALUCH HOLDINGS LLC

Z167-398(JM)

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
120	1200 MAIN ST	ADROVIC ARMIN
121	1200 MAIN ST	ROMIG RANDALL
122	1200 MAIN ST	BRAUM EARL E JR
123	1200 MAIN ST	TAUSCH JOHANNES &
124	1200 MAIN ST	MORAIS JUSTIN
125	1200 MAIN ST	MATHEWS AMIT &
126	1200 MAIN ST	MCCANS WILLIAM
127	1200 MAIN ST	LOPEZ ADAN FRANCISCO
128	1200 MAIN ST	JUDAH JOHN K
129	1200 MAIN ST	HANNA IHAB
130	1200 MAIN ST	MORENO KRISTINE M
131	1200 MAIN ST	BAKER ARIANNE &
132	1200 MAIN ST	MOORE ROBERT W
133	1200 MAIN ST	SANTAMARIA ARTHUR &
134	1200 MAIN ST	RAZA SYED S & NASREEN S
135	1200 MAIN ST	BOSE RANAVIR & SARMILA
136	1200 MAIN ST	FUNG DAVID KARL & KATHY LEE FUNG
137	1200 MAIN ST	FLORES GEORGINA E
138	1200 MAIN ST	LI LIETAO
139	1200 MAIN ST	TINSLEY GARY A
140	1200 MAIN ST	MICHULKA GEORGE &
141	1200 MAIN ST	BYRUM TADD A &
142	1200 MAIN ST	HUTCHINSON ANDREW F II
143	1200 MAIN ST	KHEMANI PRAVIN
144	1200 MAIN ST	SUTTONDEABREU ILA I
145	1200 MAIN ST	BENTLEY BRIAN D
146	1200 MAIN ST	CLARK CHRISTIAN
147	1200 MAIN ST	DAIYA NAMRATA
148	1200 MAIN ST	JACKSON JAN B & ROGER
149	1200 MAIN ST	SALVANT WAYNE F &
150	1200 MAIN ST	LIN HUANG SHENG

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
151	1200 MAIN ST	HILL SIMON &
152	1200 MAIN ST	HIBSID 1 LLC
153	1200 MAIN ST	QUARTOS VACA LLC
154	1200 MAIN ST	KOKES KEVIN K
155	1200 MAIN ST	HARRIS CARLOS
156	1200 MAIN ST	JAIN NEHA
157	1200 MAIN ST	CHAMBERLAIN BLAKE BARRETT
158	1200 MAIN ST	KHAN MOIN
159	1200 MAIN ST	KLAMM CYNTHIA B &
160	1200 MAIN ST	L & M FAMILY TRUST THE
161	1200 MAIN ST	JACKSON CAROL
162	1200 MAIN ST	COWDEN PETER
163	1200 MAIN ST	NARAN ASHOK
164	1200 MAIN ST	LANCASTER PHILLIP & IRENE
165	1200 MAIN ST	
166	1200 MAIN ST	AN JOSHUA DON ALLEN
167	1200 MAIN ST	POLANCO PAUL
168	1200 MAIN ST	DAMANI ANIRUDH A
169	1200 MAIN ST	DOCKTER BRYAN
170	1200 MAIN ST	UNDERHILL JAMES S
171	1200 MAIN ST	DEAR CORY & CLARK MEREDITH
172	1200 MAIN ST	STRINGER CHRISTOPHER & KATIE
173	1200 MAIN ST	STROTHMAN RHONDA K
174	1200 MAIN ST	REMPHREY BRYAN S
175	1200 MAIN ST	DYNKIN ANTHONY
176	1200 MAIN ST	BROWNELL SUSAN K &
177	1200 MAIN ST	LANCASTER PHILLIP GEOFFREY &
178	1200 MAIN ST	HOLLANDER KEVIN J & BETH A
179	1200 MAIN ST	AHUMADA MUCIO
180	1200 MAIN ST	LESTER MARY C
181	1200 MAIN ST	LIN MILO M &

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
182	1200 MAIN ST	GARNER SUSAN
183	1200 MAIN ST	MOORE ROBERT W
184	1200 MAIN ST	CHAFFIN LYNDAL A
185	1200 MAIN ST	HUMES EDUARDO
186	1200 MAIN ST	VIRANI ASIF
187	1200 MAIN ST	DIXON ADAM
188	1200 MAIN ST	XIE JIMIN & WEIYAN JEANNE LI
189	1200 MAIN ST	JHAVERI SATYEN DHIREN
190	1200 MAIN ST	ABDULWAHAB MANNIE
191	1200 MAIN ST	GODOY DULCE MARIA RIVAS
192	1200 MAIN ST	KOSTREVA JOSH A
193	1200 MAIN ST	ZOLLER ROBERT W
194	1200 MAIN ST	SARETSKY NEIL &
195	1200 MAIN ST	KOERBER ELLEN &
196	1200 MAIN ST	GREENSTREET TROY A
197	1200 MAIN ST	RICHARDS GILL & ELIZABETH ANN
198	1200 MAIN ST	NATHAL JULIO
199	1200 MAIN ST	SINGERMAN ALEXANDER
200	1200 MAIN ST	13TX PROPERTIES LLC
201	1200 MAIN ST	POON PHILIP
202	1200 MAIN ST	ROMERO ROBERT R &
203	1200 MAIN ST	HAYES MONIQUE C
204	1200 MAIN ST	RICHARDS GILL & ELIZABETH ANN
205	1200 MAIN ST	HAGLER TRENT L
206	1200 MAIN ST	REVELLE ANIEL W III & CAROL L
207	1200 MAIN ST	OLTMAN GREGG
208	1200 MAIN ST	MALHOTRA MANISH
209	1200 MAIN ST	MEADOWS TAYLOR
210	1200 MAIN ST	FICKEL MATTHEW & MARY BETH
211	1200 MAIN ST	SHAFFNER GLORIA
212	1200 MAIN ST	GOLNABI ROSITA NINA & NEIMA

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
213	1200 MAIN ST	CAMPBELL W DONALD &
214	1200 MAIN ST	GASPER ADAM D
215	1200 MAIN ST	MCCLAIN JONI L MD FAMILY TRUST
216	1200 MAIN ST	REVIS MARK
217	1200 MAIN ST	NAZARUK ALEKSANDER
218	1200 MAIN ST	YING KEN W
219	1200 MAIN ST	AMEHAYES AMDETSION
220	1200 MAIN ST	THEIS LANGSTON & ELIZABETH SMITH
221	1200 MAIN ST	KEANE JUSTIN
222	1200 MAIN ST	BODLEY GABRIELLE
223	1200 MAIN ST	MCBRIDE KAREN & GEORGE S
224	1200 MAIN ST	WILSON GLEN TAYLOR &
225	1200 MAIN ST	DURRA OMAR
226	1200 MAIN ST	PHILLIPS DAVID G
227	1200 MAIN ST	WARREN BLAKE T &
228	1200 MAIN ST	MARKHOFF STEVEN
229	1200 MAIN ST	GRANT JASON A & MARIA
230	1200 MAIN ST	PIERCE KEVIN G
231	1200 MAIN ST	CUNNINGHAM THOMAS G
232	1200 MAIN ST	POWERS A MARKS
233	1200 MAIN ST	WERLE LESLEY
234	1200 MAIN ST	BERMAN DANIEL
235	1200 MAIN ST	PERRI VINEYARDS & REAL ESTATE
236	1200 MAIN ST	RANDOLPH HEATHER ELAINE &
237	1200 MAIN ST	FISCHER TRISA
238	1200 MAIN ST	INDIGO CAPITAL GROUP LLC
239	1200 MAIN ST	KNIPE LUTHER DASSON III
240	1200 MAIN ST	IPPOLITO ESTER
241	1200 MAIN ST	PATKOVIC MARIJANA
242	1200 MAIN ST	BASH DAMIEN
243	1200 MAIN ST	BRODNER SAMUAL C & LEIGH A

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
244	1200 MAIN ST	FIELDS FOSTER LAND TRUST
245	1200 MAIN ST	SHIPP RONALD B
246	1200 MAIN ST	ALCANTARA PEDRO
247	1200 MAIN ST	COX JOHN VERNON TR & GAY GAYLE TR
248	1200 MAIN ST	COX JOHN VERNON TR &
249	1200 MAIN ST	SMITH LAURA
250	1200 MAIN ST	BALUCH AMIR &
251	1200 MAIN ST	ONU ADISA M
252	1200 MAIN ST	TANG YIHCHIH &
253	1200 MAIN ST	MAYORGA LUIS A
254	1200 MAIN ST	MUSABASIC MEMSUD
255	1200 MAIN ST	GILMAN ALEX
256	1200 MAIN ST	MOTGI GURUBASAPPA V & SHASHI R MOTGI
257	1200 MAIN ST	SARDARABADI ABDOL M &
258	1200 MAIN ST	WATTS FAMILY TRUST
259	1200 MAIN ST	KORNEGAY FAMILY TRUST
260	1200 MAIN ST	TRAMMELL DUANE &
261	1200 MAIN ST	DUNCAN ROBERT J &
262	1200 MAIN ST	JHAVERI SATYEN DHIREN
263	1200 MAIN ST	WALSH WILLIAM ANTHONY
264	1200 MAIN ST	REAGANS KIMBERLY
265	1200 MAIN ST	KRISHNA SHAILENDRA &
266	1200 MAIN ST	PONZIO JOHN &
267	1200 MAIN ST	BARBADILLO OSCAR JR
268	1200 MAIN ST	DAVIS WALKER L
269	1200 MAIN ST	HERNDON CYNTHIA A
270	1200 MAIN ST	PERRI VINEYARDS &
271	1200 MAIN ST	GARCIA CASSANDRA
272	1200 MAIN ST	BARBATO CRISTINA COSTA
273	1200 MAIN ST	BOWLES NEAL A & CARLA D WATSON
274	1200 MAIN ST	GALAL PHILLIPE & NIKI M STOLIS

Z167-398(JM)

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
275	1200 MAIN ST	WILKINSON EARL J
276	1200 MAIN ST	CALDWELL ROGER W & KIMBERLY S
277	1200 MAIN ST	BELGAUM LLC
278	1201 MAIN ST	ONE MAIN PLACE HOTEL LLC
279	1201 MAIN ST	ONE MAIN PLACE OFFICE LLC

FILE NUMBER: Z167-399(JM)

DATE FILED: September 22, 2017

LOCATION: Southwest corner of the C.F. Hawn Service Road and Ellenwood Drive

COUNCIL DISTRICT: 8

MAPSCO: 65-H

SIZE OF REQUEST: ±1.172 acres

CENSUS TRACT: 117.02

APPLICANT/OWNER: Luisa Jimenez % Gueros Auto Shop

REQUEST: An application for a Specific Use Permit for a vehicle display, sales, and service use on property zoned Subdistrict 1 within Planned Development District No. 535, the C.F. Hawn Special Purpose District No. 3, with a D-1 Liquor Control Overlay.

SUMMARY: The applicant proposes to develop the site with a vehicle display, sales, and service center.

STAFF RECOMMENDATION: Approval for a three-year period, subject to a site plan, landscape plan and conditions.

BACKGROUND INFORMATION:

- The request site is largely undeveloped, with a single-family residence located on the southern portion. The applicant plans to convert the nearly 2,400 square-foot home into an office for operation of the proposed vehicle display, sales, and service use. Additionally, the applicant proposes to construct a new 2,100 square-foot metal building for operation of the business. The vehicle display area accounts for 1,296 square feet of outdoor area.
- PD No. 535, the C.F. Hawn Special Purpose District No. 3 was established in 1999 and contains approximately 132.98 acres. The request area occupies approximately 1.172 acres of land within PD No. 535.
- Subdistrict 1 is a Light Industrial Subdistrict in which a vehicle display, sales, and service use requires a Specific Use Permit. Surrounding land uses include: outside salvage and reclamation, auto wrecker, and vehicle display, sales, and service to the north; undeveloped land to the east; outside salvage and reclamation to the south; and, vehicle or engine maintenance or repair, inside industrial, and cell antennae/communications tower to the west.

Zoning History: There has been one zoning case in the area over the past five years.

1. **Z134-190:** On August 10, 2011, the City Council approved the renewal of SUP No. 1717 for a vehicle display, sales, and service use for a three-year period at the northwest corner of C.F. Hawn Freeway and Haymarket Road. This case was auto-renewed on October 5, 2017, for a new three-year period (Z167-298).

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
CF Hawn Freeway	Freeway	Variable	Variable
Ellenwood Drive	Local	60 feet	60 feet

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the proposed amendment will not have a negative impact on the surrounding street system.

Surrounding Land Uses:

	Zoning	Land Use
Site	PD No. 535, Subdistrict 1 w/D-1 Overlay	Undeveloped & Residential
North	PD No. 535, Subdistrict 1 w/D-1 Overlay	Outside salvage & reclamation, auto wrecker, and vehicle display, sales, & service
East	PD No. 535, Subdistrict 1 w/D-1 Overlay	Undeveloped
South	CS Commercial Service	Outside salvage & reclamation
West	PD No. 535, Subdistrict 1 w/D-1 Overlay	Industrial inside, vehicle or engine repair or maintenance, and cellular antennae/ communications tower

STAFF ANALYSIS:**Comprehensive Plan:**

The Comprehensive Plan does not make a specific land use recommendation related to the request, however the *forwardDallas! Vision Illustration*, adopted June 2006, is comprised of a series of Building Blocks that depicts general land use patterns. Building Blocks are generalized patterns without well-defined boundaries that indicate where certain types and densities of development might logically occur.

The Vision Illustration depicts the request site as being within a *Commercial Center or Corridor* Building Block. These areas primarily function as service and job destinations and are similar to Business Centers or Corridors, but are smaller and incorporate less density. These corridors, commonly at the intersection of major streets, are easily accessed via automobiles. Buckner Boulevard is an example of a Commercial Corridor. Buildings in these areas tend to be on separate parcels and stand one to five stories with offices, restaurants and a range of retail and commercial uses thus creating jobs and providing services to adjacent residential communities. Landscaping and urban design will enhance the visitor's experience and is used to separate sidewalks from major roads and define pedestrian routes in large parking lots. Public transit enhancements, as well as quality access and visibility, are important components of successful auto-oriented development.

The applicant's request generally complies with the following goal and policy of the Comprehensive Plan.

LAND USE

GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods' unique characteristics. Acknowledge the importance of neighborhoods to the city's long-term health and vitality.

Implementation Measure 1.1.5.3 Encourage neighborhood-serving office, retail, or other non-residential uses to be located in residential community areas, primarily on significant roadways or at key intersections.

GOAL 1.2 PROMOTE DESIRED DEVELOPMENT

Policy 1.2.1 Use Vision Building Blocks as a general guide for desired development patterns.

The proposed vehicle display, sales, and service use is consistent with the characteristics of the building block. The business would provide new jobs and expand upon the existing land use pattern and industry located along C.F. Hawn Freeway.

Land Use Compatibility:

The request site is surrounded by outside salvage and reclamation, auto wrecker, and vehicle display, sales, and service to the north; undeveloped land to the east; outside salvage and reclamation to the south; and, vehicle or engine maintenance or repair, inside industrial, and cell antennae/communications tower to the west.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards.

The proposed establishment would provide a service that is related to the surrounding uses and does not negatively impact adjacent properties. The SUP process of continuous review, up-keep, and public input would allow for the periodic review of the land use to ensure it continues to compliment the surrounding neighborhood over time.

Parking:

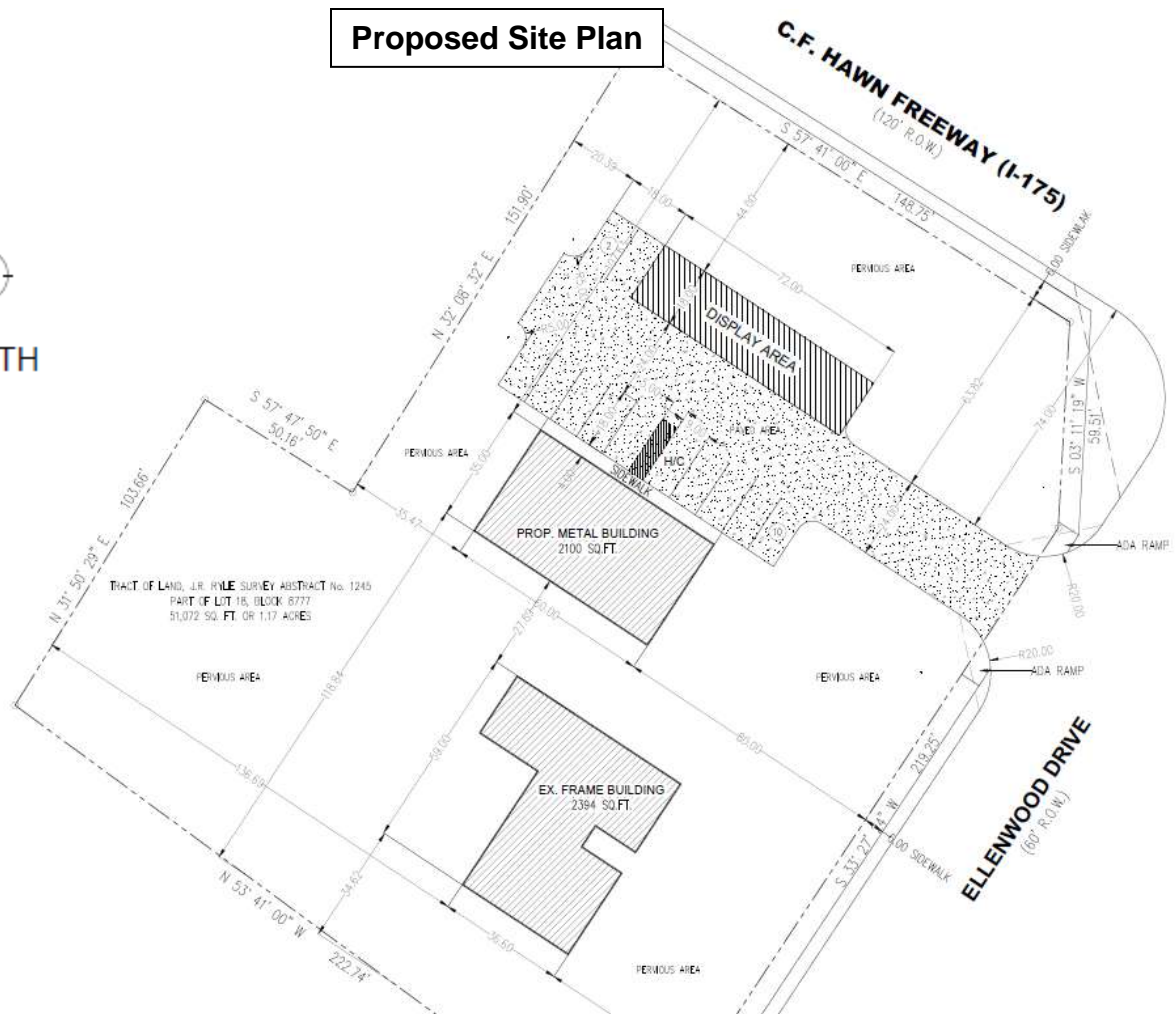
PD No. 535 refers to the Dallas Development Code for parking regulations. Pursuant to the Dallas Development Code, the off-street parking requirement for the vehicle sales, display, and service use is one space per 500 square feet of floor area, inclusive of the display area. Therefore, the ±4,494-square-foot buildings (combined for existing and proposed structure) and ±1,296-square feet of display area require space 12 spaces. As illustrated on the site plan, 12 spaces are provided.

Landscaping:

The new development on the property will require landscaping per Article X of the Dallas Development Code, as amended. A landscape plan has been submitted with this request and is conditioned by the SUP requirements. At the time of this report, the City Arborist was reviewing the proposed landscape plan. An update will be provided at the hearing.

Proposed SUP Conditions

1. USE: The only use authorized by this specific use permit is a vehicle display, sales, and service use.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on (three years) from the passage of this ordinance.
4. LANDSCAPING: Landscaping must be provided as shown on the attached landscape plan.
5. HOURS OF OPERATION: The vehicle display, sales, and service use may only operate between 8:00 a.m. and 8:00 p.m., Monday through Saturday.
6. INGRESS-EGRESS: Ingress and egress must be provided in the locations shown on the attached site plan. No other ingress or egress is permitted.
7. OFF-STREET PARKING: Off-street parking must be provided in the locations shown on the attached site plan. Areas for parking, vehicle display, and maneuvering of vehicles must be paved with a nonpermeable surface.
8. SIGNS: Flags and pennants are not permitted.
9. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
10. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.



PARKING ANALYSIS:

LAND USE: VEHICLE DISPLAY, SALES, AND SERVICE

PARKING REQUIRED: $\frac{1}{1000}$ SQ. FT. OF FLOOR & SITE AREA EXCLUSIVE OF PARKING AREA

TOTAL LAND AREA: 51,072 SQ. FT.

DISPLAY AREA: 1296 SQ. FT.

BUILDING AREA: 4,494 SQ. FT.

PARKING REQUIRED: $1296 + 4494 = \frac{5790}{1000} = 11.5$

PARKING PROVIDED: 12 SPACES

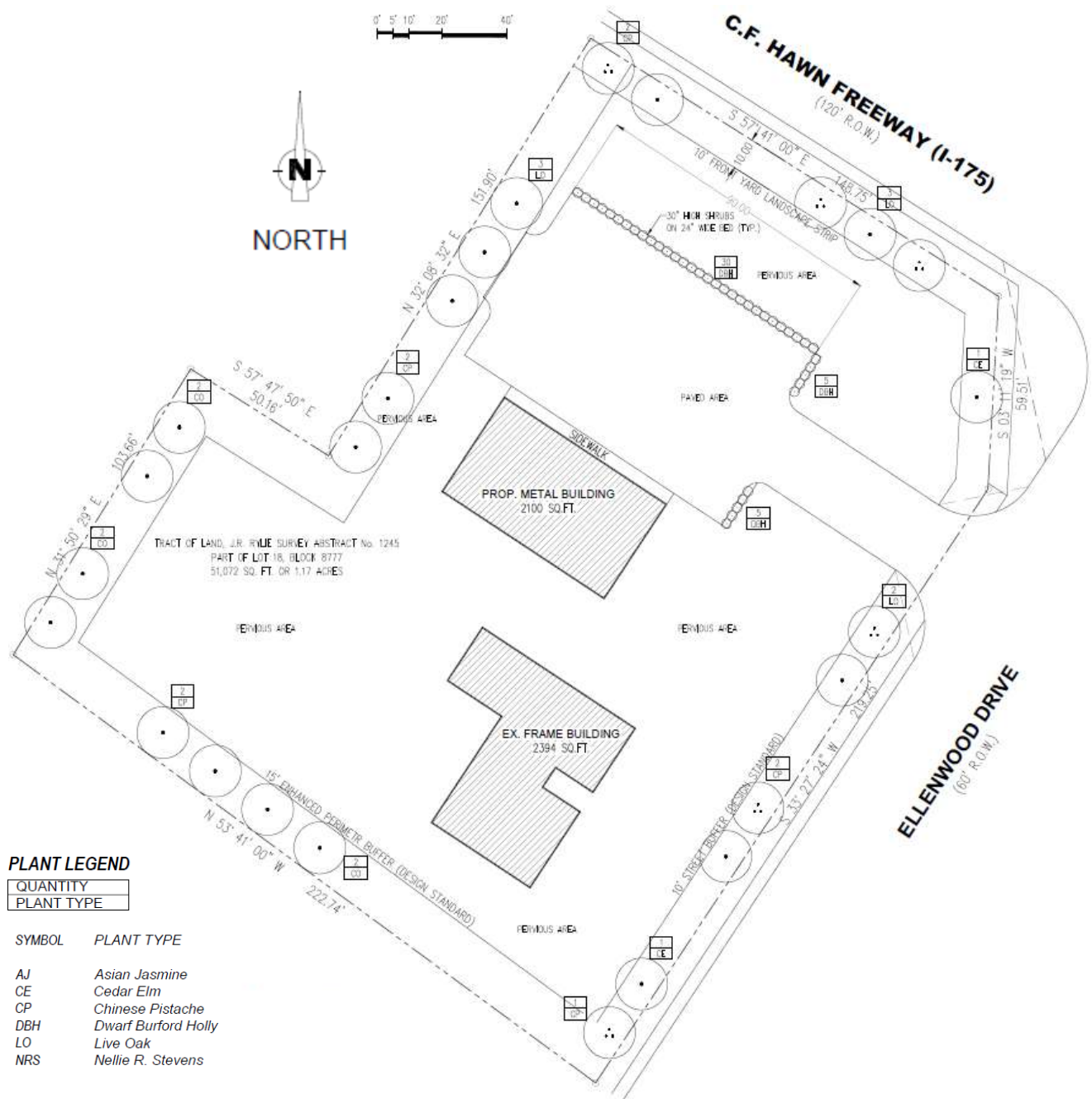
SEC. 51A 4.301.(A)(4) FOR PURPOSES OF DETERMINING OFF STREET PARKING, SITE AREA AS DEFINED IN SECTION 51A-2.102, DOES NOT INCLUDE THAT AREA OCCUPIED BY OFF STREET PARKING, LANDSCAPE AREAS, AND OPEN SPACE NOT USED FOR STORAGE OR SALES.

LOT COVERAGE: 8.79%

LANDSCAPE AS PER ARTICLE X OF DALLAS DEVELOPMENT CODE

ZONING: PD 535, SUB-DISTRICT I (LIGHT INDUSTRIAL)

Proposed Landscape Plan



PLANT LEGEND

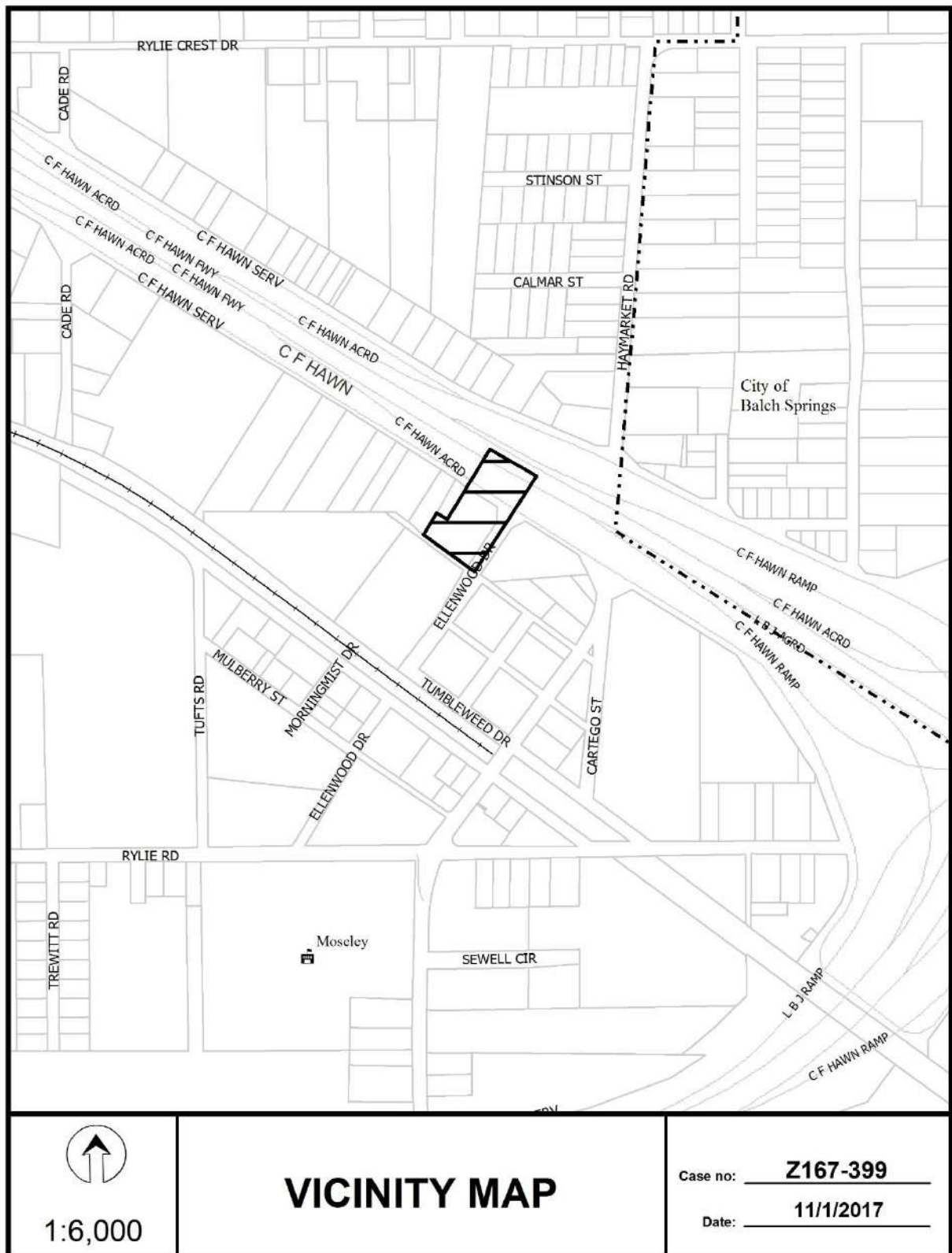
QUANTITY
PLANT TYPE

SYMBOL	PLANT TYPE
AJ	Asian Jasmine
CE	Cedar Elm
CP	Chinese Pistache
DBH	Dwarf Burford Holly
LO	Live Oak
NRS	Nellie R. Stevens

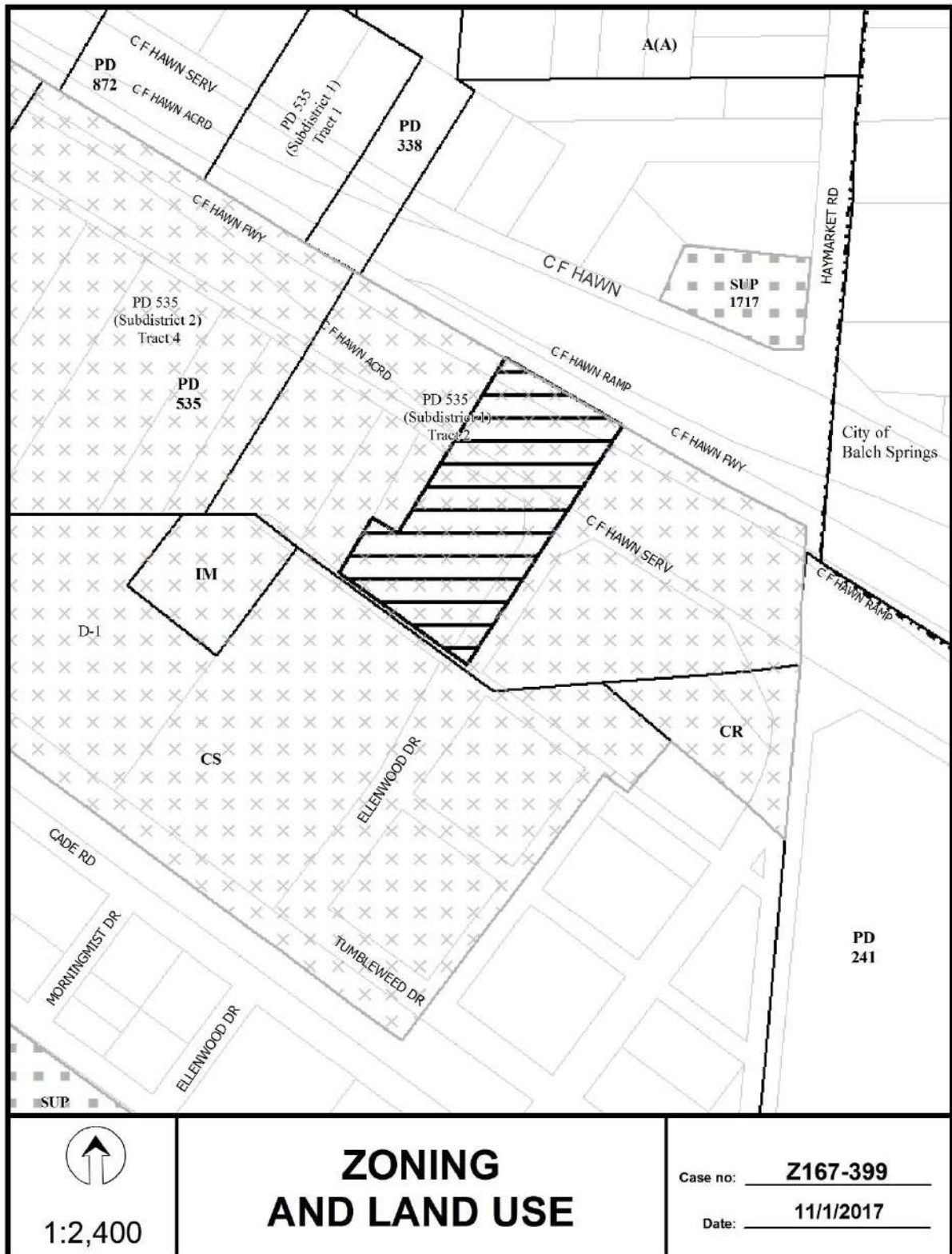
PLANT LIST

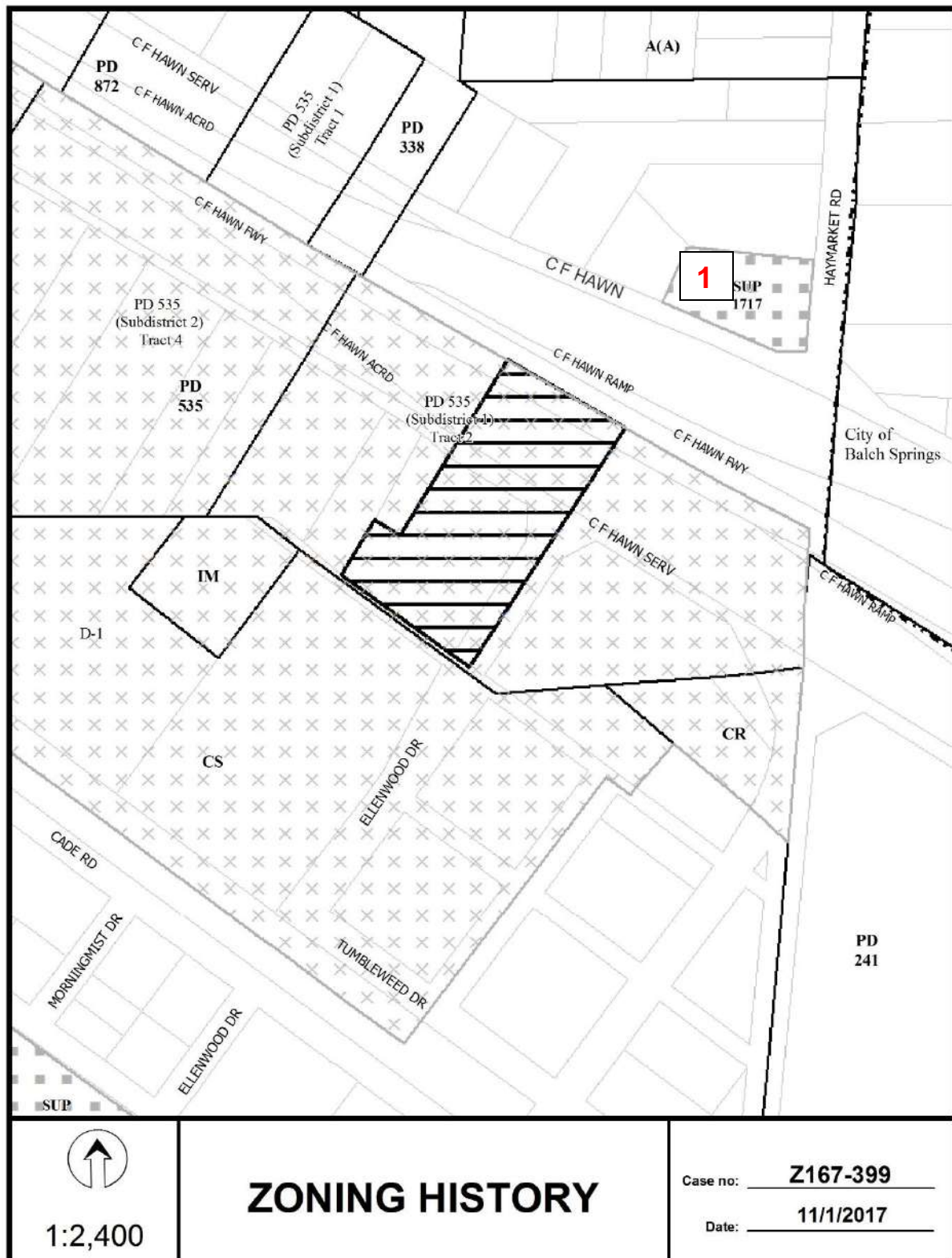
TREES					
QTY	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
2	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3.5" cal.	container grown, 10' ht., 5' spread min., 5' clear trunk
9	CP	Chinese Pistache	<i>Pistacia chinensis</i>	3.5" cal.	container grown, 10' ht., 5' spread min., 5' clear trunk
14	LO	Live Oak	<i>Quercus virginiana</i>	3.5" cal.	container grown, 10' ht., 5' spread min., 5' clear trunk
SHRUBS					
QTY	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
40	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Nana'</i>	5 gal.	container full, 20" spread, 24" ht. min., 36" o.c.
0	NRS	Nellie R. Stevens	<i>Ilex spp. 'Nellie R. Stevens'</i>	5 gal.	container full to base, 36" o.c.
GROUNDCOVERS					
QTY	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
0	AJ	Asian Jasmine	<i>Trachelospermum asiaticum</i>	4" pots.	container (3) 12" runners min., 12" o.c.

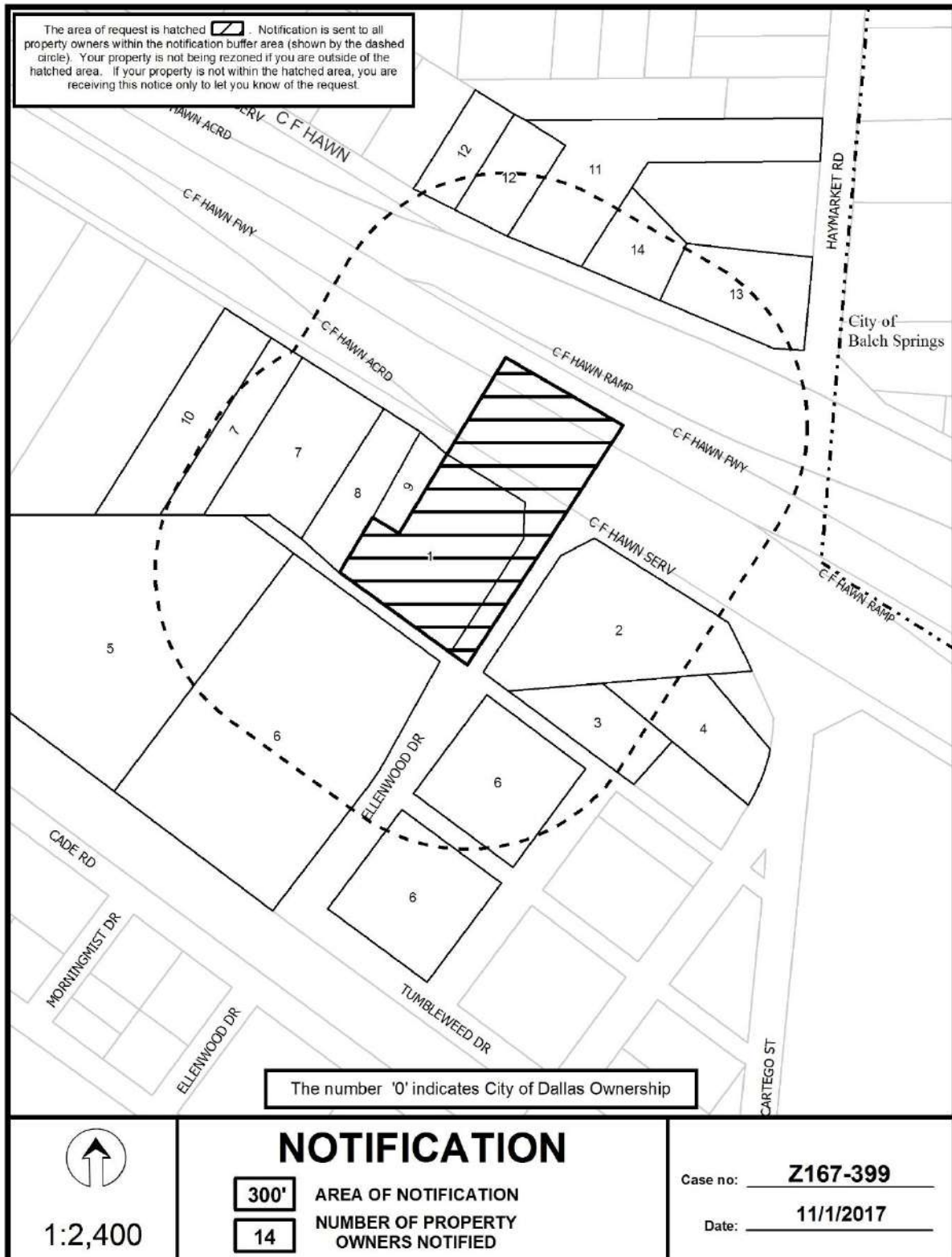
NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.











11/01/2017

Notification List of Property Owners

Z167-399

14 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	1111 ELLENWOOD DR	GONZALEZ GILBERTO
2	10900 C F HAWN FWY	GALEANO CARLOS
3	1119 HAYMARKET RD	WEAVER FAMILY LIVING TRUST
4	1115 HAYMARKET RD	GNR RESOURCES LLC
5	10818 C F HAWN FWY	GROCO PAINT INC
6	1115 ELLENWOOD DR	MM RYLIE HOLDINGS LLC
7	10818 C F HAWN FWY	GROGAN GEORGE W
8	10820 C F HAWN FWY	SPARKLE HOLDINGS INC
9	10822 C F HAWN FWY	SAUCEDO JUAN A &
10	10750 C F HAWN FWY	CEDANO ALBERTO M
11	10829 C F HAWN FWY	SULE ETC LLC
12	10821 C F HAWN FWY	EGBUNA JOHN
13	10931 C F HAWN FWY	GODOY ANGEL M
14	10831 C F HAWN FWY	BROWN FRANK

Planner: Warren F. Ellis

FILE NUMBER:	Z167-234(WE)	DATE FILED:	March 3, 2017
LOCATION:	West line of Midway Road and the north line of West Northwest Highway		
COUNCIL DISTRICT:	6	MAPSCO:	59-G
SIZE OF REQUEST:	Approx. 1.16 acres	CENSUS TRACT:	94.02

APPLICANT: Danial Nutt [AT&T]

OWNER: Sandy Owens

REPRESENTATIVE: Jeremy Baldwin

REQUEST: An application for an amendment to, and an expansion of, Specific Use Permit No. 1718 for tower/antenna for cellular communication on property zoned a CR Community Retail District with a D Liquor Control Overlay and existing deed restrictions [Z801-138] on a portion.

SUMMARY: The purpose of this request is to relocate the existing auxiliary building housing electronic and communication equipment for the existing tower/antenna for cellular communication tower [AT&T]. The relocation of the auxiliary building will permit the future development of a general merchandise or food store [CVS Pharmacy]. The existing tower/antenna will remain at its present location.

STAFF RECOMMENDATION: **Approval** for a ten-year period with eligibility for automatic renewals for additional ten-year periods, subject to a revised site/elevation plan and conditions.

BACKGROUND INFORMATION:

- The applicant's request for an amendment to, and an expansion of, Specific Use Permit No. 1718 will allow for the relocation of an existing auxiliary building housing electronic and communication equipment for the tower/antenna for cellular communication tower.
- The existing location and height of the cellular tower will not change. The maximum height of the existing cellular tower will not exceed 65 feet above grade. Even though the approved site plan shows a maximum height of 78 feet, the cellular tower was built a maximum height of 65 feet.
- The existing deed restrictions will remain on a portion of the site, and will continue to prohibit the following uses on that portion of the site: inside commercial amusement, including modeling studios; steam baths and massage parlors, bar, lounge or tavern; restaurant; barber and beauty shops; beverage store; second-hand store; pawn shop; Army/Navy stores, discount stores, government "surplus" stores, wholesale or factory outlets and any use that exhibits lewd or pornographic material. In addition, the restrictions prohibit all buildings to one story and a total structure height not to exceed 24 feet, which includes the roof, canopies, and attached signs.
- The request site is adjacent to single family dwellings to the north, and a one-story retail strip development to the west. Properties east of the site, across Midway Road, consist of various retail and personal service uses. South of the site is developed with a general merchandise or food store with a fueling station. Additional properties, south of the site, across West Northwest Highway is developed with a church use and an undeveloped tract of land.

Zoning History: There has not been any zoning changes request in the area for the past five years.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
Midway Road	Minor Arterial	100 ft.	100 ft.
West Northwest Highway	Principal Arterial	100 ft.	100 ft.

Land Use:

	Zoning	Land Use
Site	CR-D	Office, Cellular tower, Car wash
North	R-10(A)	Single Family
South	R-7.5(A), CR-D-1	Single Family, Church, General merchandise or food store with fueling station
East	PDD No. 70	Retail and personal service
West	PDD No. 851	Retail and personal service

COMPREHENSIVE PLAN: The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

There are no goals or policies supporting or opposing the request.

STAFF ANALYSIS:

Land Use Compatibility: The request is developed with an office and car wash. The applicant's request for an amendment to, and an expansion of, Specific Use Permit No. 1718 will allow for the relocation of an existing auxiliary building housing electronic and communication equipment for the tower/antenna for cellular communication tower. The existing 65-foot cellular tower will remain at its current location, which is located north of an existing general merchandise or food store with a fueling station. The applicant proposes to raze the existing office and car wash use to construct a CVS pharmacy on the site. As a result of the location of the CVS Pharmacy, the applicant needs to relocate the auxiliary building housing electronic and communication equipment.

A portion of the request site has existing deed restrictions, which will remain on the property. The deed restrictions prohibit the following uses: inside commercial amusement, including modeling studios; steam baths and massage parlors, bar, lounge or tavern; restaurant; barber and beauty shops; beverage store; second-hand store; pawn shop; Army/Navy stores, discount stores, government "surplus" stores, wholesale or factory outlets and any use that exhibits lewd or pornographic material. In addition, the restrictions prohibit all buildings to one story and a total structure height not to exceed 24-feet, which includes the roof, canopies, and attached signs.

The request site is adjacent to single family dwellings to the north, and a one-story retail strip development to the west. Properties east of the site, across Midway Road, consist

of various retail and personal service uses. South of the site is developed with a general merchandise or food store with a fueling station. Additional properties, south of the site, across West Northwest Highway is developed with a church use and an undeveloped tract of land.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the city.

The applicant's request is consistent with the intent of the Dallas Development Code which stipulates that a monopole cellular tower is exempt from residential proximity slope height restrictions if an SUP is required for the monopole cellular use and the impact of the tower height on an adjacent residential district is considered in the SUP process.

Although the subject site is adjacent to residential uses, the monopole tower will enhance the vital communication service throughout the area. The location of the existing monopole will not change. In September 2011, the City Council approve Specific Use Permit No. 1718 for a tower/antenna for cellular communication for a ten-year period with eligibility for automatic renewals for additional ten-year periods. The amendment to, and expansion of, SUP No. 1718 will permit the relocation of the existing auxiliary building housing electronic and communication equipment for the tower/antenna for cellular communication tower.

Development Standards:

DISTRICT	SETBACKS		Density	Height	Lot Coverage	Special Standards	PRIMARY Uses
	Front	Side/Rear					
CR Community retail	15'	20' adjacent to residential OTHER: No Min.	0.75 FAR overall 0.5 office	54' 4 stories	60%	Proximity Slope Visual Intrusion	Retail & personal service, office

Landscaping: In general, landscaping must be provided in accordance with the landscaping requirements in Article X, as amended.

Traffic: The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not impact the surrounding street system for the proposed development.

Parking: Parking will be provided in accordance to the parking requirements in the Dallas Development Code, as amended, which is one space if the cellular communication tower/antenna has an auxiliary building housing electronic and communication equipment ("auxiliary building") greater than 120 square feet. The auxiliary building is greater than 120 square feet, therefore one parking space is required for this use. The applicant is providing one space on site.

<p>LIST OF OFFICERS [AT&T]</p>

AT&T – Corporate Governance

Randall L. Stephenson – Chairman & Chief Executive Officer

Matthew K. Rose – Lead Director

Samuel A. Di Piazza, Jr. - Director

Richard W. Fisher - Director

Scott T. Ford - Director

Glenn H. Hutchins - Director

William E. Kennard - Director

Michael B. McCallister - Director

Beth E. Mooney - Director

Joyce M. Roche - Director

Cynthia B. Taylor - Director

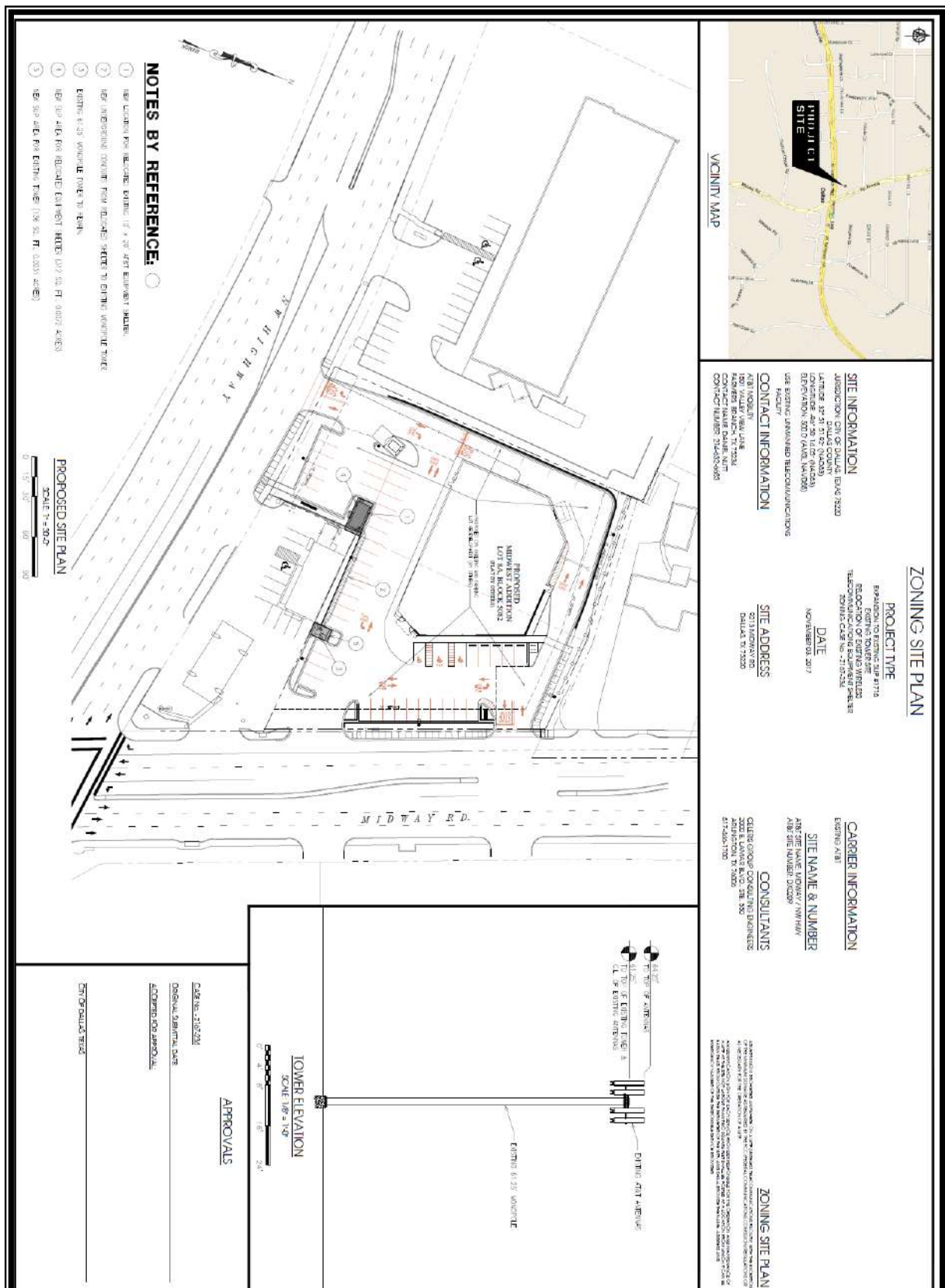
Laura D'Andrea Tyson - Director

Geoffrey Y. Yang - Director

PROPOSED SUP CONDITIONS

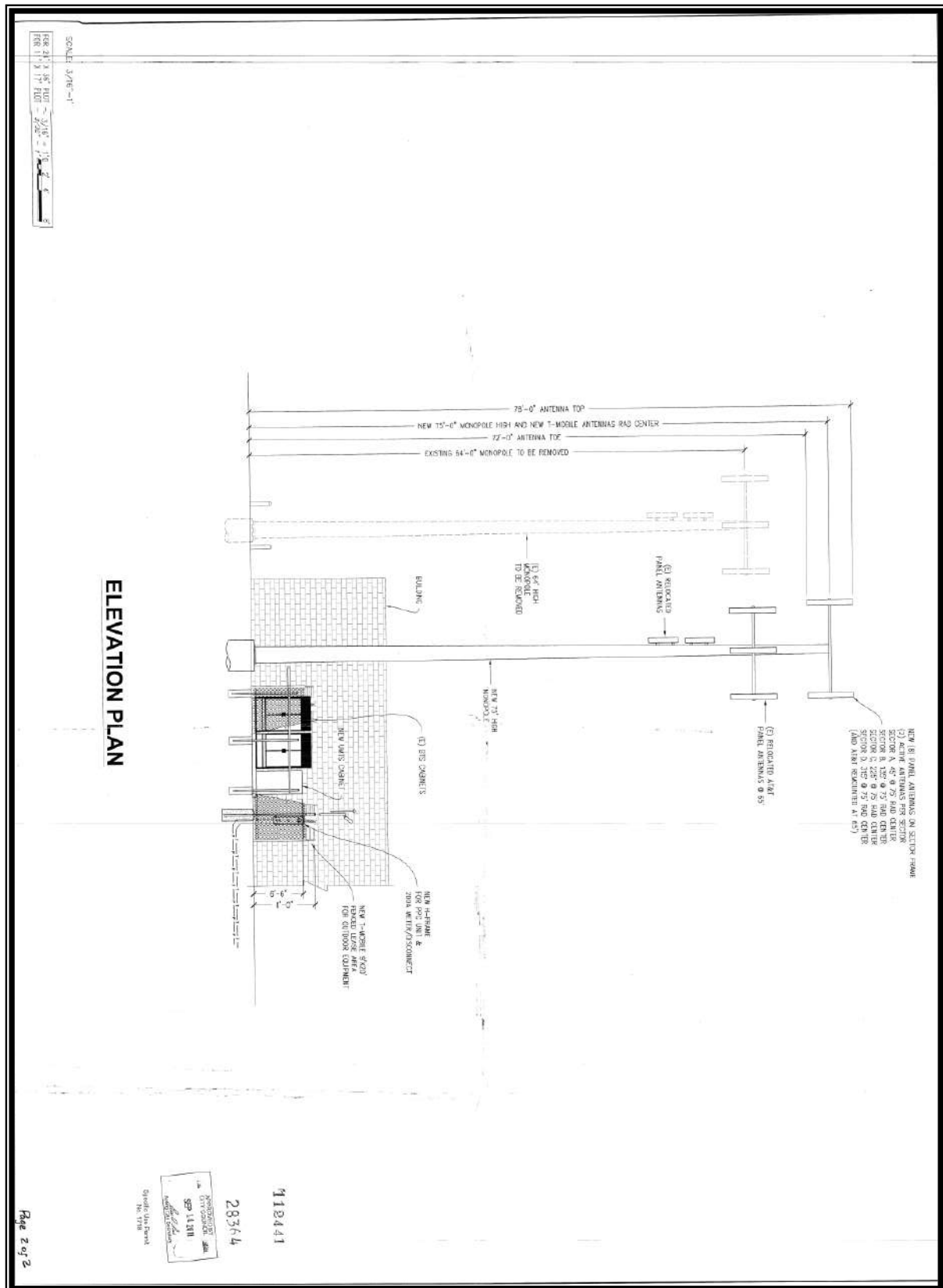
1. **USE:** The only use authorized by this specific use permit is a tower/antenna for cellular communication.
2. **SITE PLAN:** Use and development of the Property must comply with the attached site/elevation plan.
3. **TIME LIMIT:** This specific use permit expires on ~~[September 14, 2021]~~, (ten years from the passage of the ordinance), but is eligible for automatic renewal for additional 10-year periods, pursuant to Section 51A-4.219 of Chapter 51A of the Dallas City Code, as amended. For automatic renewal to occur, the Property owner must file a complete application for automatic renewal with the director before the expiration of the current period. Failure to timely file a complete application will render this specific use permit ineligible for automatic renewal. (Note: The Code currently provides that applications for automatic renewal must be filed after the 180th but before the 120th day before the expiration of the current specific use permit period. The Property owner is responsible for checking the Code for possible revisions to this provision. The deadline for application for automatic renewal is strictly enforced.)
4. **HEIGHT:** The tower/antenna for cellular communication may not exceed ~~[78]~~ **65** feet in height.
5. **LIGHTING.** The tower/antenna for cellular communication may not be illuminated, as required by the Federal Aviation Administration.
6. **COMMUNICATION TOWER:** Any tower/antenna for cellular communication over 65 feet in height must be constructed to support the antenna arrays for at least two other wireless communication carriers, and the tower/antenna for cellular communication must be made available to other carriers upon reasonable terms.
7. **SHARED USE WITH OTHER CARRIERS:** Any tower/antenna for cellular communication must be constructed to support the antenna arrays for at least two other wireless communications carriers, and the tower/antenna for cellular communication must be made available to other carriers upon reasonable terms.
8. **SIGNAGE:** No signs may be attached to the tower/antenna for cellular communication.
9. **MAINTENANCE:** The Property must be properly maintained in a state of good repair and neat appearance.
10. **GENERAL REQUIREMENTS:** Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.

PROPOSED SITE/ELEVATION PLAN

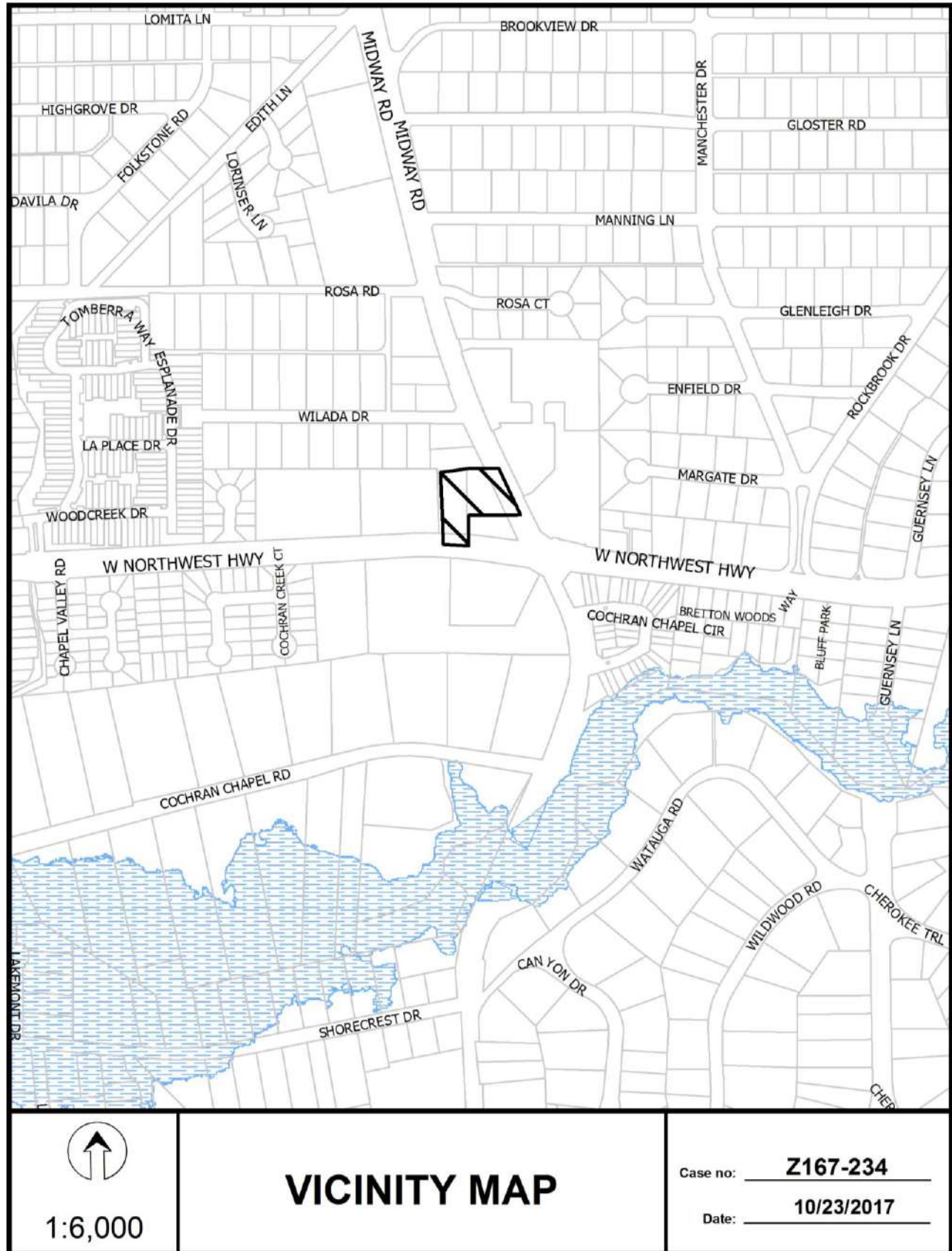


EXISTING SITE PLAN

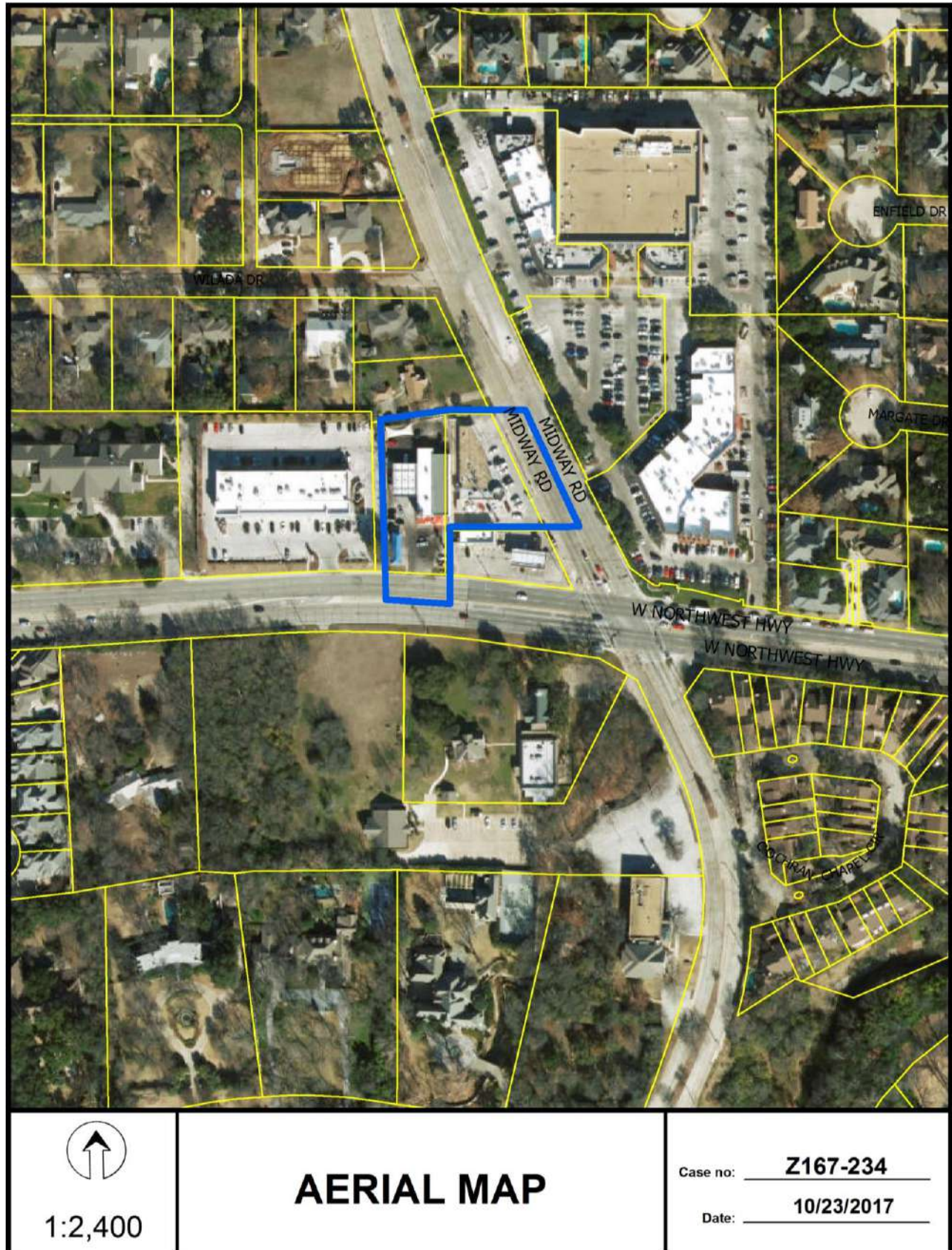
Page 2 of 2

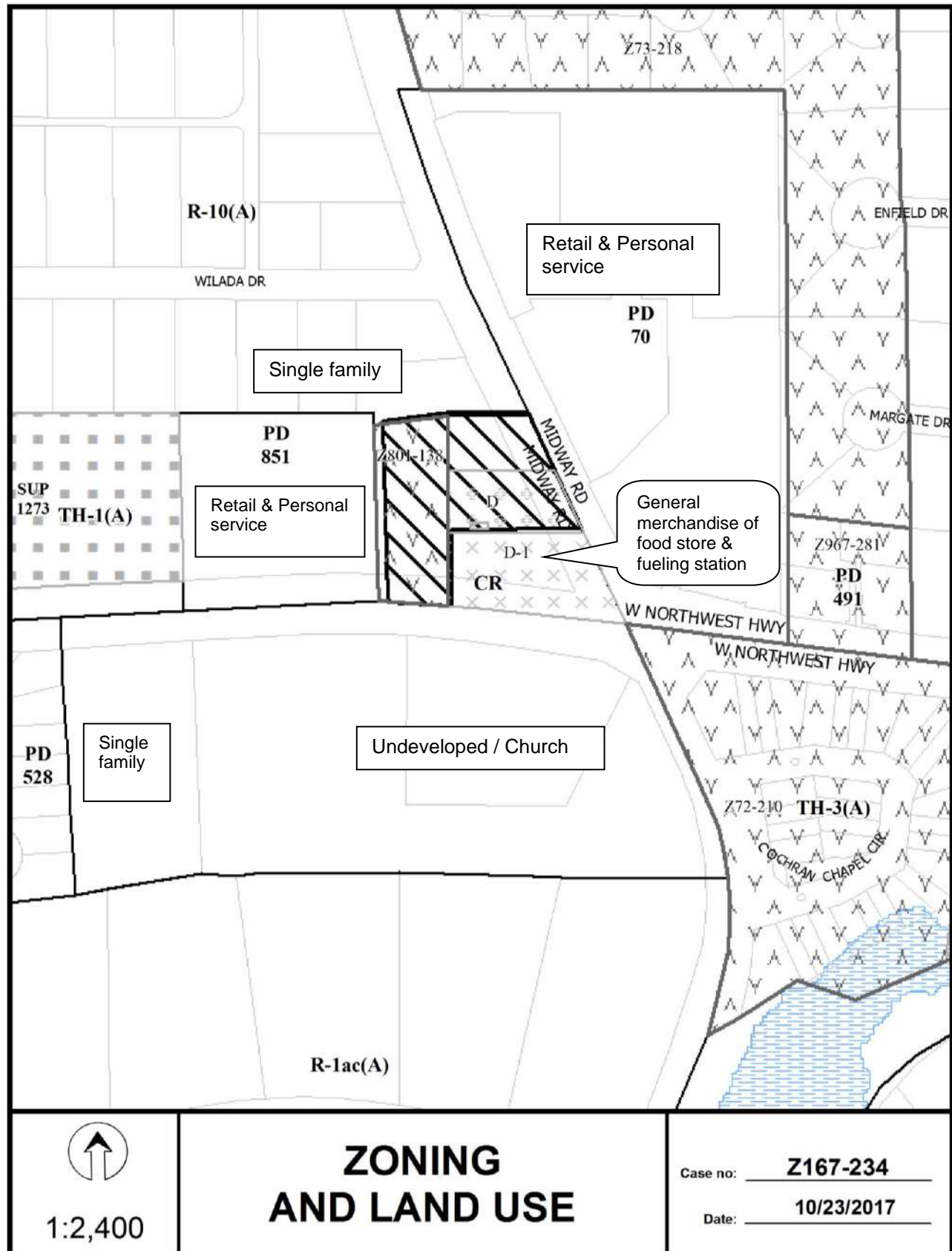


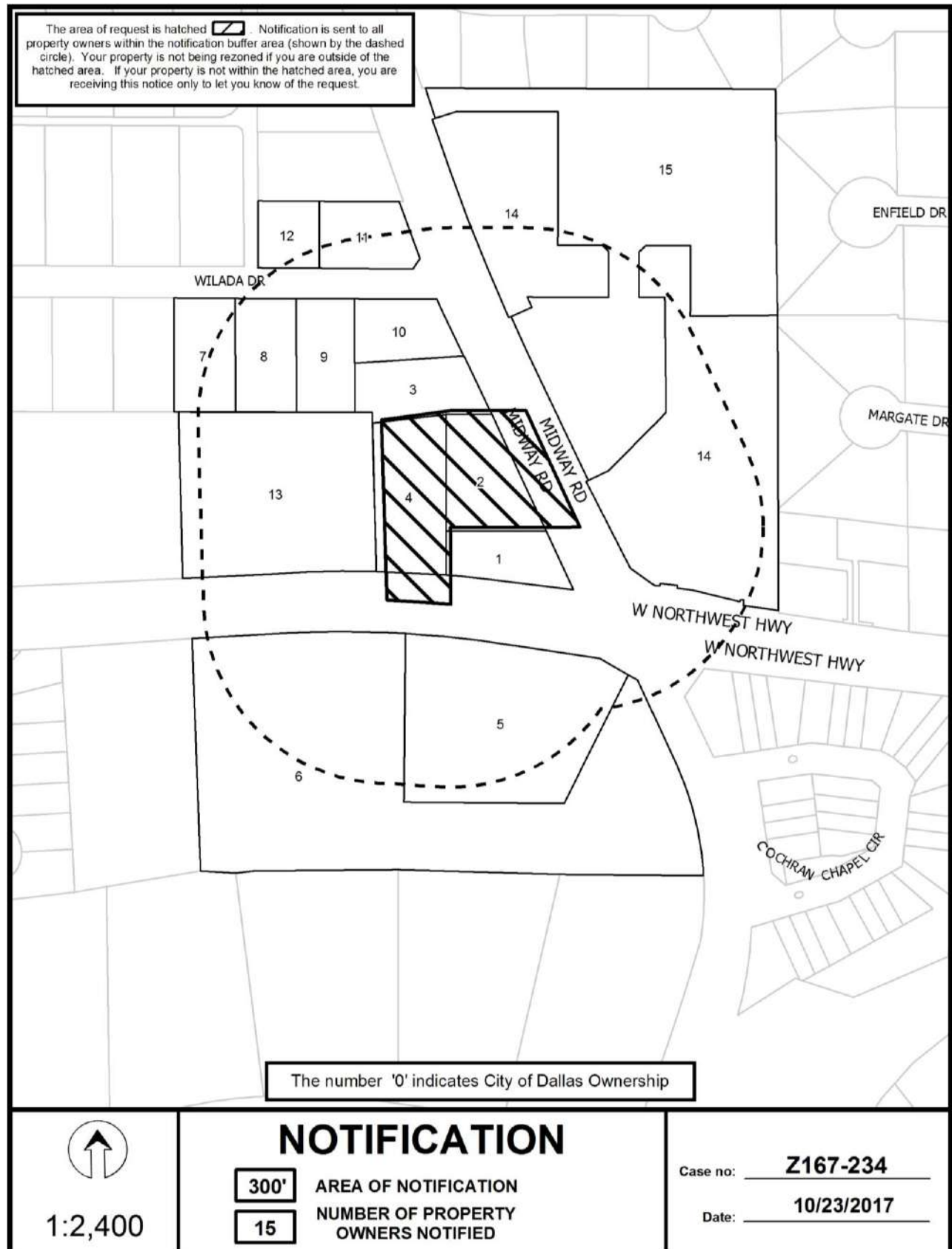
Z167-234(WE)



Z167-234(WE)







Notification List of Property

Z167-234

15 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	4275 W NORTHWEST HWY	AIRPORT FREEWAY FUEL CENTER LP
2	9221 MIDWAY RD	CONSTANCE MIDWAY LTD
3	9227 MIDWAY RD	MCGILL MANDY
4	4255 W NORTHWEST HWY	CVS PHARMACY INC
5	9101 MIDWAY RD	COCHRAN CHAPEL
6	9027 MIDWAY RD	COCHRAN CHAPEL METHODIST
7	4180 WILADA DR	KNIGHT ALLAN M
8	4188 WILADA DR	MOORE NICKY N
9	4194 WILADA DR	MORADI MASOUD &
10	9241 MIDWAY RD	ARNOLD H DAVID
11	4193 WILADA DR	HARDAGE PATRICK C & KRISTIE N
12	4187 WILADA DR	CRAVEN ROBERT P &
13	4235 W NORTHWEST HWY	MIDWAY NORTHWEST HIGHWAY SHOPPING CENTER LLC
14	4343 W NORTHWEST HWY	PRESTON HOLLOW INDIAN SCH
15	4343 W NORTHWEST HWY	HEB GROCERY COMPANY LP

Planner: Warren F. Ellis

FILE NUMBER:	Z167-383(WE)	DATE FILED:	August 25, 2017
LOCATION:	Northwest line of South Belt Line Road, southwest of Kleberg Road		
COUNCIL DISTRICT:	8	MAPSCO:	69A-U
SIZE OF REQUEST:	Approx. 1.317 acres	CENSUS TRACT:	171.02

APPLICANT Vaquero Ventiures

OWNER: David and Cathy Shifts

REPRESENTATIVE: Doak Raulston

REQUEST: An application for a CS-D-1 Commercial Service District with a D-1 Liquor Control Overlay on property zoned an IR-D-1 Industrial Research District with a D-1 Liquor Control Overlay.

SUMMARY: The purpose of this request is to allow for the development of a general merchandise of food store greater than 3,500 square feet.

STAFF RECOMMENDATION: Approval.

BACKGROUND INFORMATION:

- The request site is developed with a vehicle or engine repair or maintenance and a vacant single-family dwelling.
- The request site is contiguous to an industrial use and an electrical substation that is zoned for IR Industrial Research District uses. The property that is northeast of the request site is zoned for a CS Commercial Service District and is undeveloped. The property southeast of the request site, across Belt Line Road is undeveloped and is zoned for R-10(A) Single Family District uses.
- The applicant's request for a CS Commercial Service District will allow for development of a one-story, 9,100 square foot general merchandise or food store.
- The CS Commercial Service District, permits by right, a general merchandise or food store greater than 3,500 square feet. Any portion of the proposed development over 26 feet in height will have to comply with the residential proximity slope due to the residential adjacency across South Belt Line Road.

Zoning History: There has been one zoning change requested in the area in the past five years.

1. Z123-227 On Wednesday, June 26, 2013, the City Council approved the renewal of Specific Use Permit No. 1843 for the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
South Belt Line Road	Principal Arterial	100 ft.	100 ft.

Land Use:

	Zoning	Land Use
Site	IR-D-1	Auto Related use, Single Family
Northeast	CS-D-1	Undeveloped
Southeast	R-10(A)	Undeveloped
Northwest	IR-D-1	Electrical Substation
Southwest	IR-D-1	Industrial

COMPREHENSIVE PLAN:

The *fowardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *fowardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

LAND USE

GOAL 1.2 PROMOTE DESIRED DEVELOPMENT

Policy 1.2.1 Use Vision Building Blocks as a general guide for desired development patterns.

The proposed use is part of the community's long-term use envisioned by the West Kleberg Community Plan.

West Kleberg Community Plan (2007):

The West Kleberg Community Plan identified a vision statement: To reflect "Old Kleberg's" historical heritage, to promote a strong rural atmosphere, to allow for future growth with sensitivity to future amenities and infrastructure of a modern urban environment. Long-time residents seem to have mixed feelings about growth, noting on one side the negative impacts of crowds, noise, traffic, and pollution, while acknowledging the benefits of improved public services, better schools, and new neighborhood-serving retail and commercial business locating to the area.

The subject site is located within Sub-area 3, which is comprised of approximately 3,390 acres of which 42 percent was vacant or undeveloped, and 40 percent was comprised of public service (mainly the southside Wastewater Treatment Center) at publication in 2007.

The report reveals that "an overall analysis of the land use shows that businesses are generally located along the Hwy. 175-freeway corridor. The next concentration of small-scale uses is found at the intersection of Belt Line Road and Seagoville Road. There is one grocery store to serve this community, with several smaller scale convenient stores scattered throughout the area. Other than that, groceries are purchased within a 5-mile radius in the cities of Balch Springs and Seagoville (e.g., Wal-Mart Super Centers, Minyard's and Kroger). The majority of businesses operating in the area include: Auto Sales, Service and Display, Machinery, Heavy Equipment or Truck Sales and Service, and Auto Salvage and Reclamation".

The Future Vision Map depicts a 1,000-foot buffer zone as ideal for business development along the Highway 175-freeway corridor. Land assemblage may be required to develop in these areas to construct uses such as a hospital, bank, mix use project and so on. Business nodes to possibly stimulate economic activity are earmarked at the intersections of Seagoville and Belt Line Roads, Highway 175, and

Belt Line Road and Kleberg and Belt Line Road. The subject site is within that buffer zone. Furthermore, a Visioning Activity conducted at a community meeting identified the top 20 Community “Needs & Desires” as indicated below. In February 2007, the community conducted a Visioning Activity meeting to incorporate additional citizen input regarding the type of businesses the community envisions for the area.

The proposed use is considered in the vision for Sub-area 3.

TABLE 12: VISIONING ACTIVITY – COMMUNITY “NEEDS & DESIRES”

1. Bank	11. Ice Rink
2. Big Box (Lowe’s and Sam’s)	12. Mid-rise Mixed Use
3. Bookstore	13. Museum
4. Central Market	14. New Auto Dealership
5. Cinema	15. Office
6. Doctor Offices	16. Outlet and/or Mini-Malls
7. Drug Store	17. Research & Development Uses
8. Gas Station	18. Restaurants
9. Hospital	19. Small Shops
10. Hotel/Conference Center	20. Ice Cream Parlor (i.e., Braum’s)

Development Standards:

DISTRICT	SETBACKS		Density	Height	Lot Coverage	Special Standards	PRIMARY Uses
	Front	Side/Rear					
IR - existing Industrial research	15'	30' adjacent to residential OTHER: No Min.	2.0 FAR overall 0.75 office/ retail 0.5 retail	200' 15 stories	80%	Proximity Slope Visual Intrusion	Industrial, wholesale distribution & storage, supporting office & retail
CS - proposed Commercial Service	15' 0' on minor	20' adjacent to residential OTHER: No Min.	0.75 FAR overall 0.5 office/ lodging/ retail combined	45' 3 stories	80%	Proximity Slope Visual Intrusion	Commercial & business service, supporting retail & personal service & office

STAFF ANALYSIS:

Land Use Compatibility: A portion of the 1.317-acre site is developed with an auto related use and a single-family use. The remaining portion of the property is undeveloped. The request site is adjacent to an electrical substation to the northeast and an industrial type use to the southwest. Northeast of the site is undeveloped. The property to the south, across Belt Line Road, is undeveloped, and is zoned an R-10(A) Single Family District.

The applicant’s request for a CS Commercial Service District will allow for development of a one-story, 9,100 square foot general merchandise or food store. Any development

that exceeds 26 feet in height will have to comply with the residential proximately slope due to the residential adjacency across South Belt Line Road. The applicant's request for a general merchandise or food store complies with the type of uses the community envisioned in the area. The West Kleberg Community Plan, 2007, states that the community had a consensus to maintain the rural character in areas that remains predominately residential (low to moderate residential) with neighborhood serving retail and commercial uses along Belt Line Road, Kleberg Road and Highway 175.

Staff recommendation is for approval of the applicant's request of a CS Commercial Service District. Based on several aerials maps, there improvements to the area are minimal. The proposed development of a general merchandise of food store is consistent with the vision of the West Kleberg Community Plan, 2007.

Landscaping: Landscaping must be provided in accordance with Article X, as amended. Plant materials must be maintained in a healthy, growing condition.

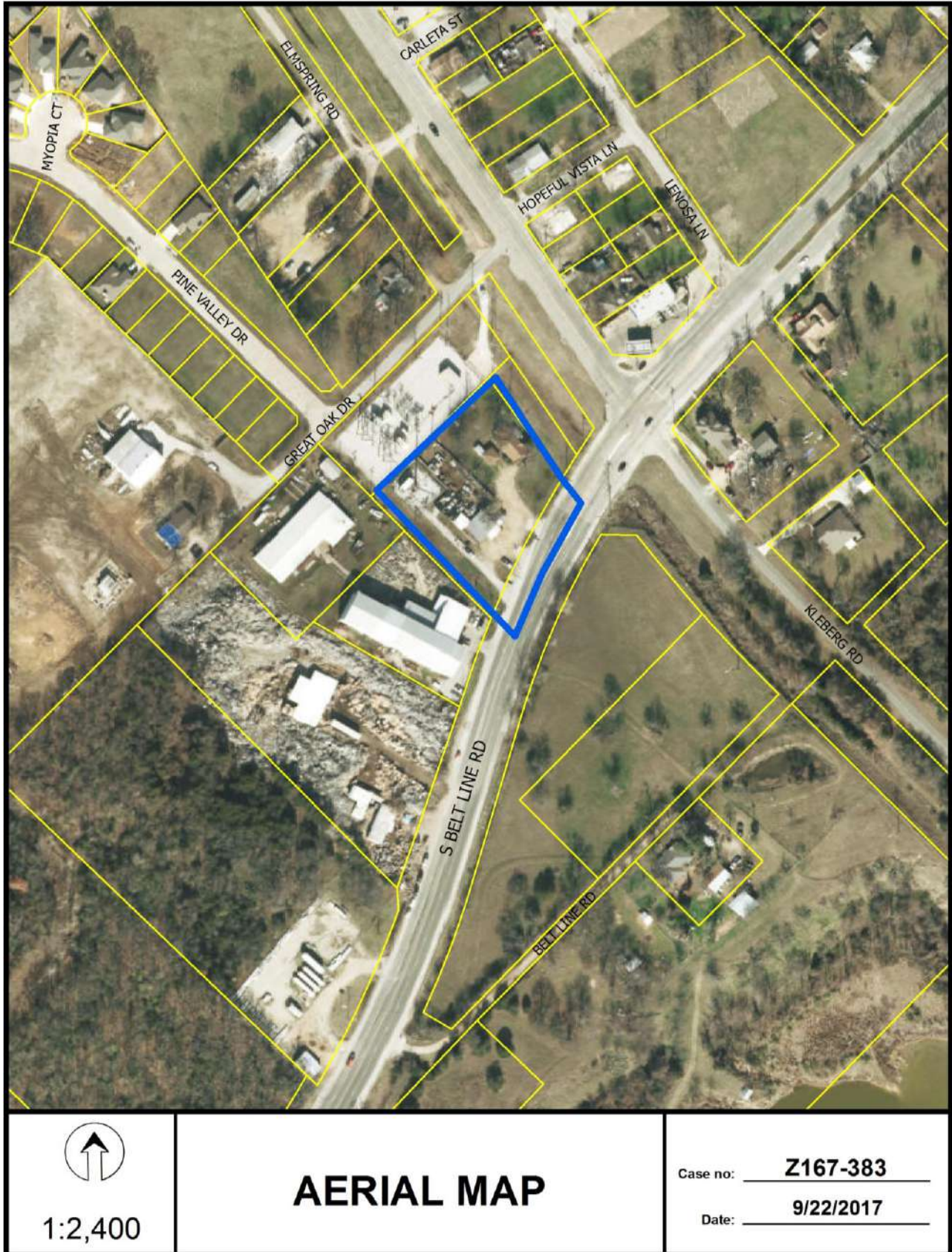
Parking: The parking requirement for a general merchandise of food store greater than 3,500 square feet is one space per 200 square feet of floor area. Based on the proposed 9,100 square feet of floor area, the number of spaces required is 46 spaces.

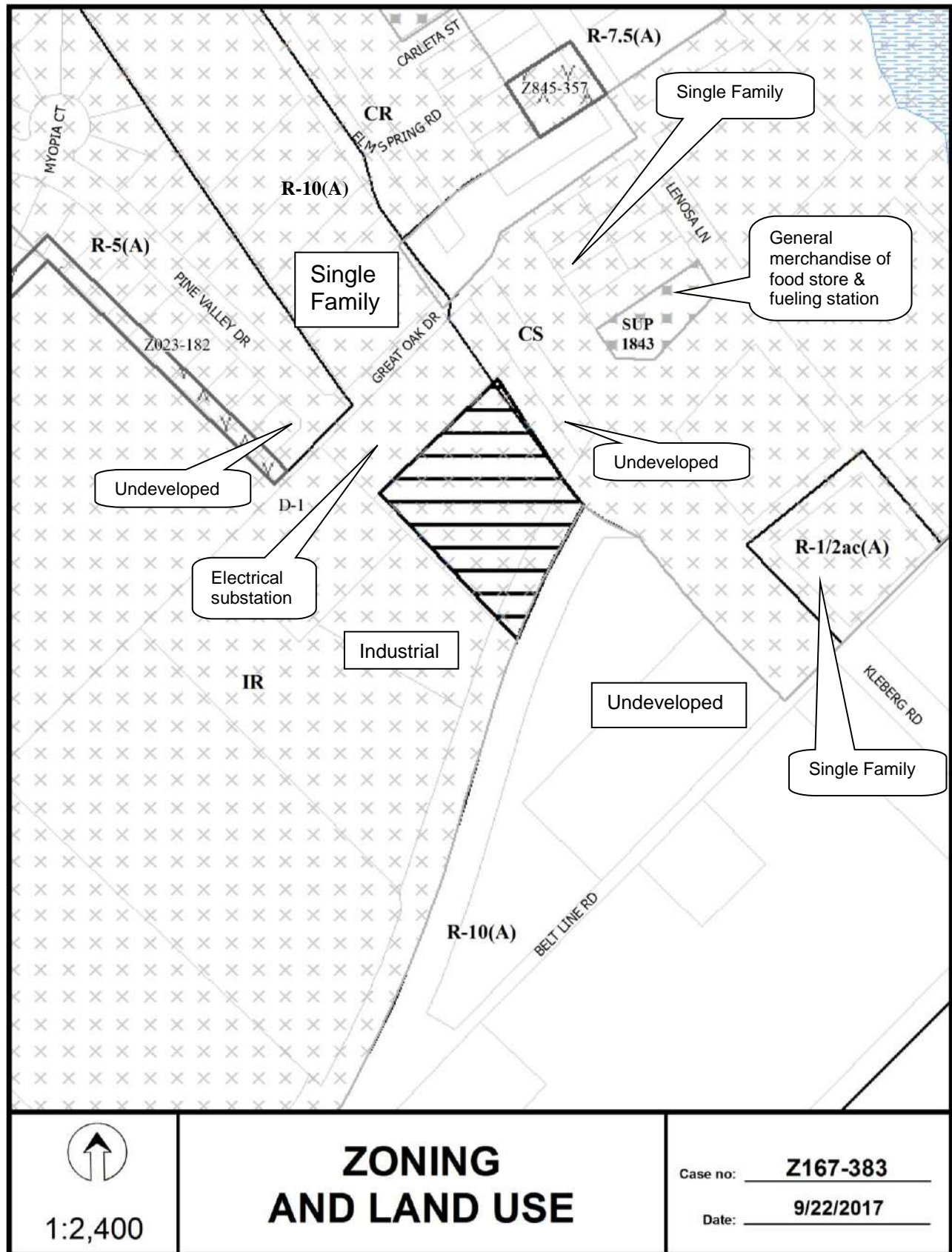
LIST OF OFFICIERS
Vaquero Ventures

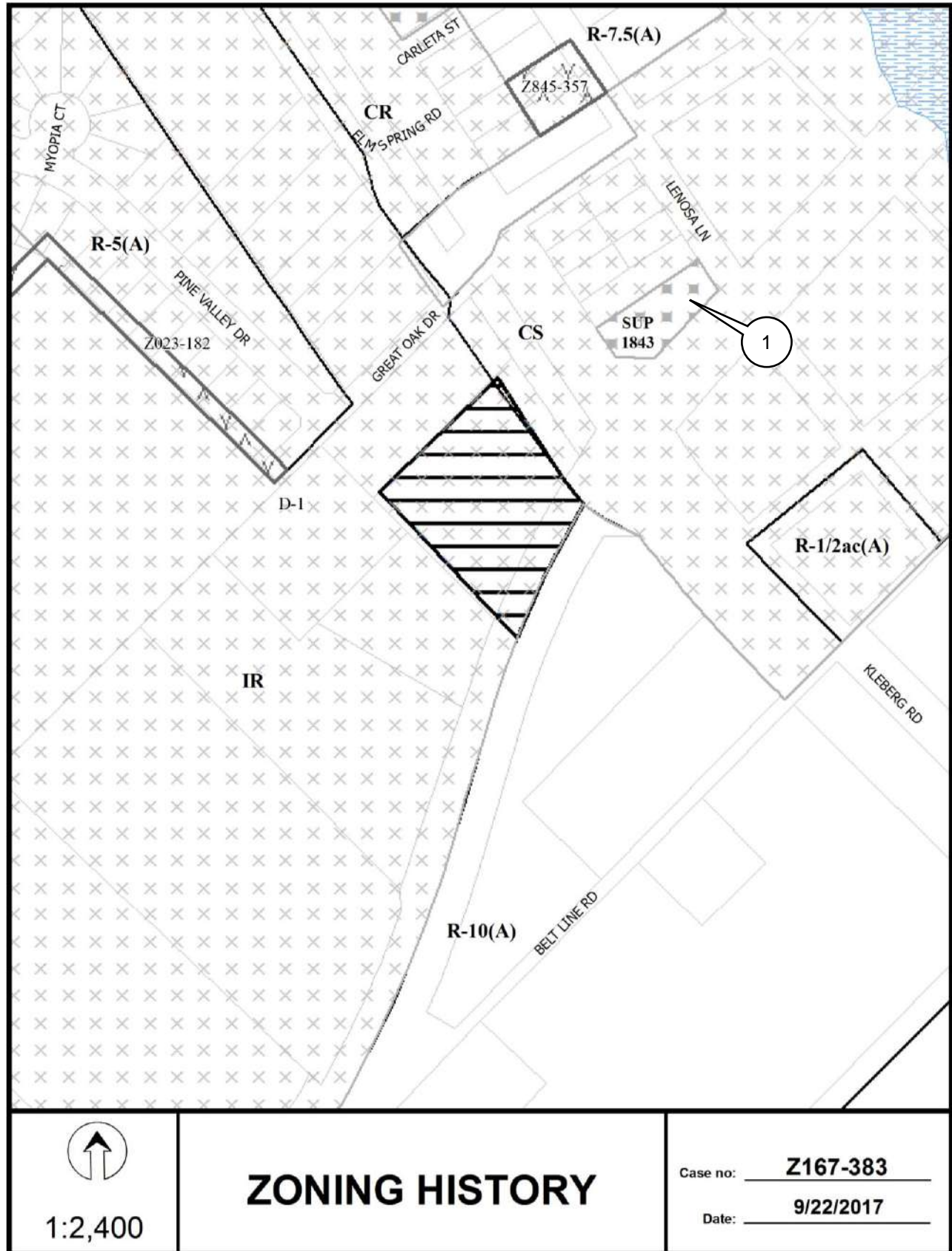
- W.A Landreth Co-founder
- Brain C. Williams Co-founder
- Emily L. Crockett Chief Operating Officer & Senior Counsel

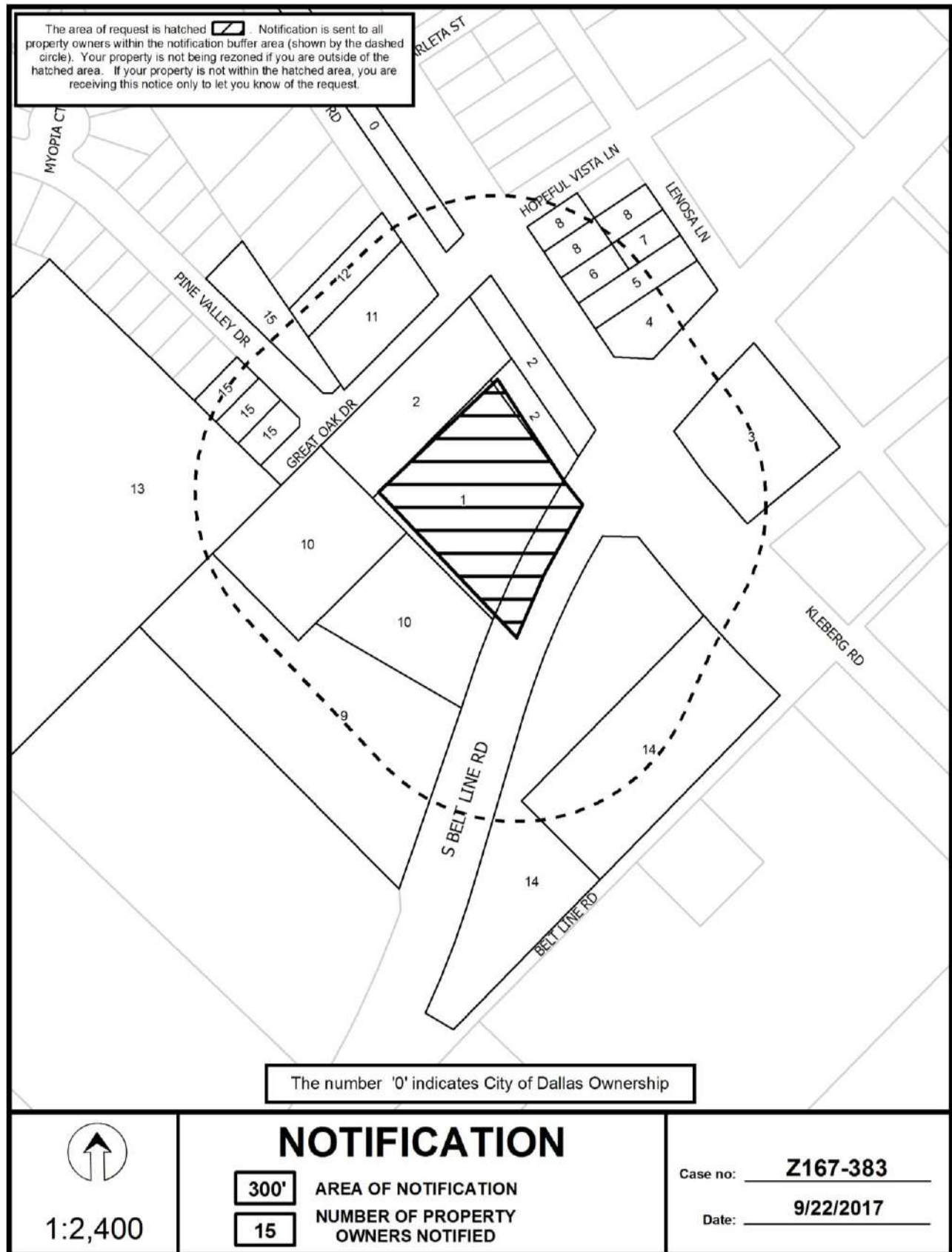


Z167-383(WE)









Notification List of Property Owners

Z167-383

15 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	2511 S BELTLINE RD	STUTTS DAVID O & CATHY E
2	2500 GREAT OAK DR	TEXAS UTILITIES ELEC CO
3	2450 S BELTLINE RD	SALAZAR FRANCISCO & MIRIAM DELACRUZ
4	13529 KLEBERG RD	BAHARIA MALIK A
5	13523 KLEBERG RD	GEORGE BEN E
6	13517 KLEBERG RD	HALL SALLY E L & THOMAS T
7	13530 LENOSA LN	FOREMAN BOB
8	13500 LENOSA LN	GALVAN MARTIN
9	2619 S BELTLINE RD	J & R TRUCK & EQUIP SALES
10	2531 S BELTLINE RD	COMPRESSORS UNLIMITED
11	2501 GREAT OAK DR	BOREN B C
12	2501 GREAT OAK DR	BOREN BILLY C
13	2500 GREAT OAK DR	GEORGE BEN E TR
14	2500 S BELTLINE RD	CHAMBLESS BENJAMIN P
15	13325 PINE VALLEY DR	DALLAS AREA HABITAT FOR

Planner: Warren F. Ellis**FILE NUMBER:** Z167-403(WE) **DATE FILED:** September 28, 2017**LOCATION:** Ferguson Road and Drummond Drive, south corner**COUNCIL DISTRICT:** 9 **MAPSCO:** 39-B**SIZE OF REQUEST:** Approx. 3.4 acres **CENSUS TRACT:** 126.04

APPLICANT: Mi Escuelita**OWNER:** San Francisco de Asis Episcopal Church**REPRESENTATIVE:** Robert Baldwin, Baldwin Associates, Inc.**REQUEST:** An application for a Specific Use Permit for a child-care facility on property zoned an R-7.5(A) Single Family District.**SUMMARY:** The purpose of the request is to allow for a child-care facility use [Mi Escuelita Preschool] to operate within an existing church facility. The applicant will provide care to children from two and a half to five years of age, and will operate the child-care facility Monday through Friday, between the hours of 7:00 a.m. to 7:00 p.m.**STAFF RECOMMENDATION:** Approval for a five-year period with eligibility for automatic renewals for additional five-year periods, subject to a site plan and conditions.

BACKGROUND INFORMATION:

- The request site is developed with an existing church.
- The applicant proposes to use approximately four classrooms within the church to provide care to children from two and a half to five years of age. The applicant will operate the child-care facility between the hours of 7:00 a.m. to 7:00 p.m., Monday through Friday.
- The surrounding land uses consist of single family uses, a church, and, across Drummond Drive, an animal clinic without outside run [PDD No. 224].

Zoning History: There has not been any zoning changes requested in the area during the past five years.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
Ferguson Road	Principal Arterial	100 ft.	100 ft.
Drummond Drive	Local	50 ft.	50 ft.

Traffic: The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the proposed development will not have a negative impact on the surrounding street system.

Land Use:

	Zoning	Land Use
Site	R-7.5(A)	Church
Northeast	R-7.5(A), PDD No. 224	Single family, Animal clinic without outside run
Southeast	R-7.5(A)	Single family
Northwest	MF-1(A), NS(A), SUP No. 1304	Multifamily, Retail & personal service with motor vehicle fueling station
West	R-7.5(A)	Church

COMPREHENSIVE PLAN: The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

LAND USE

GOAL 1.2 PROMOTE DESIRED DEVELOPMENT

Policy 1.2.1 Use Vision Building Blocks as a general guide for desired development patterns.

URBAN DESIGN

GOAL 5.3 ESTABLISHING WALK-TO-CONVENIENCE

Policy 5.3.1 Encourage a balance of land uses within walking distance of each other.

STAFF ANALYSIS:

Land Use Compatibility: The 3.4-acre site is developed with a church and surrounded by single family uses. The applicant proposes to use 8,000 square feet of floor area within the existing church for a child-care facility. The applicant is proposing to operate the child-care facility between the hours of 7:00 a.m. to 7:00 p.m., Monday through Friday. The request site has two driveway approaches, one on Ferguson Road and the other on Drummond Road, to access the site. The existing playground equipment that is located within a secured area on the church's property, will be utilized by the attendees of the child-care facility.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the city.

The proposed child-care facility may not deter nor attract from the character of the existing neighborhood. The child-care facility will use a portion of the church facility, and as a result of the location of the proposed use, can become another option for parents seeking child-care.

Staff is recommending approval of a Specific Use Permit for a child-care facility for a five-year period with eligibility for automatic renewals for additional five-year periods,

Z167-403(WE)

subject to a site plan and conditions.

Development Standards:

DISTRICT	SETBACKS		Density	Height	Lot Coverage	Special Standards	PRIMARY Uses
	Front	Side/Rear					
R-7.5(A) Single Family	25'	5'	1 Dwelling Unit/ 7,500 sq. ft.	30'	45%		Single family

Landscaping: Landscaping of any development will be in accordance with Article X, as amended. However, due to the site not increasing any impervious surface or floor area, landscaping the site is not required.

Parking: The Dallas Development Code requires that the off-street parking for a child-care facility may be established in the ordinance granting the SUP, otherwise one space per 500 square feet of floor area.

In addition, there is a provision in the Development Code under Special Parking that states “institutional and community service uses may share parking in residential districts on the same lot where both uses are located.” The applicant has submitted a parking analysis that demonstrates that the church and child-care facility have a sufficient amount of off-street parking to serve both uses.

Below is the parking analysis for the proposed use:

Church:

Total pew length: 10,392 inches
10,392 ft./18 inches = 577 seats in the sanctuary
577 seats/4 seats per parking space = 144 spaces required for the church

Child-care facility:

Total floor area: 8,000 square ft.
8,000 sq. ft. /500 sq. ft. = 16 spaces

Total required off-street parking for both uses: 160 spaces

Total number of spaces provided: 196 spaces

LIST OF OFFICERS

Applicant

Mi Escuelita Preschool, Inc

Lisa Vines, Chair
Ricardo Barrenechea, Vice-chair
Aracely Rios, Treasurer
Paul Musgrave, Secretary

Owner

Diocese of Dallas of the Protestant Episcopal Church:

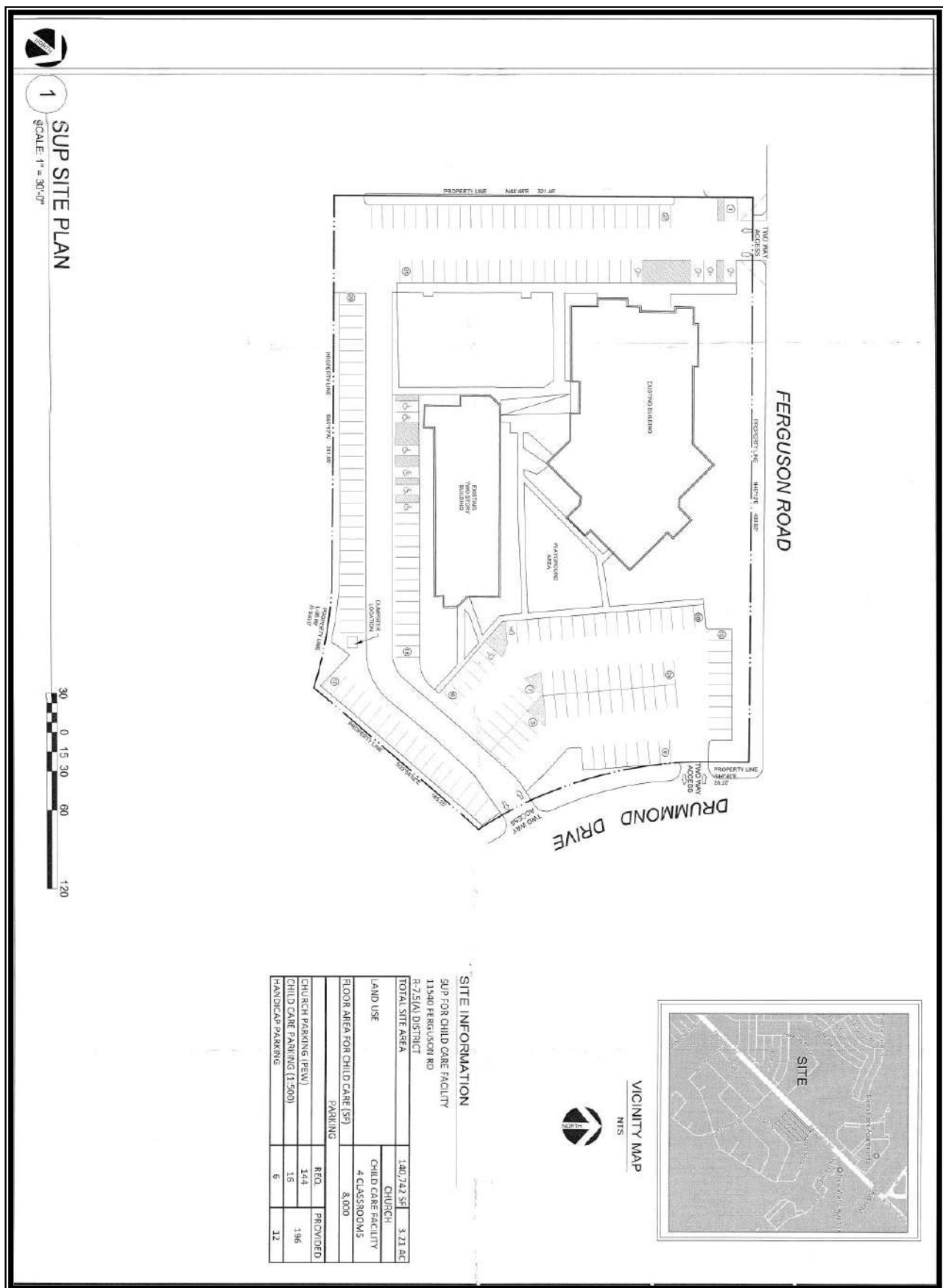
Iglesia San Francisco De Asis

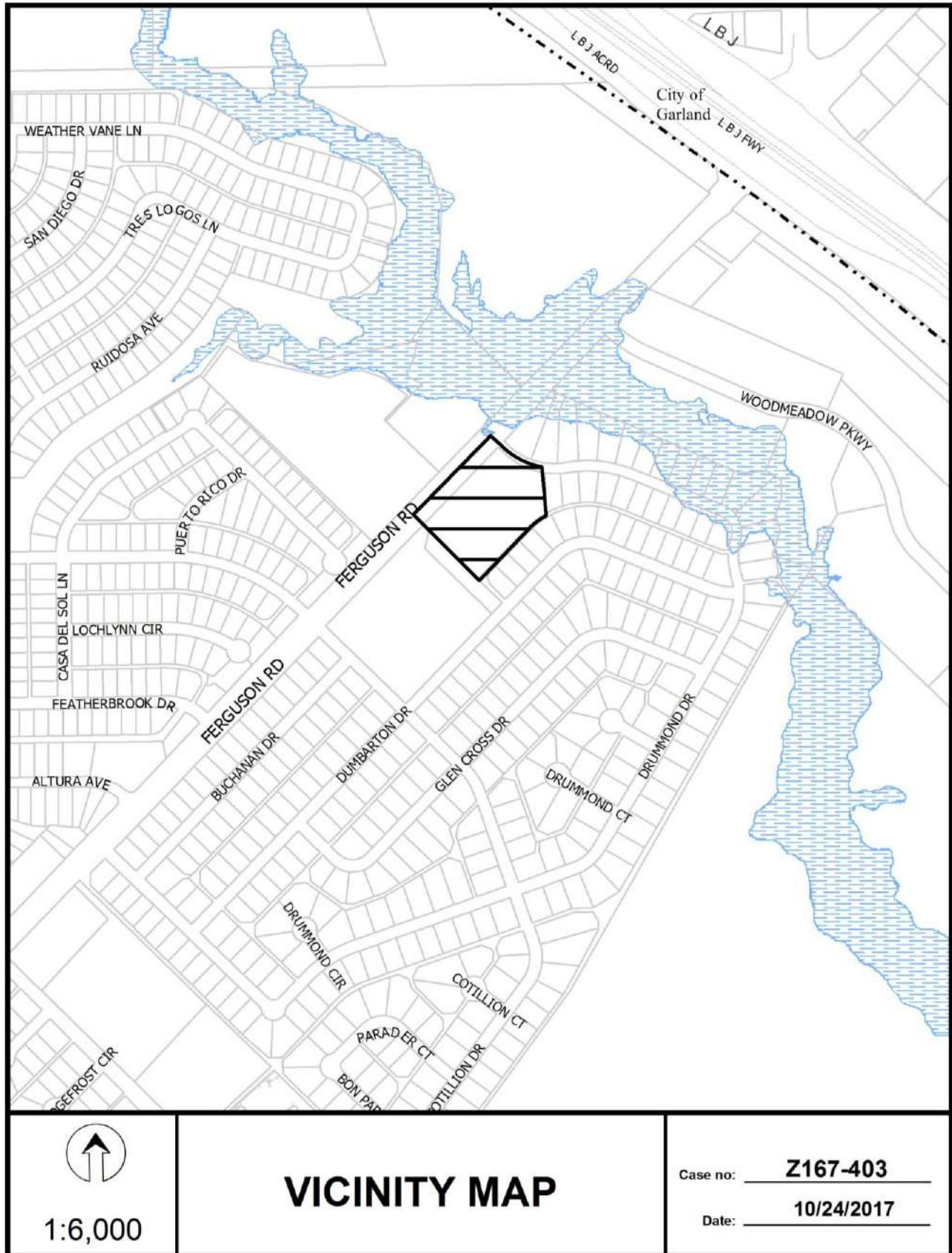
Father Aquilino Lara
Deacon Juana Lara
Deacon Debra Vela
Jose L. Baltazar, Senior Warden
Wilfredo Ortiz, Junior Warden
Jose Melendéz, Junior Warden
Devon Jones, Treasurer
Jorge Uriegas, Board Member
Marco Arevalo, Board Member

PROPOSED SUP CONDITIONS

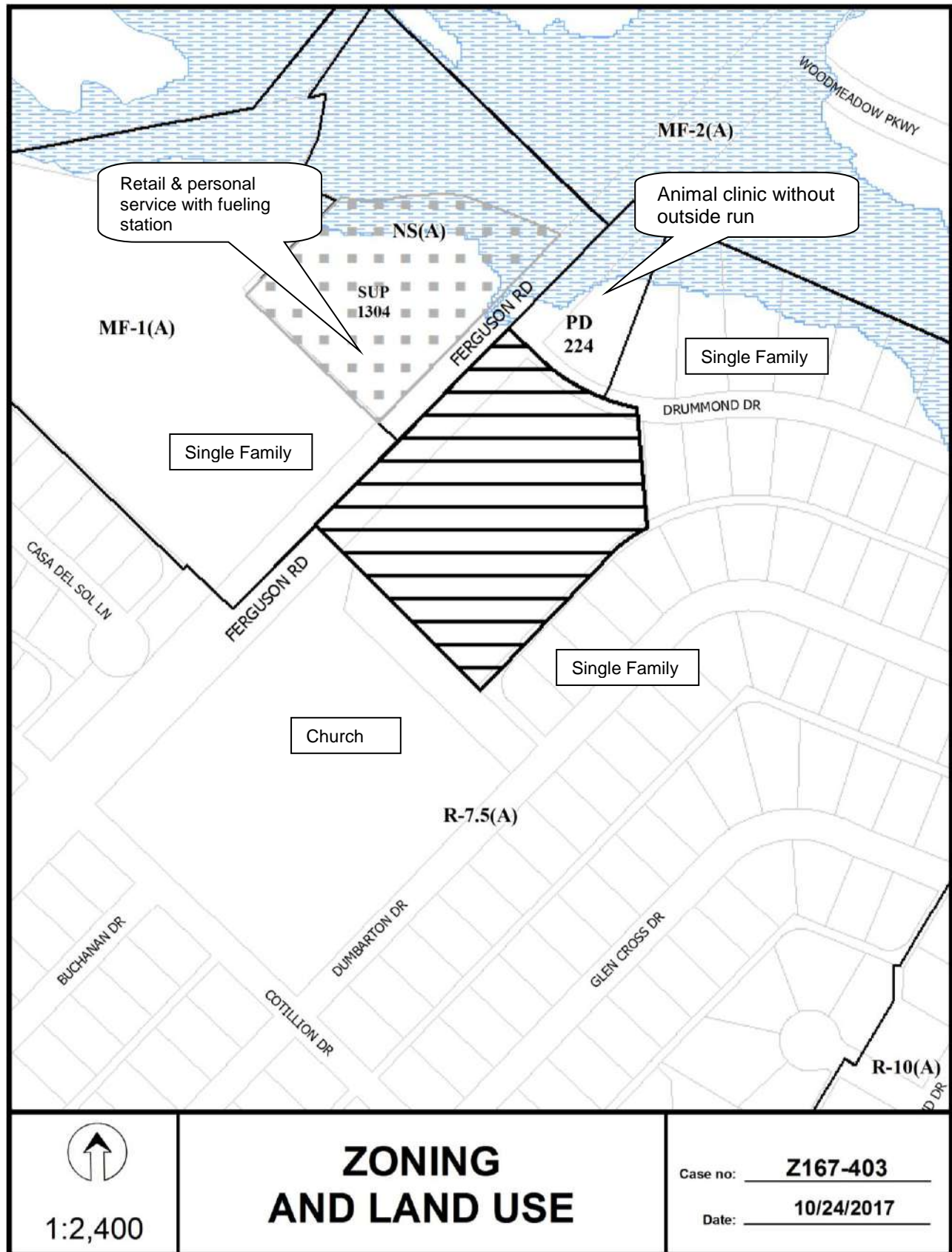
1. USE: The only use authorized by this specific use permit is a child-care facility.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on (five-year period from the passage of this ordinance), but is eligible for automatic renewal for additional five-year periods, pursuant to Section 51A-4.219 of Chapter 51A of the Dallas City Code, as amended. For automatic renewal to occur, the Property owner must file a complete application for automatic renewal with the director before the expiration of the current period. Failure to timely file a complete application will render this specific use permit ineligible for automatic renewal. (Note: The Code currently provides that applications for automatic renewal must be filed after the 180th but before the 120th day before the expiration of the current specific use permit period. The Property owner is responsible for checking the Code for possible revisions to this provision. The deadline for application for automatic renewal is strictly enforced.)
4. FLOOR AREA: The maximum floor area is 8,000 square feet in the location shown on the attached site plan.
5. HOURS OF OPERATION: The child-care facility may only operate between 7:00 a.m. and 7:00 p.m., Monday through Friday.
6. OFF-STREET PARKING: A minimum of 16 off-street parking spaces are required in the location shown on the attached site plan.
7. INGRESS AND EGRESS: Ingress and egress must be provided as shown on the attached site plan. No other ingress or egress is permitted.
8. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
9. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulation, and with all ordinances, rules, and regulations of the City of Dallas.

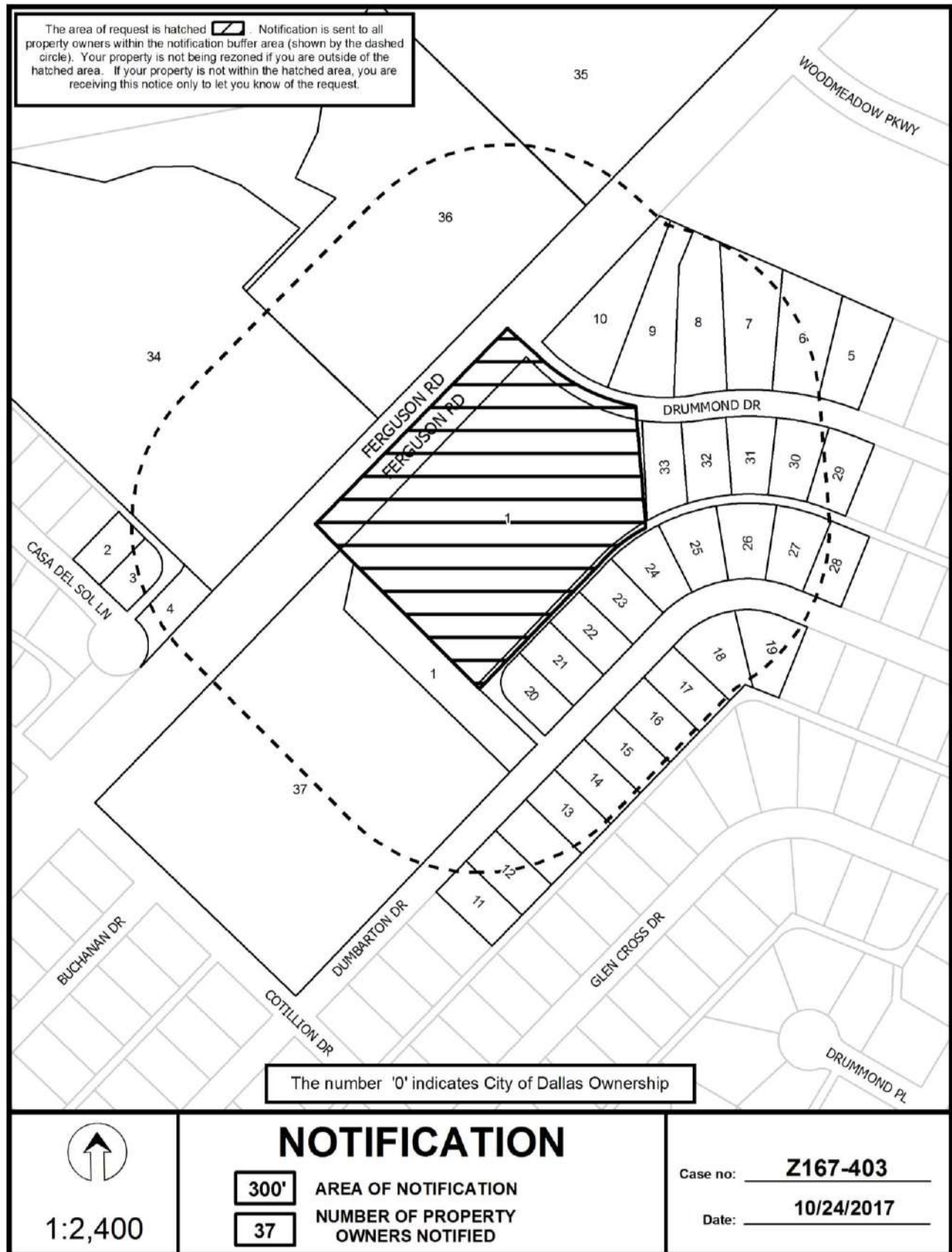
PROPOSED SITE PLAN











Notification List of Property Owners

Z167-403

37 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	11540 FERGUSON RD	CORPORATION OF EPISCOPAL
2	3847 CASA DEL SOL LN	VALENCIA LUIS
3	3851 CASA DEL SOL LN	RAMIREZ MARCOS MENDOZA &
4	3855 CASA DEL SOL LN	CHAVEZ ISIDRO & IRENE
5	11642 DRUMMOND DR	VELEZ JOSE M
6	11648 DRUMMOND DR	JAMES LAURA G LIFE ESTATE
7	11654 DRUMMOND DR	SPEARS RUTH
8	11662 DRUMMOND DR	DEALBA CLAUDIA
9	11672 DRUMMOND DR	CLINGMAN JAMES W
10	11550 FERGUSON RD	MCKINNEY NELSON
11	11430 DUMBARTON DR	REASONS DUSTINA D
12	11436 DUMBARTON DR	RIVERA-DIAZ MOISES
13	11448 DUMBARTON DR	AUST LAURA D &
14	11456 DUMBARTON DR	TODD PHILIP A
15	11462 DUMBARTON DR	HANNA MARK
16	11468 DUMBARTON DR	SALINAS ELIAS JR
17	11474 DUMBARTON DR	HOLT EVELYN
18	11484 DUMBARTON DR	VALENCIANA TANYA
19	11510 DUMBARTON DR	DAVIS MARK E &
20	11459 DUMBARTON DR	IDE DEBBIE
21	11465 DUMBARTON DR	RODRIGUEZ GILBERTO
22	11471 DUMBARTON DR	BAHENA CASTULO & SENORINA
23	11477 DUMBARTON DR	ESTRADA BERNARDINO
24	11481 DUMBARTON DR	TORRES NOEL &
25	11485 DUMBARTON DR	FISHER LINDA A & CHARLES
26	11503 DUMBARTON DR	BROWN MARDITH LEA

10/24/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	11509 DUMBARTON DR	RAMOS GUSTAVO & SILVIA V RAMOS
28	11515 DUMBARTON DR	MOULTON NANCY
29	11641 DRUMMOND DR	BRITO ARSENIO &
30	11647 DRUMMOND DR	KING LEON & REBECCA
31	11653 DRUMMOND DR	DALE JOHN P
32	11661 DRUMMOND DR	MENDOZA JUAN &
33	11669 DRUMMOND DR	WALLACE JORDAN &
34	11511 FERGUSON RD	SHADOWBROOK REDEVELOPMENT LLC
35	11611 FERGUSON RD	EXPONENTIAL PPTY GROUP V LLC
36	11555 FERGUSON RD	UNITED BIG D INC
37	11440 FERGUSON RD	RIDGE POINTE FELLOWSHIP

FILE NUMBER: Z145-337(MD/RB)

DATE FILED: August 25, 2015

LOCATION: Southeast corner of Swiss Avenue and Parkmont Street

COUNCIL DISTRICT: 14

MAPSCO: 36 X

SIZE OF REQUEST: Approx. 1.124 Acres

CENSUS TRACT: 14

APPLICANT/OWNER: Dallas County Medical Society Alliance Foundation

REPRESENTATIVE: Rob Baldwin

REQUEST: An application for the creation of a new subarea and amendments to the preservation criteria within Area A in Planned Development District No. 63 with Historic Overlay No. 1 with consideration given to a Specific Use Permit for an extended-hours historic house museum and meeting space use.

SUMMARY: The applicant proposes to create a new subarea to allow for a new use, historic house museum and meeting space, by right and establish regulations for the use. The proposed Specific Use Permit would be for the historic house museum and meeting space use to operate during hours past 5:00 p.m. (extended hours), subject to certain conditions. The applicant is also proposing to amend the preservation criteria for the structure (Aldredge House).

STAFF RECOMMENDATION: Approval of the creation of the new subarea, subject to a development plan and staff's recommended conditions, approval of a Specific Use Permit for an extended-hours historic house museum and meeting space use for a two-year period, subject to a site plan and staff's recommended conditions; and approval of an amendment to the H/1 Historic Overlay, subject to preservation criteria.

PREVIOUS ACTION: On October 19, 2017, the CPC held this item under advisement to November 9, 2017. On November 9, 2017, CPC held this item under advisement and instructed staff to advertise for a Specific Use Permit for an extended-hours historic house museum and meeting space use.

BACKGROUND:

- The Aldredge House was constructed in 1917 for George W. Aldredge. The home was built by Hal Thompson in the French Renaissance motif. In 1974, the home was donated to the Women's Auxiliary to the Dallas County Medical Society.
- PD No. 63/Historic District No. 1 was created on September 10, 1973, by Ordinance No. 14247.
 - Only single-family and duplex dwellings were allowed with several exceptions.
 - The general exceptions included:
 - Library, Art Gallery, or Museum (public);
 - Lodge or fraternal organization;
 - Institution of religious, charitable, philanthropic, service or civic nature.
 - The three uses listed above were allowed on properties on which there was:
 - A structure with primary structural decay;
 - A structure irreparably damaged by fire or natural disaster;
 - A structure whose owner can show evidence of economic hardship, including the burden of preservation; or
 - No structure at the effective date of the ordinance.
 - Each block was allowed only one structure of the above uses.
 - The ordinance specifically called out the Aldredge House separately from the uses allowed above.
- Approval of the PD on September 10, 1973, made the use at 5500 Swiss Avenue a legal use for an institution of religious, charitable, philanthropic, service or civic nature.
- The Dallas Development Code in the 1970s defined an establishment for religious, charitable, or philanthropic nature as a facility sponsored or operated by an organization established for religious, or philanthropic purposes, including, but not limited to residences for the indigent or handicapped and training and educational facilities. Organizations with the same use designation (Institution of religious, charitable, philanthropic, service or civic nature) through a specific use permit include Junior League, War on Poverty, pre-school, Home for Girls and Aged and Child Care Center, and religious tapes recording and storing. The

SUP was only required in residential and office districts. Other organizations in commercial districts would have also been classified under this use.

- City records indicate that a certificate of occupancy number 8006167595 was issued on September 16, 1980, for a “(6994) Civic, social, and fraternal associations” (Medical Society Club) at 5500 Swiss Avenue to owner Dallas County Medical Society Auxiliary. The Dallas Development Code did not list a “civic, social, and fraternal associations” use.
- On February 3, 1982, PD No. 63/Historic District No. 1 was amended.
 - Limited uses to single-family residential uses.
 - Removed the language above regarding the “charitable and philanthropic designation for the Women’s Auxiliary to the Dallas County Medical Society, and this use is hereby approved.”
 - Added 1.5 Nonconforming Uses
 - “Nonconforming uses are permitted to remain in accordance with the Dallas Development Code. The following nonconforming uses are expressly recognized:
 - 5500 Swiss Avenue – Dallas County Medical Society Auxiliary Headquarters.
 - 6120 Swiss Avenue – United States Post Office.
- On January 23, 1985, PD No. 63/Historic District No. 1 was amended for a second time.
 - Language in the previous ordinance was removed and replaced with the following under Section 12. Use regulations for Area A.
 - (c) Except as otherwise provided below, uses are limited to single-family residential uses.
 - (d) The duplex use at 5600-02 Swiss Avenue is expressly recognized as a legal use unless and until the structure in which the use is located is destroyed, in which case the right to operate the duplex use terminates immediately.
 - (e) The medical society auxiliary social club use currently operated by the Dallas County Medical Society Auxiliary at 5500 Swiss Avenue is expressly recognized as a nonconforming use.
- An Institution of religious, charitable, philanthropic, service or civic nature use, by definition, allowed a broad category of uses within the category. The organizations receiving an SUP for this use are as varied as the possible interests. The properties receiving a CO for “civic, social, and fraternal associations” are equally varied.

- In determining what activities would be allowed under these two categories, staff would need to first look at the definition or the title of the use. Secondly, staff would look at other properties with the same use or CO to see what types of activities are typical. Activities that would be in the realm for a civic, social, and fraternal associations and an institution of religious, charitable, philanthropic, service or civic nature use would include, but are not limited to, meetings, gathering place for members, parties (including weddings), dinners, fundraising, training, and educational events.
- As a nonconforming use, the Aldredge House may continue to operate as a civic, social, and fraternal associations and an institution of religious, charitable, philanthropic, service or civic nature use until a compliance date is set by the Board of Adjustment for the termination of the use.
- In July 2015, an application for consideration of the termination of the nonconforming use was submitted to the Board of Adjustment (BDA145-099). On October 21, 2015, the Board denied without prejudice the request for expedited compliance of the nonconforming use because “based on the evidence and testimony presented at the public hearing, we find that continued operation of this nonconforming use will not have an adverse effect on nearby properties.” The Board action has been appealed to District Court. Currently, a hearing date has not been scheduled.
- Prior to the BDA public hearing, the applicant submitted the application for the amendment to the Planned Development District and Historic Overlay. The applicant subsequently amended their application to add a request for a Specific Use Permit for a use that was later defined as a Social Event use.
- On October 19, 2017, the City Plan Commission held this case under advisement. The District Commissioner met with the applicant and the opposition afterward. A new use definition was proposed.
- On November 9, 2017, the Commission held the case under advisement to allow staff to advertise for a Specific Use Permit for an extended hours historic house museum and meeting space use.

Thoroughfare/Street

Existing & Proposed ROW

Swiss Avenue

Local; 50' ROW

Parkmont Street

Local; 50' ROW

Traffic: The Engineering Division of the Sustainable Development and Construction Department has reviewed the requested amendment to PDD No. 63 and determined it will not impact the surrounding street system.

STAFF ANALYSIS

Comprehensive Plan: The forwardDallas! Comprehensive Plan was adopted by the City Council in June 2006. The forwardDallas! Comprehensive Plan outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

URBAN DESIGN ELEMENT

GOAL 5.1 PROMOTE A SENSE OF PLACE, SAFETY AND WALKABILITY

Policy 5.1.3 Encourage complementary building height, scale, design and character.

5.1.3.1 Encourage the use of historic and conservation districts to protect the character and scale of Dallas' older residential neighborhoods, retail centers and office buildings.

Land Use Compatibility:

The property is developed with a two-story structure that was originally built as a single-family home. The property transitioned into a non-residential use in 1973, with the creation of Planned Development District No. 63 and Historic Overlay No. 1.

Surrounding land uses to the northeast, northwest, and southwest consist of low density residential uses, predominately single-family structures. To the southeast of the properties is multifamily fronting on Gaston Avenue. Savage Park is situated at the north corner of Swiss Avenue and Parkmont Street, across from the subject property.

The applicant's request is to create a new use to allow the property to become conforming again. The applicant originally requested an amendment to the PD and the Historic Overlay. After the application was submitted and before notices were mailed, the applicant amended the application to include an SUP for social events.

The first notice for CPC public hearing indicated that the request was for an amendment to the PD, an SUP for a Social Event use (which was a newly created use in the PD), and an amendment to the preservation criteria in Historic Overlay. After the first public hearing, a different use was proposed and the application needed to be re-noticed to accurately the revised request.

The applicant is requesting a new use – Historic House Museum and Meeting Space – allowed by right to operate between 8:00 a.m. and 10:00 p.m. The use is defined as a “facility that offers tours and hosts educational programs, fundraising activities, and official meetings of non-profit organizations. Except for use of the property for portrait photographs, an historic house and meeting space does not include commercial events or renting the space for a fee.” Staff is recommending the hours of operation allowed by right be 9:00 a.m. to 5:00 p.m. and an SUP be required for the use to operate after 5:00 p.m.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards.

Off-Street Parking: PD No. 63 requires two off-street parking spaces for each single-family dwelling unit. The new subarea will carry forward this parking requirement as well as require a minimum of 56 off-street parking spaces for the requested use. This will include utilization of tandem parking, subject to a valet permit, as required by City regulations. The applicant provides for a parking lot on Gaston Avenue, approximately 450 feet to the southwest. The property provides for 36 spaces, but can provide for additional spaces when managed by a valet.

In the mid-1970s, the parking required for the establishment for religious, charitable or philanthropic nature use at this location was determined to be 55 spaces with 36 of the spaces located in a lot within 1,000 feet of the lot. Staff has continued with this number plus one since there are 56 spaces currently.

Preservation Criteria:

The Aldredge House was constructed in 1917 and is basically a central hall floor plan, two stories with a full attic and partial basement. A morning room, living room, central hall with a half bath, dining room, butler’s pantry, kitchen (with a small porch) and breakfast room are downstairs. Four bedrooms, a sitting room, three bathrooms, dressing room and sleeping porch were upstairs. Later an art gallery and a garden

room were added downstairs. The house is covered with hard finished tan Roman brick and a slate roof.

The additions to the preservation criteria for the Aldredge House include preservation of portions of the interior of the house. Section 51A-4.501(e)(3) states the interior of historic structures may be included in the preservation criteria "if the interior is customarily open and accessible to the public and the interior has extraordinary architecture...value." The Landmark Commission recommended preservation criteria for specific elements of the living room, the dining room, the entry hall, the two-story stair hall, and the green house due to their remaining mostly intact from the original construction.

Items such as wood trim and paneling, plaster walls and ceilings, fireplace mantle and hearth, and floors must be preserved. Maintenance of the items such as painting the same color would require review by the staff but alternations would require Landmark Commission approval.

There are currently two or three historic structures with interior protection in Dallas. The Lakewood Theater is the most recent case having protection for the lobby. The Hall of State at Fair Park also has preservation criteria for the portions of the interior.

Staff considered this additional requirement in evaluating the request. No other structure in the Swiss Avenue Historic District has the requirement to maintain the interior. Opening historic homes that are not used for residences is not uncommon for historic areas throughout the country. These structures can and do coexist in residential areas. The Historic House Museum and Meeting Space, as defined in the conditions, could provide an avenue to help preserve the valued interior and provide an opportunity for others to learn about the house and its ongoing preservation. The availability of the house to tours, educational programs, and meetings allows the Aldredge House to be an ambassador for historic preservation in Dallas.

Dallas County Medical Society Alliance Foundation

Board of Directors

2016-17

Officers

President	Barenda Hino
Treasurer	Sheri Miller
Treasurer-Elect	Mary Joy Hinton
Recording Secretary	Laura Noe
Corresponding Secretary	Sarah Hardin
Parliamentarian	Lori Routh
Historian	
1st VP -- Health Projects	Sandy DeBusk
2nd VP -- Philanthropy	
3rd VP -- Aldredge House	RuLan Hebel
4th VP -- Edith Cavell	Cheri Whitten
4th VP Elect	Diane Moy

Landmark Commission Action:

October 5, 2015

5500 Swiss Avenue

Swiss Avenue Historic District

Mark Doty

An application for modifications to and creation of a new subdistrict within Historic Overlay 1, Swiss Avenue, on the northeast corner of Parkmont Street and Swiss Avenue.

Speakers: For: Robert Baldwin, Elizabeth Gunby, Virginia McAlester, Mark Aldredge, Larry Offett, Barend Hino, Lindalyn Adams, David Preziosi, Jim Anderson
Against: Charles Hamilton, James Dunkerley, Stephanie Stanley

Motion:

Approval of an application for modifications to and creation of a new subdistrict within Historic Overlay 1, Swiss Avenue, on the northeast corner of Parkmont Street and Swiss Avenue, with modification of the stair hall as proposed.

Maker: Tapscott

Second: *Birrer

Results: 15/0

Ayes:	- 15	Amonett, *Birch, Birrer, Bowers, Flabiano, Gadberry, Greenberg, Johnson, Jordan, Parsons, *Sherman, Seale, Tapscott, Thomas-Drake, Williams
Against:	- 0	
Absent:	- 1	Maten
Vacancies:	- 1	12

**PROPOSED REVISED CONDITIONS
ARTICLE 63 and HISTORIC OVERLAY NO. 1.**

PD 63.

SEC. 51P-63.101. LEGISLATIVE HISTORY.

PD 63 was established by Ordinance No. 14247, passed by the Dallas City Council on September 10, 1973. Ordinance No. 14247 amended Ordinance No. 10962, Chapter 51 of the 1960 Revised Code of Civil and Criminal Ordinances of the City of Dallas. Ordinance No. 14247 was amended by Ordinance No. 15715, passed by the Dallas City Council on December 21, 1977, and Ordinance No. 15766, passed by the Dallas City Council on March 15, 1978. On February 3, 1982, the Dallas City Council passed Ordinance No. 17285, repealing Ordinance Nos. 14247, 15715, and 15766, and re-establishing PD 63. Ordinance No. 17285 was amended by Ordinance No. 18563, passed by the Dallas City Council on January 23, 1985. (Ord. Nos. 10962; 14247; 15715; 15766; 17285; 18563; 25423)

SEC. 51P-63.102. PROPERTY LOCATION AND SIZE.

PD 63 is established on property generally located southeast of Live Oak Street, south of La Vista Drive, northwest of the alley between Swiss Avenue and Gaston Avenue, and northeast of Fitzhugh Avenue. The size of PD 63 is approximately 116.88 acres.

SEC. 51P-63.103. DEFINITIONS.

(a) In this article:

(1) ACCEPTABLE COLOR RANGE means the range of colors shown on Exhibit 63C.

(2) APPLICANT means the property owner or his designee.

(3) BLOCK means an area bounded by streets on all sides.

(4) BLOCKFACE means all of the lots on one side of a block.

(5) CERTIFICATE OF APPROPRIATENESS means a certificate issued by the city to authorize certain acts to be performed in this district. (See the enforcement section of this article.)

(6) COLUMN means the entire column including the base and capital, if any.

- (7) COMMISSION means the city plan and zoning commission.
- (8) COMMITTEE means the landmark committee created under Section 51-3.103.
- (9) CORNER LOT means a lot that has frontage on two different streets.
- (10) CORNER SIDE FACADE means a main building facade facing the side street.
- (11) CORNER SIDE YARD means a side yard that abuts a street.
- (12) DIRECTOR means the director of development services or his representative.
- (13) FENCE means a structure or hedgerow that provides a physical barrier, including a fence gate.
- (14) FRONT YARD means the portion of a lot that abuts a street and extends across the width of the lot between the street and a main building and lines parallel to and extending outward from the front facade of a main building. "Required" front yard means the portion of the front yard between the street and the setback line.
- (15) HISTORIC HOUSE MUSEUM AND MEETING SPACE means a facility that offers tours and hosts educational programs, fundraising activities, and official meetings of non-profit organizations. Except for the use of the Property for portrait photographs, an historic house museum and meeting space does not include commercial events or renting the space for a fee.
- (~~16~~45) LOT means a building site, as defined in the Dallas Development Code.
- (~~17~~46) PARKWAY means the area between the paved portion of a street and a front lot line.
- (~~18~~47) PLANTER BOX means a permanent container for plants that is non-movable.
- (~~19~~48) PRESERVATION CRITERIA means the standards considered by the director, committee, and commission in determining whether a certificate of appropriateness should be granted or denied.
- (~~20~~49) REAR YARD means:
- (A) on an interior lot, the portion of the lot between the side lot lines that extends across the width of the lot between a main building and lines parallel

to and extending outward from the rear facade of a main building and the rear lot line;
and

(B) on a corner lot, the portion of the lot that extends between the interior side lot line and a line parallel to and extending outward from the rear corner of the corner side facade, and between the rear lot line and a main building and a line parallel to and extending outward from the interior side corner of the rear facade.

(~~2120~~) SCREENING means a structure or planting that provides a visual barrier.

(~~2224~~) SCREENING FACTOR means the degree to which a structure provides a visual barrier.

(~~2322~~) SIDE YARD means any portion of a lot not occupied by a main building that is not a front or rear yard. "Side yard" includes "corner side yard."

(~~2423~~) STORY means the portion of a building between any two successive floors, or between the top floor and the ceiling above it.

(~~2524~~) THIS DISTRICT means the Swiss Avenue Historic District.

(~~2625~~) TRIM COLOR means a paint color other than the dominant color. Wood colored translucent stain is not a trim color. Trim color does not include the color of screen and storm doors and windows, gutters, downspouts, porch floors, and ceilings.

(b) Except as otherwise provided in this section, the definitions contained in the Dallas Development Code, as amended, apply to this article.

SEC. 51P-63.104. INTERPRETATIONS.

(a) Unless otherwise stated, the interpretations in Chapter 51 apply to this article.

(b) Unless otherwise stated, all references to articles, divisions, or sections in this article are to articles, divisions, or sections in Chapter 51.

SEC. 51P-63.105. RECONCILIATION WITH ORDINANCE NO. 17285 AND THE DALLAS DEVELOPMENT CODE.

The provisions of Ordinance No. 17285 and the Dallas Development Code, as amended, apply to the Swiss Avenue Historic District unless expressly modified or repealed by this article. In the event of a conflict, the provisions of this article control.

SEC. 51P-63.106. NONCONFORMING USES AND STRUCTURES.

(a) In general. Except as otherwise provided in this article, Section 51-4.704 relating to nonconforming uses and structures, applies to all uses and structures in this district.

(b) Nonconforming uses.

(1) Termination when building destroyed. Except as otherwise provided below, if a building in which a nonconforming use is located is destroyed, the right to operate the nonconforming use terminates immediately.

(2) Nonconforming servants' or caretakers' quarters. The right to operate a nonconforming servants' or caretakers' quarters use does not terminate when the structure in which the use is located is damaged or destroyed. A servants' or caretakers' quarters must be used by bona fide servants or caretakers and may not be rental accommodations.

(c) Rebuilding damaged or destroyed nonconforming buildings. If a nonconforming single-family main or accessory building is damaged or destroyed, it may be rebuilt at the same location without the approval of the board of adjustment.

SEC. 51P-63.107. GRAPHICS.

Graphics that illustrate the requirements of this article are labelled Exhibit 63B. In the event of a conflict, the text of this article controls over any graphic display in Exhibit 63B.

SEC. 51P-63.108. ENFORCEMENT.

(a) Certificate of appropriateness required. A person commits an offense if, without first obtaining a certificate of appropriateness from the city expressly authorizing the act, he:

(1) places or constructs a main or accessory building on property in this district;

(2) makes exterior alterations to a main or accessory building in this district; or

(3) places, constructs, installs, or maintains a structure or non-plant-material landscape item outside a building on property in this district.

(b) Vegetation restrictions. A person commits an offense if he places or maintains a plant in this district in violation of one of the following vegetation restrictions:

(1) A vegetable garden is prohibited in the front yard and may not be located in a side yard unless it is totally screened.

(2) Foundation plantings may not exceed two feet in height above the first story finish floor.

(3) Only grass, trees, ground cover, and flowers are permitted in the parkway. All trees in the parkway must be placed a uniform distance apart and be planted along a line parallel to the street. Flower beds may not comprise more than 50 percent of the parkway area.

(c) Compliance with use regulations and development standards required. A person commits an offense if he violates one of the use regulations or development standards in Sections 51P-63.114, 51P-63.115, 51P-63.117, 51P-63.118, 51P-63.120, 51P-63.121, 51P-63.123, 51P-63.124, 51P-63.126, 51P-63.127, 51P-63.129, and 51P-63.130 of this article.

(d) Defenses to prosecution.

(1) It is a defense to prosecution under Subsections (a)(2) and (a)(3) that the act was:

(A) the installation, maintenance, or replacement of:

(i) outdoor lights that are 10 inches or less in diameter
and

(aa) located at ground level;

(bb) attached to a tree or shrub and located on or
above its lowest branch;

(cc) located along eaves or soffits; or

(dd) located on an accessory building;

(ii) recreational equipment for children, such as a swingset, playhouse, or jungle gym, in a rear yard;

(iii) security or ornamental bars on the rear facade of a main building or on an accessory building;

(iv) a lawn sprinkler system; or

(v) an air conditioning unit in a side or rear yard; or

(B) performed in a rear yard, and the alteration, structure, or landscape item is six feet or less in height or totally screened;

(C) performed in a side yard, and the alteration, structure, or landscape item is six feet or less in height and totally screened by a fence or hedge that is at least six feet in height; or

(D) the installation or maintenance of a special purpose sign.

(2) It is an additional defense to prosecution under Subsection (a)(3) that the structure or landscape item was temporarily placed, constructed, or installed. For purposes of this subsection, an act is temporary in nature if it occurs no more than two time periods during the calendar year for a maximum of five days per time period.

(3) There is no defense to prosecution for a violation of Subsection (a)(1).

(e) Criminal responsibility. A person is criminally responsible for a violation if he:

(1) commits or assists in the commission of an act in violation; or

(2) owns part or all of the land or a structure on the land where a violation exists.

SEC. 51P-63.109. PENALTY.

(a) A person violating a provision of Ordinance No. 17285, as amended by Ordinance No. 18563, upon conviction, is punishable by a fine not to exceed \$1000. *[The provisions of Ordinance No. 17285, as amended by Ordinance No. 18563, are codified in this article.]*

(b) In addition to punishment by fine, the City may, in accordance with state law, provide civil penalties for a violation of this article, and institute any appropriate action or proceedings to prevent, restrain, correct, or abate the unlawful erection, construction, reconstruction, alteration, repair, conversion, or maintenance of a building, structure, or land in this district.

SEC. 51P-63.110. REVIEW PROCEDURES FOR CERTIFICATES OF APPROPRIATENESS.

(a) In general. The standard review procedure outlined in Section 51-4.501 applies to this district, except as expressly modified by this section.

(b) Review by the director.

(1) Director's determination of procedure. Upon receipt of an application for a certificate of appropriateness, the director shall characterize the proposed work as falling into one of the following three categories:

- (A) Routine maintenance or replacement.
- (B) Minor exterior alterations.
- (C) Work requiring review by the committee and commission.

The director shall review and grant or deny certificates of appropriateness for proposed work that is routine maintenance or replacement or a minor exterior alteration in accordance with the review standards provided in this section. If the proposed work requires review by the committee and commission, the director shall forward the application to the committee for review in accordance with the standard certificate of appropriateness review procedure outlined in Section 51-4.501. All decisions to be made by the director under this section must be made within 10 days of receipt of the application.

(2) Routine maintenance and replacement defined. Routine maintenance is the processes of cleaning (including water blasting and stripping), repainting an item the same color, and otherwise stabilizing deteriorated or damaged architectural features. Routine replacement occurs whenever a duplicate item is substituted for an item that is deteriorated or damaged. Repainting an item a different color is neither routine maintenance nor routine replacement.

(3) Minor exterior alteration defined. The following are minor exterior alterations for purpose of this article.

(A) The application, installation, maintenance, or replacement of:

(i) a chimney located on an accessory building, or on the rear 50 percent of a main building and not part of the corner side facade;

(ii) an awning located on an accessory building, or on the rear facade of a main building; and

(iii) a roof of the same or an original material that does not include a change in color;

(iv) a wood or chain link fence that is not painted or stained;

(v) gutters and downspouts of a color within the acceptable color range that matches or complements the dominant, trim, or roof color;

(vi) paint of a color within the acceptable color range;

- (vii) skylights and solar panels;
- (viii) storm windows and doors; or
- (ix) window and door screens.

(B) The restoration of original architectural elements that does not include the use of paint outside the acceptable color range.

(4) Review standards for routine maintenance and replacement. The director shall review all proposed work that falls into the categories of routine maintenance and routine replacement to determine whether or not the original item to be maintained or replaced was legally installed. Legal installation includes both work that was legally performed before September 10, 1973, the date this district was established, and work performed after that date by authority of a valid certificate of appropriateness. The director shall grant a certificate of appropriateness for the proposed maintenance or replacement of an original item that was legally installed. If the original item was not legally installed, the director shall not grant a certificate but instead shall treat the application as being for a certificate of appropriateness to authorize the installation of the original item.

(5) Review standards for minor exterior alterations. The director shall review all proposed work that falls into the category of minor exterior alterations to determine whether the proposed work complies with the preservation criteria and regulations contained in this article and all other applicable ordinances. If the proposed work complies, the director shall grant a certificate of appropriateness for the work. If the proposed work does not comply with or is not addressed by the preservation criteria and regulations contained in this article or any other applicable ordinance, the director shall deny the certificate.

(c) Appeals. A decision to grant a certificate of appropriateness may not be appealed. A decision to deny a certificate of appropriateness may be appealed only by the applicant. An appeal from a decision to deny a certificate is made by submitting a written request for appeal to the director within ten days of the decision.

(d) Review by the committee. The standards in Subsection (e) below should be used by the committee in making its recommendation to the commission.

(e) Review by the commission and city council.

(1) When reviewing an appeal from the director's decision to deny a certificate of appropriateness, the commission or city council shall first determine whether the proposed work is routine maintenance or replacement. If the proposed work is routine maintenance or replacement, the commission or council shall next determine whether or not the original item to be maintained or replaced was legally installed. If the original item was legally installed, the commission or council shall approve the routine maintenance or replacement. If the original item was not legally

installed or if the proposed work is not routine maintenance or replacement, the commission or council shall review the application using the standards provided in the following subsections.

(2) In reviewing an application, the commission or city council shall determine whether the proposed work complies with the preservation criteria and regulations contained in this article and all other applicable ordinances. If the proposed work complies, the commission or council shall grant the certificate.

(3) Except as otherwise provided in this section, if the proposed work does not comply with or is not addressed by the preservation criteria and regulations contained in this article or any other applicable ordinance, the commission or council shall deny the certificate.

(4) If the proposed work is not addressed by the preservation criteria and regulations contained in this article and all other applicable ordinances and the work will not have an adverse effect on the external architectural features, future preservation, maintenance, or use of:

- (A) a structure in this district;
- (B) a blockface in this district; or
- (C) this district as a whole; the commission or council shall grant the certificate.

(5) If the proposed work is the restoration of original architectural elements and will not have an adverse effect on the external architectural features, future preservation, maintenance, or use of:

- (A) a structure in this district;
- (B) a blockface in this district; or
- (C) this district as a whole; the commission or council shall grant the certificate. In determining whether the proposed work constitutes the restoration of original architectural elements, the commission or council shall consider all available materials, including but not limited to photographs and drawings showing the original appearance of the building and its surrounding property at the time of construction. (Ord. Nos. 18563; 25423)

SEC. 51P-63.111. NOTICE REQUIREMENTS.

The following notice requirements apply to this district:

(1) When required. The director shall give the notice required by this section only when a person applies for a certificate of appropriateness to construct a new main building, or to move a main building onto an existing lot.

(2) Content of notice. The notice required by this section must contain a description of the lot where a main building will be constructed or moved, and the date, time, and location of the committee meeting at which the application will be considered.

(3) Manner of notification. The notice required by this section is a written notice to be given not less than 21 days before the committee meeting at which the application will be considered. Notice is given by depositing the notice properly addressed and postage paid in the United States Mail to the property owners entitled to notice under Paragraph (4) of this subsection as evidenced by the last approved city tax roll.

(4) Who must be notified. The director shall notify the following persons in this district whenever notice is required by this section:

(A) The owners of all lots in the blockface of the area of request.

(B) The owners of all lots in the blockface across the street from the area of request.

(C) If the area of request is a corner lot, the owners of all other corner lots at the same intersection.

(D) The president of the Swiss Avenue Historic District Association at an address provided by the association.

SEC. 51P-63.112. PROCEDURAL CHANGES WHEN NOTICE IS REQUIRED.

The procedural time requirements in Section 51-4.501 applicable to the committee and the commission apply to this district except in those cases where notice is required under the previous section of this article. In such cases, the committee shall make its recommendation within 45 days of receipt of the application by the director. If final action has not been taken by the committee and the commission within 55 days of the director's receipt of the application:

(1) the director shall issue a certificate of appropriateness to the applicant for the proposed work; and

(2) if all requirements of the Dallas Development Code and the construction codes are met and a building permit is required for the proposed work, the building official shall issue a building permit to the applicant for the proposed work.

SEC. 51P-63.113. CREATION OF AREAS.

This district is hereby divided into seven ~~six~~ separate areas, which shall be known as "Area A," "Area B," "Area C," "Area D," "Area E," ~~and "Area F,"~~ and Area "G."

Property descriptions of Areas A through F are attached to Ordinance No. 18563. A map showing the area boundaries is labelled Exhibit 63A.

(1) Uses that were illegal on February 3, 1982, are illegal uses under this article. Except as otherwise provided in this article, nonconforming uses are governed by Section 51-4.704.

(2) The number of dwelling units on a building site may not be increased. If the number of dwelling units in a building is reduced, or the building is replaced with another building containing a lesser number of dwelling units, the building site shall thereafter be limited to the lesser number of dwelling units.

(3) Except as otherwise provided below, uses are limited to single-family residential uses.

(4) The duplex use at 5600-02 Swiss Avenue is expressly recognized as a legal use unless and until the structure in which the use is located is destroyed, in which case the right to operate the duplex use terminates immediately.

~~(5) The medical society auxiliary social club use currently operated by the Dallas County Medical Society Auxiliary at 5500 Swiss Avenue is expressly recognized as a nonconforming use.~~

SEC. 51P-63.115. DEVELOPMENT STANDARDS FOR AREA A

(a) In general. Except as otherwise provided in this section, the development standards in the Dallas Development Code, as amended, applicable to an R-10 Single-Family District apply to all property in Area A. In the event of a conflict, the provisions of this section control.

(b) Height requirements. Maximum permitted heights for buildings and structures are:

- (1) 36 feet for a main building; and
- (2) 24 feet for an accessory building or structure.

(c) Lot size requirements. Lots must conform to the following standards:

(1) Each lot must have a minimum area of 10,000 square feet and a minimum depth of 230 feet.

(2) Each lot must have a width no less than 90 percent of the average width of all lots in both the same and the opposite blockface.

(3) Lots platted on or before February 3, 1982, are legal building sites, even though they may not conform to the requirements of this section.

(d) Maximum lot coverage. Maximum permitted lot coverage for all buildings and structures combined is 25 percent.

(e) Minimum front yard.

(1) All buildings and structures must have a minimum front yard setback of 65 feet.

(2) The main building on an interior lot must have a front yard setback that is:

(A) equal to that of the closest main building on either side of the lot in the same blockface; or

(B) between those of the closest main buildings on either side of the lot in the same blockface.

(3) The main building on a corner lot must have a front yard setback that is within five percent of that of the closest main building in the same blockface.

(f) Minimum rear yard. Minimum permitted rear yard setbacks for buildings and structures are:

(1) 60 feet for a main building if the lot is 230 feet or less in depth;

(2) 90 feet for a main building if the lot is over 230 but less than or equal to 250 feet in depth;

(3) 120 feet for a main building if the lot is over 250 feet in depth; and

(4) five feet for an accessory building or structure.

(g) Minimum side yards.

(1) All buildings and structures must have:

(A) on interior lots, a minimum side yard the greater of 10 feet or 80 percent of the average interior side yard in the blockface; and

(B) on corner lots, a minimum corner side yard the greater of 15 feet or 80 percent of the average corner side yard of the other corner lots at the same intersection.

(2) Except as otherwise provided in this section, no balcony, porch, or any portion of a building may extend into the required side yard. Roof eaves may project up to three feet into the required side yard.

(h) Off-street parking requirements. Single-family and duplex uses must provide at least two off-street parking spaces behind the front yard for each dwelling unit.

(i) Signs. Signs are governed by the provisions for non-business zoning districts in Article VII, "Sign Regulations," and all other applicable sign ordinances and laws.

(j) Story requirements. A main building must have at least two stories.

SEC. 51P-63.116. PRESERVATION CRITERIA FOR AREA A.

The following preservation criteria apply to all property in Area A

(1) Building placement, form, and treatment.

(A) Accessory buildings. Accessory buildings:

(i) are only permitted in the rear yard no closer than 15 feet to a main building; and

(ii) must be compatible with the scale, shape, roof form, materials, detailing, and color of a main building.

(B) Additions. All additions to a building must be compatible with the dominant horizontal or vertical characteristics, scale, shape, roof form, materials, detailing, and color of the building.

(C) Architectural detail. Materials, colors, structural and decorative elements, and the manner in which they are used, applied, or joined together must be typical of the style and period of a main building and compatible with the other buildings on the blockface.

(D) Awnings.

(i) Wood, metal, and plastic awnings are not permitted unless they:

(aa) are on an accessory building or the rear facade of a main building;

(bb) complement the color scheme of the building to which they are attached; and

(cc) are totally screened.

(ii) All awnings on the front and side facades of a main building must be typical of its style and period and complement its color scheme.

(E) Building placement. All buildings must be placed so as not to adversely affect the rhythm of spaces between buildings on the blockface.

(F) Building widths. Minimum permitted width for a main building is 80 percent of the average width of the existing main buildings in the blockface.

(G) Chimneys. All chimneys must be compatible with the style and period of a main building. Chimneys on the front 50 percent of a main building or on a corner side facade must be:

(i) constructed of brick, stucco, stone, or other materials that look typical of the style and period of a main building; and

(ii) of a style and proportion that is typical of the style and period of a main building.

(H) Color.

(i) Brick and stone surfaces. Brick and stone surfaces not previously painted must not be painted unless the applicant establishes that:

(aa) painting is the only method by which the brick or stone may be restored or preserved; or

(bb) the color and texture of replacement brick or stone cannot be matched with that of the existing brick or stone surface and the paint color matches that of the existing brick or stone surface.

(ii) Certain colors prohibited. Fluorescent and metallic colors are not permitted on the exterior of any structure in this district.

(iii) Dominant and trim colors. All structures must have a dominant color and no more than three trim colors. The colors of a structure must be complementary of each other and the overall character of this district.

(iv) Gutters and downspouts. Gutters and downspouts must be painted or colored to match or complement the color scheme of the structure to which they are attached.

(v) Roof colors. Roof colors must complement the style and overall color scheme of the structure.

(vi) Stain. The use and color of stain must be typical of the style and period of the building on which the stain is applied.

(I) Columns.

(i) Function. Columns are only permitted as vertical supports near the front entrance of a main building, or as vertical supports for porches.

(ii) Materials. Columns must be constructed of brick, wood, cut stone, or other materials that look typical of the style and period of a main building. No pipe or wrought iron columns are permitted.

(iii) Style. Columns must be of a style typical of the style and period of a main building.

(iv) Width dimensions.

(aa) The width of a one-story column shaft at its widest point must be at least one-eighth the height of the column.

(bb) The width of a two-story column shaft at its widest point must be at least one-tenth the height of the column.

(J) Facade materials.

(i) In general. The only permitted facade materials are brick, wood siding, stone, and stucco. All facade treatments and materials must be typical of the style and period of a main building.

(ii) Brick. All exposed brick on facades must be fired brick as defined by the American Standard Testing Materials Designation C-126-75A, Type Grade FBS-SW.

(iii) Wood facades. Existing wood facades must be preserved as wood facades. Wood shingles are not permitted as a primary facade material, but may be used in roof gables and on columns and foundation skirts in a manner that is typical of the style and period of a main building.

(K) Front entrances and porches.

(i) Detailing. Railings, moldings, tilework, carvings, and other detailing and architectural decorations on front entrances and porches must be typical of the style and period of a main building.

(ii) Enclosures. A front entrance or porch may not be enclosed with any material, including iron bars, glass, or mesh screening.

(iii) Facade openings. Porches must not obscure or conceal any facade openings in a main building.

(iv) Floor coverings. Carpeting is not permitted as a porch floor or step covering.

(v) Location. An entrance treatment, including door transoms, sidelights, stained glass, trim, and hardware, must be retained in its original location.

(vi) Style. The main building must have a front porch or entry treatment with a shape, roof form, materials, and colors that are typical of the style and period of the building.

(L) Height to width ratio. The relationship between the height and width of the front facade of a main building, including side projections, must be compatible with those of the other main buildings in the blockface.

(M) Porte cocheres. Except as otherwise provided in this subsection, porte cocheres must be preserved as architectural features and not be enclosed on any side by fences, gates, or any other materials. A wrought iron gate is permitted across the rear opening of a porte cochere if it has a screening factor of less than 50 percent and is compatible with the style and scale of a main building.

(N) Roof forms.

(i) Eaves and soffits. The height of eaves and soffits on a main building must be within 10 percent of the height of eaves and soffits on the closest main building in this district of a similar style and having the same number of stories.

(ii) Materials and colors. Roof materials and colors must complement the style and overall color scheme of the building or structure. Tar and gravel (built-up) is only permitted as a roof material on covered porches and porte cocheres with flat roofs.

(iii) Overhang. The roof overhang on a building must be compatible with the style and scale of the building. A replacement roof on an existing building must have an overhang that is equal to or greater than the overhang of the roof it replaces.

(iv) Patterns. Roof patterns of a main building must be typical of the style and period of the architecture of the building and include separate substructure roofs.

(v) Skylights and solar panels. Skylights and solar panels are only permitted on:

(aa) the rear 50 percent of the roof of a main building on an interior lot;

(bb) the rear inside quadrant of the roof of a main building on a corner lot; and

(cc) the roof of an accessory building in the rear yard.

(vi) Slope and pitch. The degree and direction of roof slope and pitch must be typical of the style and period of a main building and compatible with existing building forms in this district. Flat or Mansard roof designs are not permitted on main or accessory buildings or structures, except that a covered porch or porte cochere may have a flat roof that is typical of the style and period of a main building.

(O) Stairs. Second and third story exterior staircases are only permitted on accessory buildings and the rear 50 percent of a main building, except that they are not permitted on a corner side facade.

(P) Windows and doors.

(i) Front facade openings. The total number of window and door openings (combined) in the front facade of a main building must be equal to or greater than the total number of original window and door openings (combined) in that facade. The number of door openings in the front facade of a main building may not be increased.

(ii) Glass. Clear, decorative stained, and clear leaded glass typical of the style and period of the building may be permitted in any window opening. Reflective, tinted, opaque, and mirrored glass and plastic are not permitted in any opening. Translucent glass is not permitted except in a bathroom window.

(iii) Screens, storm doors, and storm windows. Screens, storm doors, and storm windows may be permitted if:

(aa) their frames are painted or colored to match or complement the color scheme of a main building;

(bb) they do not obscure significant features of the windows and doors they cover; and

(cc) the screen mesh is 18 by 16 gauge.

(iv) Security and ornamental bars. Security and ornamental bars are only permitted on an accessory building or on the rear or side facades of a main building.

(v) Shutters. Shutters must be typical of the style and period of the building and appear to be installed in a manner to perform their intended function.

(vi) Style.

(aa) All windows and doors in the front facade of a main building must be proportionally balanced in a manner typical of the style and period of the building.

(bb) No single, fixed plate glass is allowed except as part of an original period design. The size and proportion of window and door openings located on the front and side facades of a main building must be typical of the style and period of the building.

(cc) All windows, doors, and lights in the front and side facades of a main building must be typical of the style and period of the building and compatible with the windows, doors, and lights in the front and side facades of the other main buildings in the blockface. Windows must contain at least two lights (window panes). Sidelights must be compatible in style and materials with the door.

(dd) The frames of windows must be trimmed in a manner typical of the style and period of the building.

(2) Landscaping.

(A) Certain items prohibited in front and corner side yards. The following items are not permitted in the front and corner side yards:

- (i) Above-ground meters.
- (ii) Berms.
- (iii) Pylons and similar structures.
- (iv) Rock or sculpture gardens.

(B) Fences.

(i) Definitions. The following definitions apply to terms used in these fence regulations:

(aa) FINISHED SIDE means the side of a fence that does not reveal the structural components.

(bb) STRUCTURAL COMPONENT means a post, column, or other vertical or horizontal member providing support and strength for a fence.

(ii) Form.

(aa) Fences must be constructed and maintained in a vertical position.

(bb) The top edge of a fence must be along a line that is either horizontal or parallel to grade. Except in the case of a picket, chain link, or wrought iron fence, the top edge of a fence must be flat.

(iii) Height. Maximum permitted height for a fence is nine feet.

(iv) Location.

(aa) Fences are not permitted in the front yard.

(bb) A fence in an interior side yard must be located in the rear 50 percent of the side yard and behind the rearmost side projection of a main building, except that the commission may allow a fence to be located in the rear 75 percent of the side yard if it determines that the fence does not screen any portion of a significant architectural feature of a main building on the same or an adjacent lot.

(cc) A fence in the corner side yard must not be directly in front of the corner side facade, except that the commission may allow a fence that is directly in front of all or any portion of the rear 50 percent of the corner side facade if:

[1] more screening is necessary to insure privacy due to unusually high pedestrian or vehicular traffic; and

[2] the fence does not screen all or any portion of a significant architectural feature of a main building.

(dd) A fence in the corner side yard must be set back a minimum of two feet from a public sidewalk.

(ee) A fence must run either parallel or perpendicular to a building wall or lot line.

(ff) A fence on a vacant lot must be set back a distance that is equal to or greater than the setback of the closest main building in the same blockface. In the case of a single interior vacant lot, the setback of the fence must be equal to or greater than the setback of a main building on the adjacent lot with the greater setback.

(v) Materials. A fence must be constructed of one or more of the following materials: metal or plastic-coated chain link, wrought iron, wood, brick, or stucco. Exposed concrete blocks are not permitted.

(vi) Masonry fences.

(aa) The color, texture, pattern, and dimensions of masonry and the color, width, type, and elevation of mortar joints in a fence column or base must match the masonry and mortar joints of a main building as nearly as practicable.

(bb) All exposed brick in a fence must be fired brick as defined by the American Standard Testing Materials Designation C-126-75A, Type Grade FBS-SW.

(vii) Metal fences.

(aa) Wrought iron and metal fences must be compatible with the style and period of a main building.

(bb) If a wrought iron or metal fence is painted or colored, the color must be black, dark green, or dark brown and complement the color of a main building.

(viii) Wooden fences.

(aa) All wooden structural posts must be at least four inches in diameter (nominal size).

(bb) The side of a wooden fence facing a public street must be the finished side.

(cc) Wooden fences may be painted or stained a color that is complementary to a main building.

(C) Outdoor lighting. Outdoor light fixtures on the front facade of a main building and on poles in the front yard must be compatible with the style and period of a main building and not obscure or conflict with significant architectural details. Overhead and exposed wiring and conduit for outdoor lighting is not permitted.

(D) Pavement, filler, and edging materials. Pavement, filler, and edging materials, such as landscape timbers, gravel, and bark, used in landscape beds in the front and corner side yards must be reviewed by the commission as part of an overall landscape plan if the landscape beds collectively comprise more than 25 percent of the combined areas of the front and corner side yards. No more than 25 percent of the front yard of a residential use may be covered by pavement or filler materials.

(E) Planter boxes. Planter boxes must be:

(i) an integral part of and typical of the style and period of a main building;

- (ii) 18 inches or less in height;
- (iii) 36 inches or less in depth; and
- (iv) constructed of brick, stone, or smooth-finish concrete that matches or is compatible in texture, color, and style with a main building.

(F) Retaining walls. Retaining walls are not permitted in the front and side yards except to preserve a natural or existing slope or to make a slope similar to that of an adjacent lot. The height of a retaining wall must not exceed the height of the slope it retains. A retaining wall must be constructed of unpainted stone, brick, stucco, or smooth-finish concrete that is compatible in texture, color, and style with a main building.

(G) Sidewalks, driveways, and curbing.

(i) Materials.

(aa) No exposed aggregate, asphaltic, or artificially colored concrete or epoxy resin is permitted as a sidewalk, driveway, or curbing material.

(bb) All public sidewalks and curbing must be constructed of brush finish concrete.

(cc) All private sidewalks and driveways must be constructed of brush finish concrete, brick, tile, or slate. Gravel is allowed in the center strip of a ribbon driveway. Any material used in a sidewalk or driveway must be compatible in texture, color, and style with a main building.

(ii) Width, style, and spacing.

(aa) The maximum permitted width of a driveway in the front yard is 10 feet. The driveway width may be expanded to 20 feet at any point behind the front facade.

(bb) Ribbon driveways are only permitted if the owner establishes that a ribbon driveway was an original architectural element of the site. If a ribbon driveway is permitted, the ribbons must be at least one foot wide.

(cc) Circular driveways are not permitted in the front yard.

(dd) A driveway constructed in the front yard adjacent to an existing driveway on an adjacent lot must be spaced a minimum of one foot from the existing driveway on the adjacent lot.

SEC. 51P-63.117 through SEC. 51P-63.131
Omitted for brevity

SEC. 51P-63.132. USE REGULATIONS FOR AREA G.

(a) Purpose. The purpose of this subsection is to preserve the structure at 5500 Swiss Avenue (the “House”), its specific interior architectural features, and the grounds. The House, which is a Registered Texas Historic Landmark, is one of the most important residential landmarks in the City of Dallas due to its retention of its original floor plan and many original exterior and interior architectural elements. The general objectives of the conditions for Area G are to promote and protect the health, safety, welfare, and enjoyment of the public and to preserve and enhance the historical, architectural, and cultural significance of Swiss Avenue, one of the most intact historic residential streets in the United States.

(b) In general. The use regulations in this article applicable to Area A apply to all property in Area G except as expressly modified in this section.

(1) Historic house museum and meeting space is allowed to operate:

Staff recommendation:

<u>Sunday, and</u>	(A) <u>by right between 9:00 a.m. and 5:00 p.m., Monday through</u>
<u>Sunday.</u>	(B) <u>by SUP only between 5:00 p.m. and 8:00 p.m., Monday through</u>

Applicant's request:

<u>Sunday.</u>	(A) <u>by right between 8:00 a.m. and 10:00 p.m., Monday through</u>
----------------	--

(C) Set up and tear down of equipment and associated functions must occur during the hours of operation.

(2) A caretaker's quarters is a permitted accessory use only in conjunction with an historic house museum and meeting space.

SEC. 51P-63.115. DEVELOPMENT STANDARDS FOR AREA G.

(a) In general. The development standards in this article applicable to Area A apply to all property in Area G except as expressly modified in this section.

(b) Off-street parking requirements.

(1) Single-family. A minimum of two off-street parking spaces per dwelling unit is required. Required parking may not be located within the required front yard.

(2) Historic house museum and meeting space. A minimum of 56 parking off-street parking spaces are required.

(A) A minimum of 19 off-street parking spaces must be located within Area G.

(B) Maneuvering in the alley is allowed in order to access parking spaces.

(C) Four tandem spaces within Area G may only be used in conjunction with a valid valet permit.

(C) Remote parking is allowed within a walking distance no greater than 450 feet from the use.

(D) Remote parking may be based on a lease of the remote parking spaces only if the lease:

(i) is in writing;

(ii) contains legal descriptions of the properties affected;

(iii) specifies the special parking being provided and the hours of operation of any use involved;

(iv) is governed by the laws of the state of Texas;

(v) is signed by all owners of the properties affected;

(vi) signed by all lienholders, other than taxing entities, that have an interest in or an improvement on the properties;

(vii) is for a minimum term of three years; and

(viii) provides both the owner of the lot occupied by the use and the owner of the remote parking lot shall notify the building official in writing if there is a breach of any provision of the lease, or if the lease is modified or terminated.

(c) Additional provisions for an historic house museum and meeting space.

(1) No tents or other temporary structures are allowed.

(2) No amplified music or live music is allowed outside.

(3) Weddings and wedding receptions are not permitted.

(4) Outdoor lighting is permitted in the locations shown on the site plan. No other outdoor lighting is permitted unless approved by a Certificate of Appropriateness. Temporary lighting is permitted but is limited to string lighting and portable light standards. Maximum height of string lighting is 10 feet, as measured to the highest point of string lighting. Maximum height of a light fixture for a portable light standard is eight feet, as measured to highest point of the light fixture.

SEC. 51P-63.116. PRESERVATION CRITERIA FOR AREA G.

(a) In general. The preservation criteria in this article applicable to Area A apply to all property in Area G except as expressly modified in this section.

(b) Area G Interior preservation.

(1) The following areas within the House are protected:

(A) Living room. Stained wood surfaces may not be painted. Painted surfaces may be re-painted the same color without review. If paint color is altered, the proposed color is subject to staff review. Stone fireplace and hearths must remain. Alterations to the finish of stained wood surfaces are subject to review. Protected features within the living room are:

(i) Decorative plaster ceiling.

(ii) Mahogany trim work at windows, doors and paneling.

(iii) Fireplace mantle and hearth.

(iv) 1.5-inch gauge quarter-sawn white oak flooring.

(B) Entry vestibule. Painted surfaces may be re-painted the same color without review. If paint color is altered, the proposed color is subject to staff review. Stone flooring must be maintained and preserved. Any alteration of stone work is subject to review by the commission. Protected features within the entry hall are:

(i) Dressed plaster walls.

(ii) Marble flooring.

(C) Foyer and Two-Story Stair hall. Stained wood surfaces may not be painted. Painted surfaces may be re-painted the same color without review. If paint color is altered, the proposed color is subject to staff review. Alterations to the finish of wood surfaces are subject to review. Deteriorated painted plaster inserts in paneling may be replaced only with like material and is subject to review by the commission. Protected features within the stair hall are:

- (i) Mahogany paneling with painted plaster inserts.
- (ii) Decorative metal handrails.
- (iii) 1.5-inch gauge quarter-sawn white oak flooring.

(D) Dining room. Stained wood surfaces may not be painted. Painted surfaces may be re-painted the same color without review. If paint color is altered, the proposed color is subject to staff review. Stone fireplace and hearth must be maintained and preserved. Alterations to the finish of wood surfaces are subject to review. Protected features within the dining room are:

- (i) Decorative plaster ceiling.
- (ii) Walnut trim work at windows, doors, and wainscot.
- (iii) Fireplace mantle and hearth.
- (iv) 1.5-inch gauge quarter-sawn white oak flooring.

(E) Greenhouse. The metal glazing system may be re-painted the same color without review. Glazing may be maintained without review. Glass may be replaced with new glass that matches the original glass without review. Protected features within the greenhouse are:

- (i) Glazing and metal glazing system.
- (ii) Tile flooring.

(2) Protected features of the protected interior areas may not be altered or removed without review by the commission, unless otherwise specified. All work must comply with the Secretary of Interior Standards for "Preservation" and the applicable "Preservation Briefs".

SEC. 51P-63.13~~32~~. ADDITIONAL PROVISIONS [BUILDING OFFICIAL].

(a) The Property must be properly maintained in a state of good repair and neat appearance.

(b) Development and use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the city.
~~[The building official shall not issue a building permit or certificate of occupancy for a use in this district until there has been full compliance with this article, the Dallas Development Code, the construction codes, and all other applicable ordinances, rules, and regulations of the city.]~~

SEC. 51P-63.13~~43~~. COMPLIANCE WITH CONDITIONS ~~[STREETS AND PAVING]~~.

(a) All paved areas, permanent drives, streets, and drainage structures, if any, must be constructed in accordance with standard city specifications to the satisfaction of the city ~~[director of public works and transportation]~~.

(b) The building official shall not issue a building permit to authorize work, or a certificate of occupancy to authorize the operation of a use, until there has been full compliance with this article, the Dallas Development Code, the construction codes, and all other ordinances, rules, and regulations of the city.

SEC. 51P-63.13~~54~~. COMPLIANCE WITH CONDITIONS.

The building official shall not issue a certificate of occupancy for a use in this PD until there has been full compliance with this article, as amended, and with the construction codes and all other applicable ordinances, rules, and regulations of the city.

~~SEC. 51P-63.135. ZONING MAP.~~

~~PD 63 is located on Zoning Map No. I-8.~~

**STAFF RECOMMENDED
SPECIFIC USE PERMIT CONDITIONS**

1. USE: The only use authorized by this specific use permit is an extended-hours historic house museum and meeting space use.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires two years from passage of this ordinance (date).
4. DAYS AND HOURS OF OPERATION: An extended-hours historic house museum and meeting space use may only operate between 5:00 p.m. and 8:00 p.m., Monday through Sunday, a maximum total of 26 times per calendar year and a maximum total of three per month.
5. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
6. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.

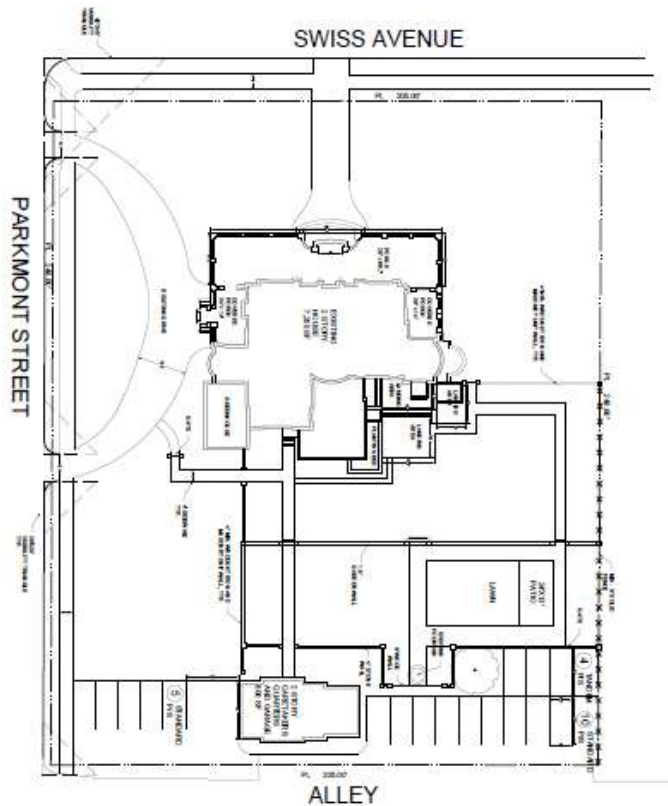
Proposed Development/Site Plan



1

ALDREDGE HOUSE SUP SITE PLAN

SCALE 1" = 20'-0"



VICINITY MAP

NTS

SITE INFORMATION:

USE: DALLAS COUNTY MEDICAL SOCIETY ALLIANCE FOUNDATION ESTABLISHMENT FOR RELIGIOUS, CHARITABLE OR PHILANTHROPIC NATURE.

EXISTING HOUSE: 7,255 SF
EXISTING CARETAKER'S QUARTERS: 800 SF
STRUCTURE HEIGHT: 36' TO TOP OF ROOF, 38' TO TOP OF CHIMNEY
LOT COVERAGE: 14.32%

SETBACKS:

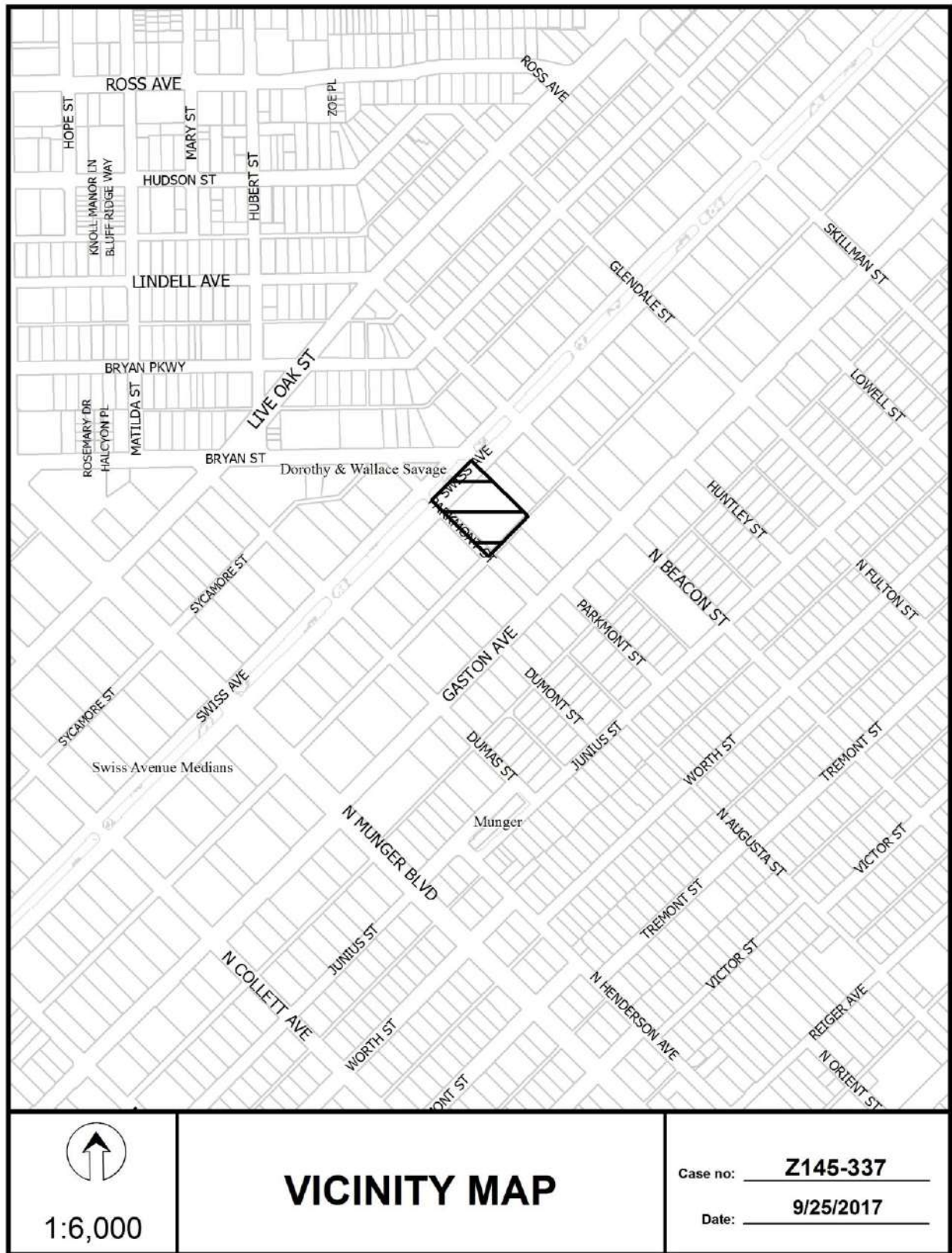
FRONT YARD: 65'
REAR YARD: 90'
ACCESSORY STRUCTURE: 5'
CORNER SIDE YARD: 15'

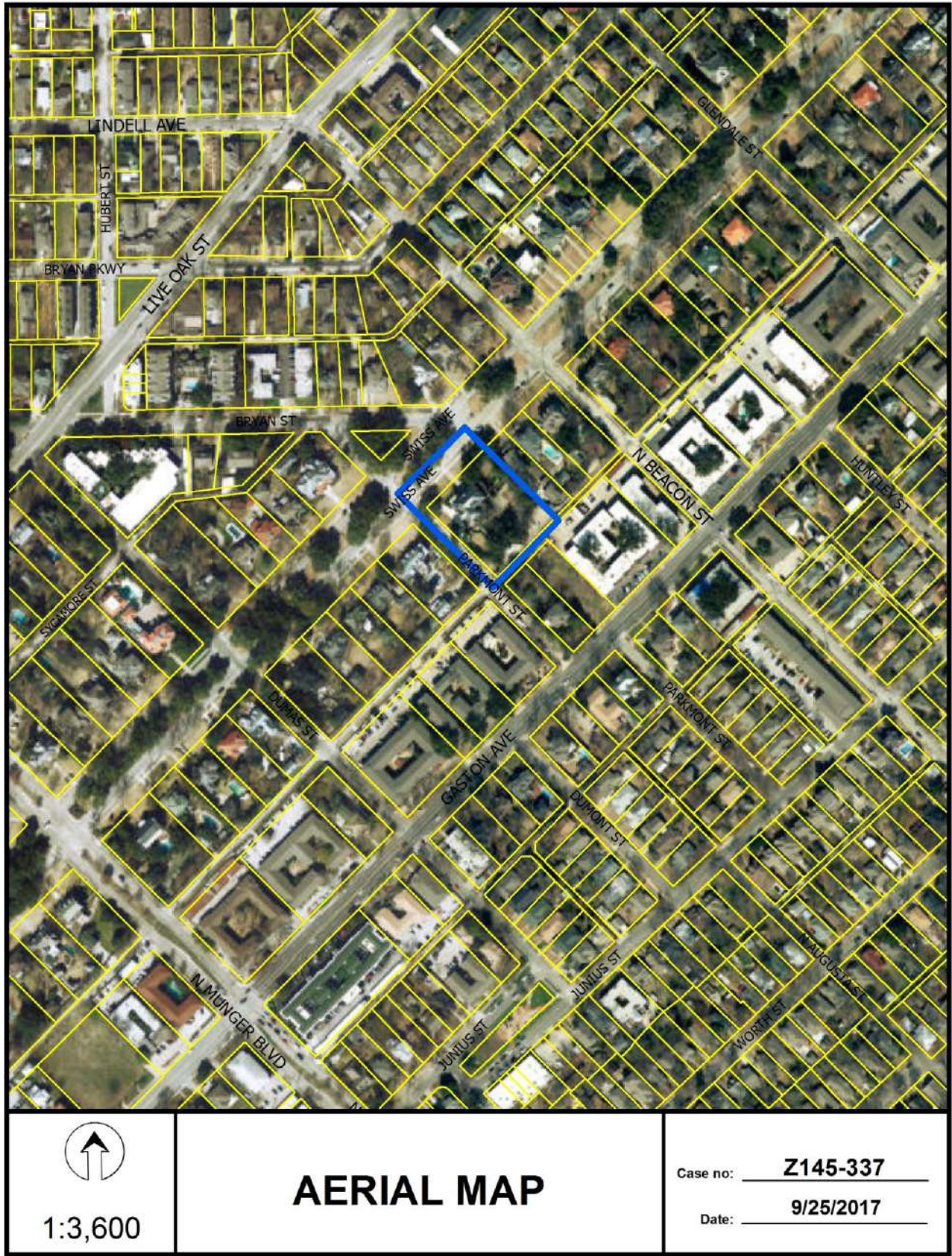
PARKING:

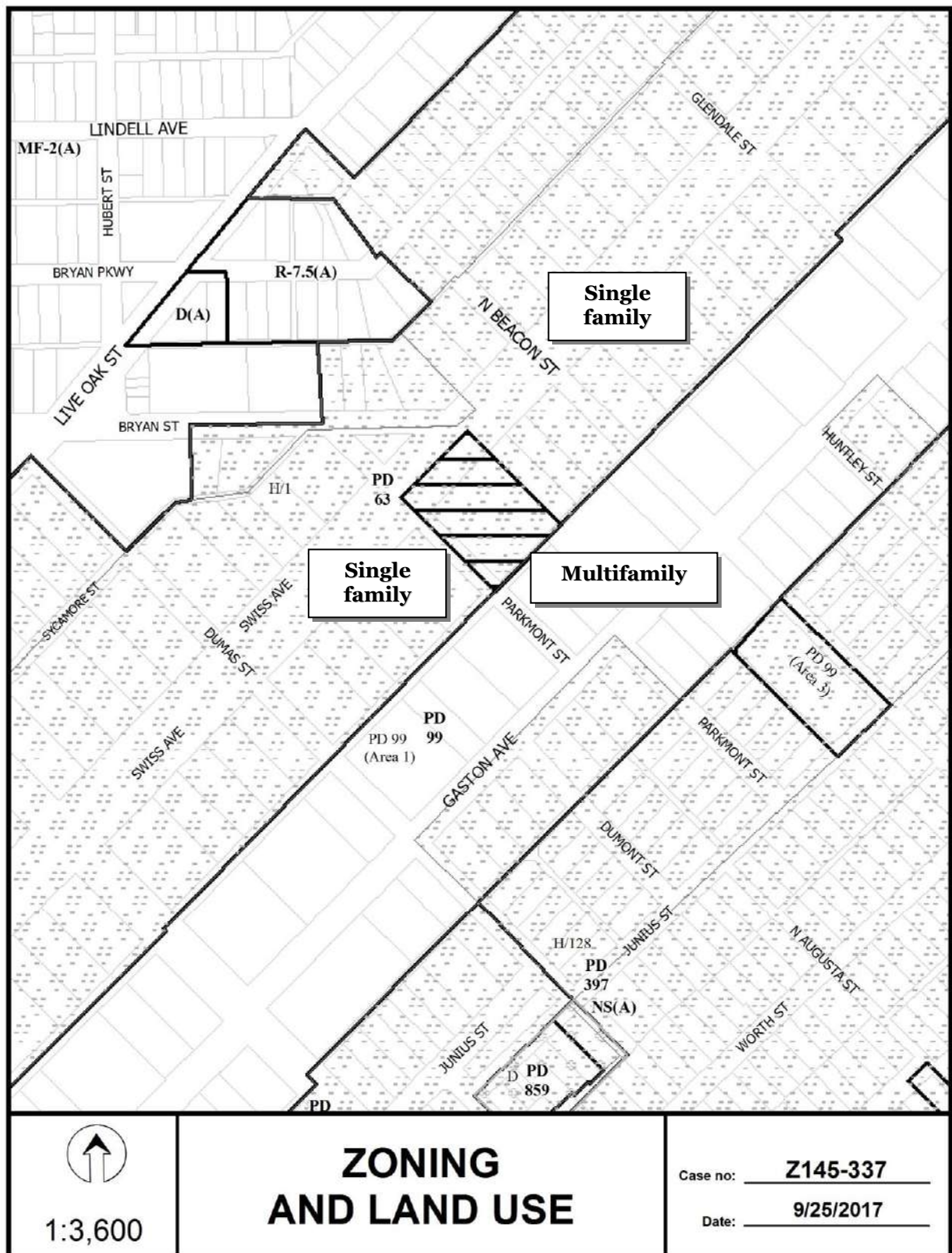
CARETAKER'S PARKING:
2 GARAGE P/S
ALDREDGE HOUSE PARKING:
ON-SITE PARKING:
15 STANDARD P/S
4 TANDEM P/S
OFF-SITE PARKING:
36 STANDARD P/S
LOCATED AT 5436 GASTON

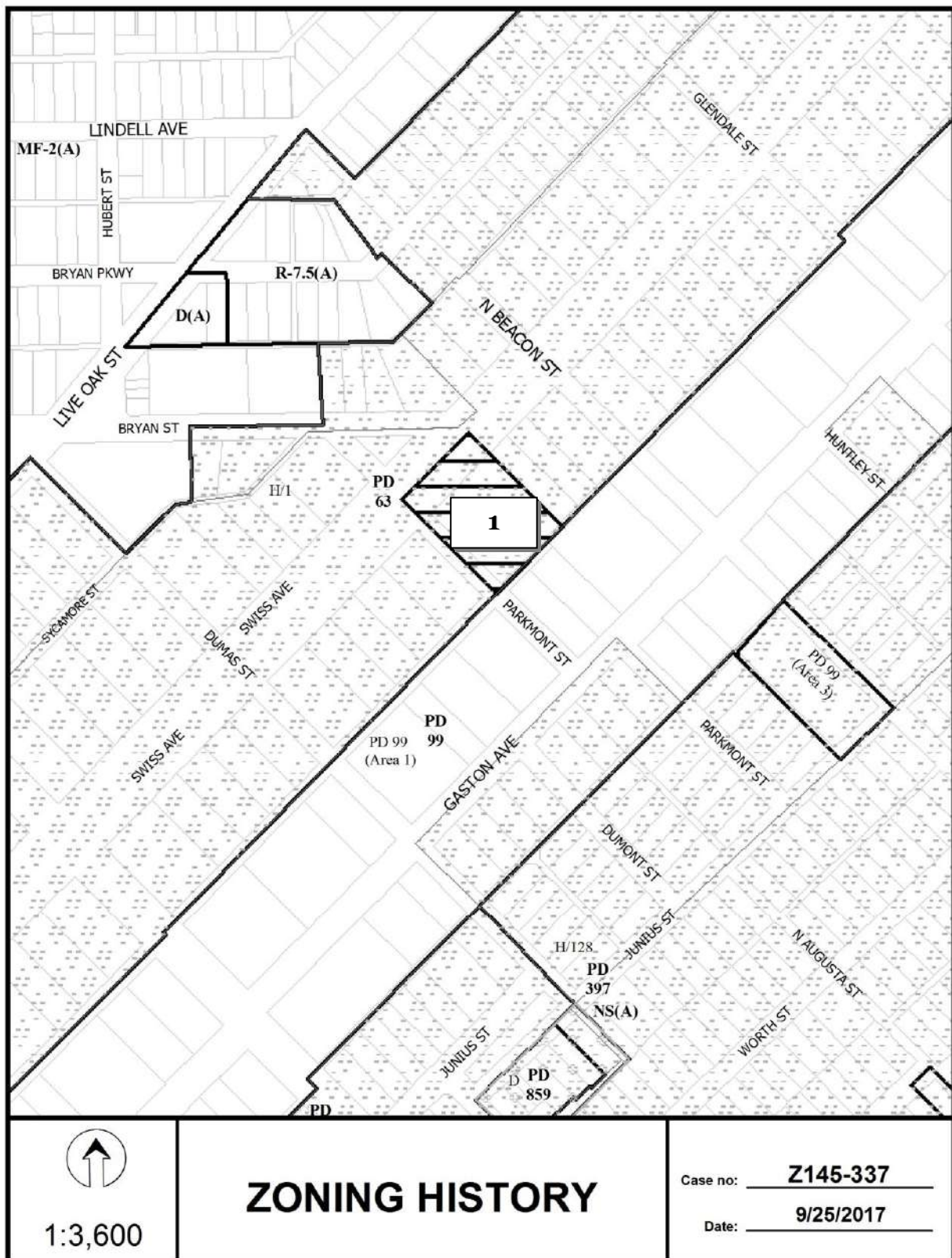
TOTAL PARKING REQUIRED: 56
TOTAL PARKING PROVIDED: 57

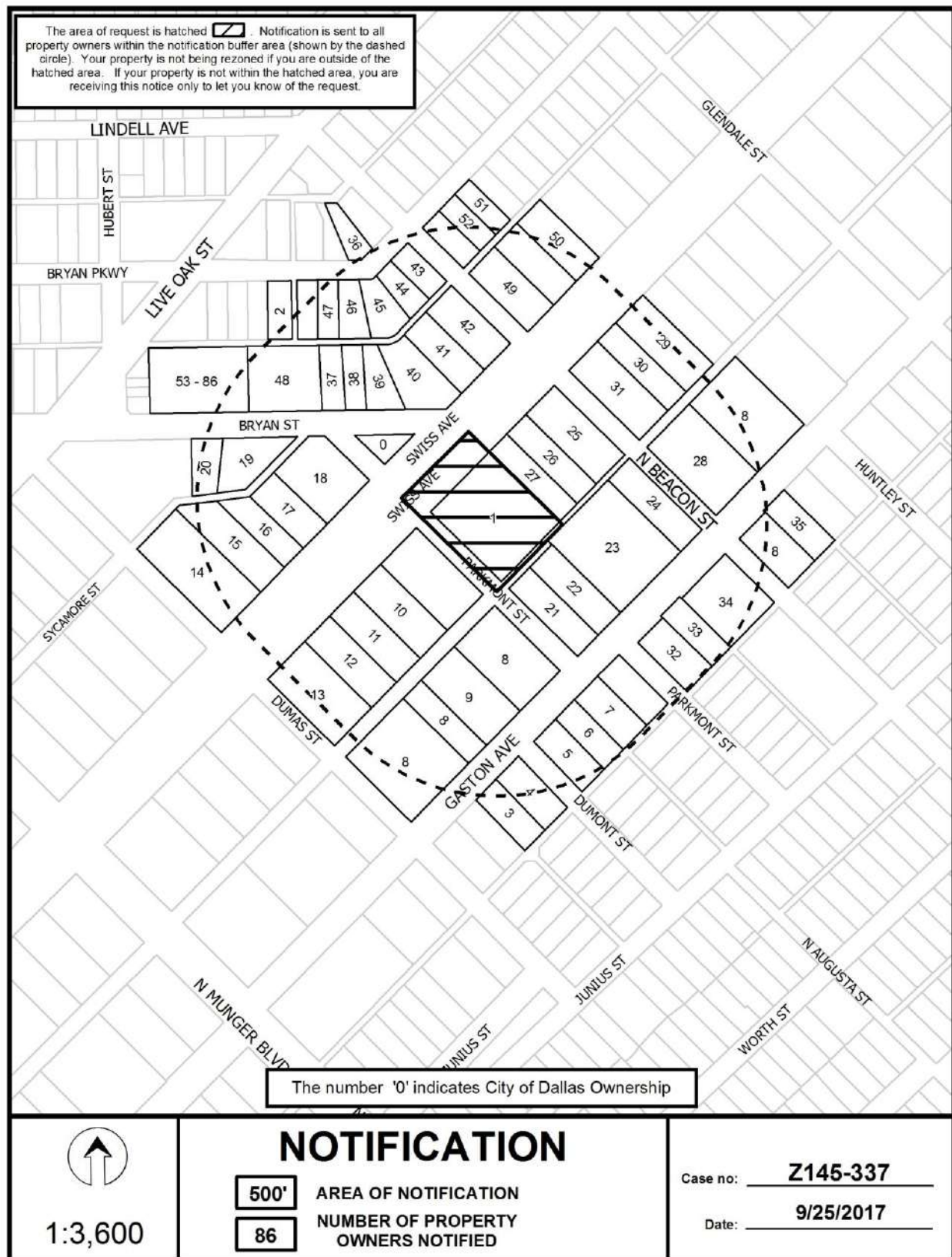
CASE NUMBER: Z145-377 (MD/RB)











09/25/2017

Notification List of Property Owners

Z145-337

86 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	5500 SWISS AVE	DALLAS CO MEDICAL SOC
2	5924 BRYAN PKWY	HOGUE THOMAS II
3	5416 GASTON AVE	OSGOOD JENNIFER
4	5422 GASTON AVE	SIEGEL ROBYN S &
5	5430 GASTON AVE	PUTNAM STEPHEN K
6	5436 GASTON AVE	DLS CO MED SOC WOMENS AUX
7	5444 GASTON AVE	GASTON COMMONS LLC
8	5405 GASTON AVE	ROLLING CASH UPPER E LP
9	5425 GASTON AVE	SC GASTON LLC
10	5416 SWISS AVE	ROSE ROBERT N JR
11	5412 SWISS AVE	RAMIREZ RENE M
12	5408 SWISS AVE	HAMPTON JOHN G & JOANNA L
13	5400 SWISS AVE	POWER CRAIG P
14	5405 SWISS AVE	MCCOLL CASSANDRA A & ARCHIBALD C III
15	5411 SWISS AVE	COSTELLO JAMES R &
16	5417 SWISS AVE	HURST JAMES & CAREY
17	5421 SWISS AVE	FINLEY JAMES NEAL & LOUISE MCCLINTOCK
18	5439 SWISS AVE	MCDANIEL LLOYD H &
19	5420 BRYAN ST	VAUGHAN ROBERT B
20	5418 BRYAN ST	BURGER NEIL R
21	5505 GASTON AVE	STANLEY MABLE C
22	5507 GASTON AVE	GATOR REO LLC
23	5515 GASTON AVE	SC MARQUEE LLC
24	907 N BEACON ST	JSH 907 BEACON LLC
25	5520 SWISS AVE	MILLER JANICE SUE
26	5518 SWISS AVE	ROGERS ROBERT H & DONNA

09/25/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	5514 SWISS AVE	MCCUNE MICHAEL J &
28	5601 GASTON AVE	POWER 5601 GASTON LLC
29	5614 SWISS AVE	EARLY CHRISTIAN W
30	5610 SWISS AVE	SCHUTZE ROBERT E
31	5602 SWISS AVE	PINSON DAVID & NANCY
32	5500 GASTON AVE	HISTORIC RESIDENCES OF EAST DALLAS LLC
33	5516 GASTON AVE	BAILEY DAVID J & CYNTHIA J
34	5520 GASTON AVE	ALTMAN SAM
35	5606 GASTON AVE	JAMES MICHAEL R ETAL
36	5943 BRYAN PKWY	GREINER JUSTIN DAVID &
37	5501 BRYAN ST	WEINBERGER RISA
38	5503 BRYAN ST	MOBLEY THERESA & ORAN
39	5507 BRYAN ST	DUNKERLEY JAMES F &
40	5521 SWISS AVE	HAMILTON CHRISTOPHER SCOTT & ANNE LANGDON
41	5527 SWISS AVE	NOLAN MICHAEL J & ANNE R
42	5533 SWISS AVE	MCCAVID TODD A & LAURA W
43	5948 BRYAN PKWY	SCHAUB ROBYN & ADAM C
44	5944 BRYAN PKWY	MEYER MICHELLE &
45	5940 BRYAN PKWY	ALVES ANTONIO &
46	5936 BRYAN PKWY	5936 BRYAN PKWY LLC
47	5930 BRYAN PKWY	MCCOLLUM ROBERT H
48	5421 BRYAN ST	HETRICK DENNIS W &
49	5603 SWISS AVE	WATTERS DANIEL & ALEXANDRIA M
50	5617 SWISS AVE	BAUS JERRY E & MICHELLE A
51	6008 BRYAN PKWY	SAWYER JOHN S IV
52	6004 BRYAN PKWY	CARROLL ROGER LEE
53	5407 BRYAN ST	MILLER SHERYL
54	5407 BRYAN ST	ROWLAND CASSANDRA K &
55	5407 BRYAN ST	YOUNGER SUZAN L
56	5407 BRYAN ST	RICE SABRIYA
57	5407 BRYAN ST	PATTERSON EARL T & BETTY J

09/25/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	5407 BRYAN ST	SMID SUSAN M
59	5407 BRYAN ST	MCPAHAN STEVEN ALLEN
60	5407 BRYAN ST	LONG LAURA KAREN
61	5407 BRYAN ST	HOCKENBERRY STEVEN S
62	5407 BRYAN ST	HALL LAUREN ELIZABETH
63	5407 BRYAN ST	BURDUROGLU ISMAIL
64	5407 BRYAN ST	BATTIATO SHERLIE
65	5407 BRYAN ST	DIETZEL ASHLEY E
66	5407 BRYAN ST	SCHULTZ CHRISTOPHER &
67	5407 BRYAN ST	WALLACE MARY E
68	5407 BRYAN ST	MULCH BRITTANY MEGAN
69	5407 BRYAN ST	PENNINGTON STEPHEN KEITH
70	5407 BRYAN ST	ECHOLS WILLIAM
71	5407 BRYAN ST	LE JENNIFER S
72	5407 BRYAN ST	GOUGH DONNA L TRUST
73	5407 BRYAN ST	HOOKE JACK HULEN
74	5407 BRYAN ST	FERNANDES CYRIL J
75	5407 BRYAN ST	STIEHL KRISTIN A
76	5407 BRYAN ST	MINICK MATTHEW E
77	5407 BRYAN ST	MARCAU DE GANDOLFO ANA MARIA
78	5407 BRYAN ST	ZELENIK ANN MARIE TRUST THE
79	5407 BRYAN ST	BIERSCHENK STEPHEN W
80	5407 BRYAN ST	FAVELA RICARDO
81	5407 BRYAN ST	HANSEN CARLY M
82	5407 BRYAN ST	BOVEE TRAVIS N
83	5407 BRYAN ST	MORELLO GINA
84	5407 BRYAN ST	BRAGAW RANDALL P & ROXANNE R
85	5407 BRYAN ST	NORDYKE SHEILA A
86	5407 BRYAN ST	DEORE WENDY

FILE NUMBER: Z167-259(WE)

DATE FILED: March 29, 2017

LOCATION: West and north side of Forestgate Drive, north of Forest Lane

COUNCIL DISTRICT: 10

MAPSCO: 18-W

SIZE OF REQUEST: Approx. 5.58 acres

CENSUS TRACT: 190.19

APPLICANT/OWNER: Harmony Public Schools

REPRESENTATIVE: Karl Crawley, Masterplan

REQUEST: An application for the renewal of Specific Use Permit No. 1548 for an open-enrollment charter school on property zoned an IR Industrial Research District.

SUMMARY: The applicant is requesting to renew the existing SUP for an open-enrollment charter school. The applicant missed the time period required to apply for automatic renewal.

STAFF RECOMMENDATION: Approval for a five-year period with eligibility for automatic renewals for additional five-year periods, subject to a revised site plan, revised traffic management plans, and conditions.

PREVIOUS ACTION: On November 16, 2017, the City Plan Commission held this case under advisement until November 30, 2017, in order to allow the representative to revise the site plan and the circulation shown on the proposed traffic management plans.

BACKGROUND INFORMATION:

- The request site is currently developed with an open enrollment charter school and office showroom warehouse.
- SUP No. 1548 was established on May 12, 2004, for a maximum of 17 classrooms. On April 26, 2006, this SUP was approved to allow a maximum of 36 classrooms. In January 2007, an amendment to SUP No. 1548 was approved to increase the maximum number of classrooms to 40, increase the site area by an additional three acres, and include a gymnasium.
- In April 2012, the City Council approved an amendment to Specific Use Permit No. 1548 to increase the number of classrooms by seven, to a total of 47 classrooms.
- The applicant did not submit an application for renewal within the time period specified in the conditions and as a result had to submit an application for renewal of SUP No. 1548.
- The applicant's request for a renewal of Specific Use Permit No. 1548 will permit the continued operation of the charter school. A revised site plan has been submitted to reflect the existing playground area as well as a new orientation of the parking area in front of the high school, which is located north of the elementary/middle school. There are no other changes that are being considered for Specific Use Permit No. 1548, except for the reduction in the number of classrooms from 47 to 40, and time limit of the Specific Use Permit.
- The surrounding land uses consist of single family to the west, multifamily to the north, and office showroom warehouse uses to the east and south.

Zoning History: There has been one recent zoning change requested within the area within the past five years.

1. Z167-128 On February 22, 2017, the City Council approved Specific Use Permit No. 2230 for a utility or government installation other than listed to allow an elevated water storage tank use.

Thoroughfares/Streets:

Thoroughfares/Street	Type	Existing ROW
Forest Lane	Principle Arterial	107 ft.

Land Use:

	Zoning	Land Use
Site	IR with SU P No. 1548	Charter school
North	MF-2(A)	Multifamily
South	IR	Office showroom warehouse
East	IR	Office showroom warehouse
West	R-7.5(A)	Single family

STAFF ANALYSIS:**Comprehensive Plan:**

The requested zoning change is compatible with the intent of the Comprehensive Plan because it complies with the following goals and policies:

Land Use Element**GOAL 1.1** Align Land Use Strategies with Economic Development Priorities

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods' unique characteristics.

Economic Element**GOAL 2.5** Foster A City of Great Neighborhoods

Policy 2.5.1 Promote strong and distinctive neighborhoods to enhance Dallas' quality of life.

Land Use Compatibility:

Specific Use Permit No. 1548 is for an open enrollment charter school. The approximately 5.5-acre request site is zoned an IR Industrial Research District and is located within an office park. The renewal of SUP No. 1548 will allow for the continued operation of the existing charter school. There are no additional changes that are being considered for SUP No. 1548 except for a revised traffic management plan (TMP) and a revised site plan which depicts the existing playground area, as well as the orientation of the parking area in front of the high school, which is located north of the elementary/middle school.

The surrounding land uses are single family to the west, multifamily to the north, and office showroom warehouse uses to the east and south.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the city.

The applicant has submitted a TMP report with this application which the Engineering Division has reviewed and supports.

Parking/Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not significantly impact the surrounding street system for the proposed development. The Traffic Management Plan has also been reviewed and is recommended for approval.

The Traffic Management Plan will incorporate two Exhibits: Exhibit -2 and Exhibit -3. Exhibit -2 depicts the circulation and length of queueing lanes for the elementary /middle school while Exhibit-3 depicts the circulation and length of queueing lanes for the high school.

Landscaping:

Landscaping is required in accordance with Article X of the Dallas Development Code, as amended. However, the applicant's request will not trigger any Article X requirements, as no new construction is proposed on the site.

List of Partners/Principals/Officers

COSMOS FOUNDATION, INC.

Board of Directors

Oner Ulvi Celpcikay
Mustafa Ata Atik
Cengizhan Keskin
Bilal Akin
Ellen A. MacDonald

Officers

Oner Ulvi Celpcikay, President
Mustafa Ata Atik, Secretary
Cengizhan Keskin, Treasurer
Bilal Akin, Vice President
Ellen A. MacDonald, Vice President
Fatih Ay, Cluster Superintendent Dallas-Waco

SUP CONDITIONS

1. USE: The only use authorized by this specific use permit is an open-enrollment charter school.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on (five years from the passage of this Ordinance) ~~[April 10, 2017]~~, but is eligible for automatic renewals for additional five-year periods pursuant to Section 51A-4.219 of Chapter 51A of the Dallas City Code, as amended. For automatic renewal to occur, the Property owner must file a complete application for automatic renewal with the director before the expiration of the current period. Failure to timely file a complete application will render this specific use permit ineligible for automatic renewal. (Note: the Code currently provides that applications for automatic renewal must be filed after the 10th but before the 120th day before the expiration of the current specific use permit period. The Property owner is responsible for checking the Code for possible revisions to this provision. The deadline for applications for automatic renewal is strictly enforced.)
4. INGRESS-EGRESS: Ingress and egress must be provided in the locations shown on the attached site plan. No other ingress and egress is permitted.
5. CLASSROOMS: The maximum number of classrooms is 4~~[7]~~0, limited to no more than 1~~[8]~~9 kindergarten and elementary classrooms, 1~~[5]~~1 junior high/middle school classrooms, and 1~~[4]~~0 high school classrooms.
6. HOURS OF OPERATION: The open-enrollment charter school may only operate between 8:00 a.m. and 4:00 p.m., Monday through Friday, and between 8:00 a.m. and 12:00 noon on Saturday.
7. STUDENT LOADING AND UNLOADING:
 - A. A designated area for student loading and unloading must be identified with pavement markings and signage in the location shown on the attached traffic management ~~[site]~~ plan.
 - B. School personnel must be provided at student loading and unloading areas, as shown on the attached traffic management plan, between the hours of 7:30 a.m. to 8:15 a.m., 2:50 p.m. to 3:15 p.m., and 3:45 p.m. to 4:00 p.m., Monday through Friday to facilitate traffic circulation and student loading and unloading.
 - C. Pavement markings showing the direction of traffic must be provided as shown on the attached traffic management ~~[site]~~ plan.
 - D. Student loading and unloading is prohibited on Forestgate Drive.

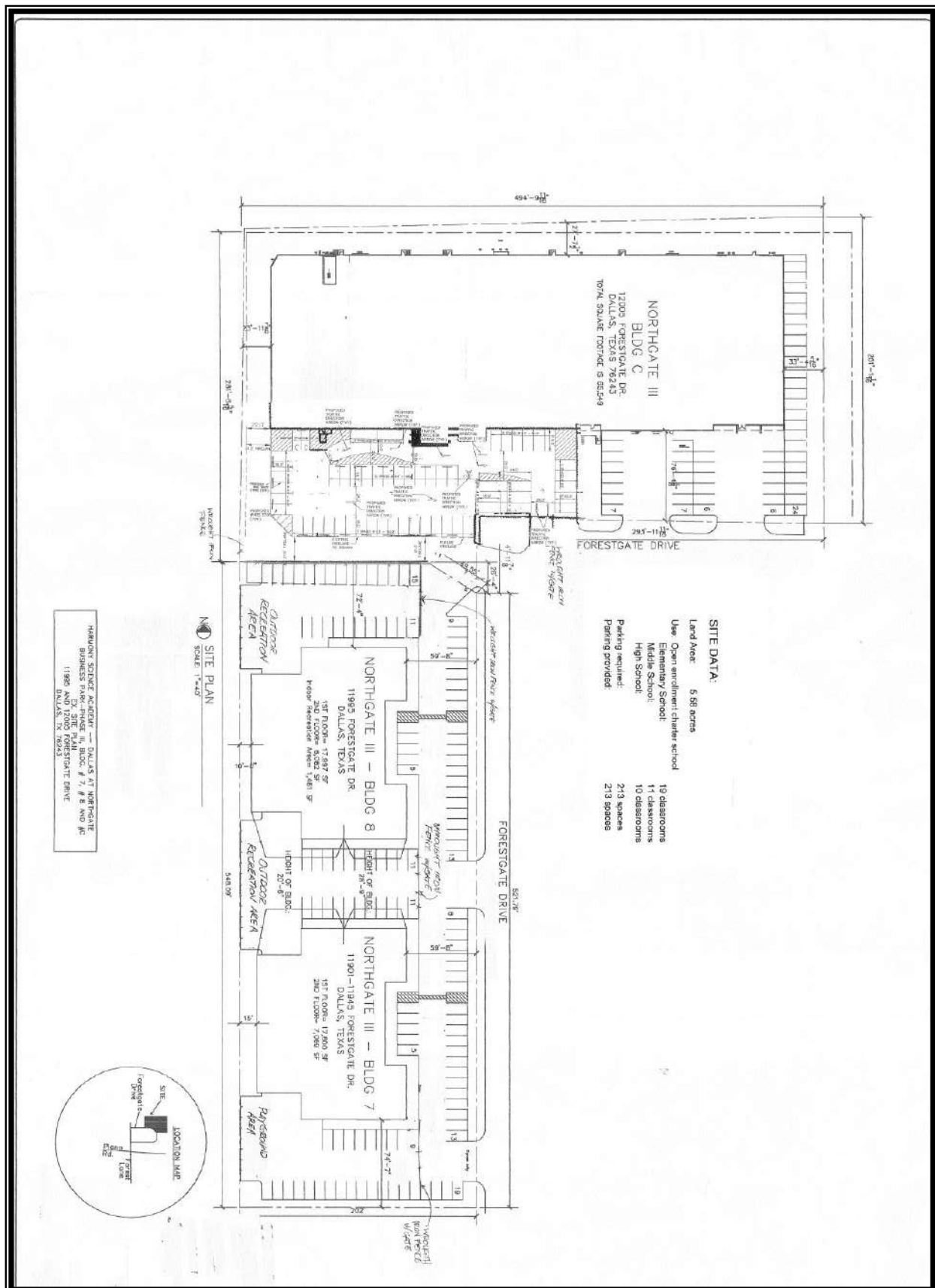
8. TRAFFIC MANAGEMENT PLAN:

- A. Prior to the issuance of a certificate of occupancy for Building C, the Property owner must comply with the provisions outlined in the attached traffic management plan.
- B. Thirty days prior to each new school year, the Property owner must provide the director of public works and transportation with an update to the traffic management plan. Any changes required by the director after review of the revised plan must be implemented within 15 days after the date of the director's request.

9. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.

10. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules and regulations of the City of Dallas."

PROPOSED SITE PLAN

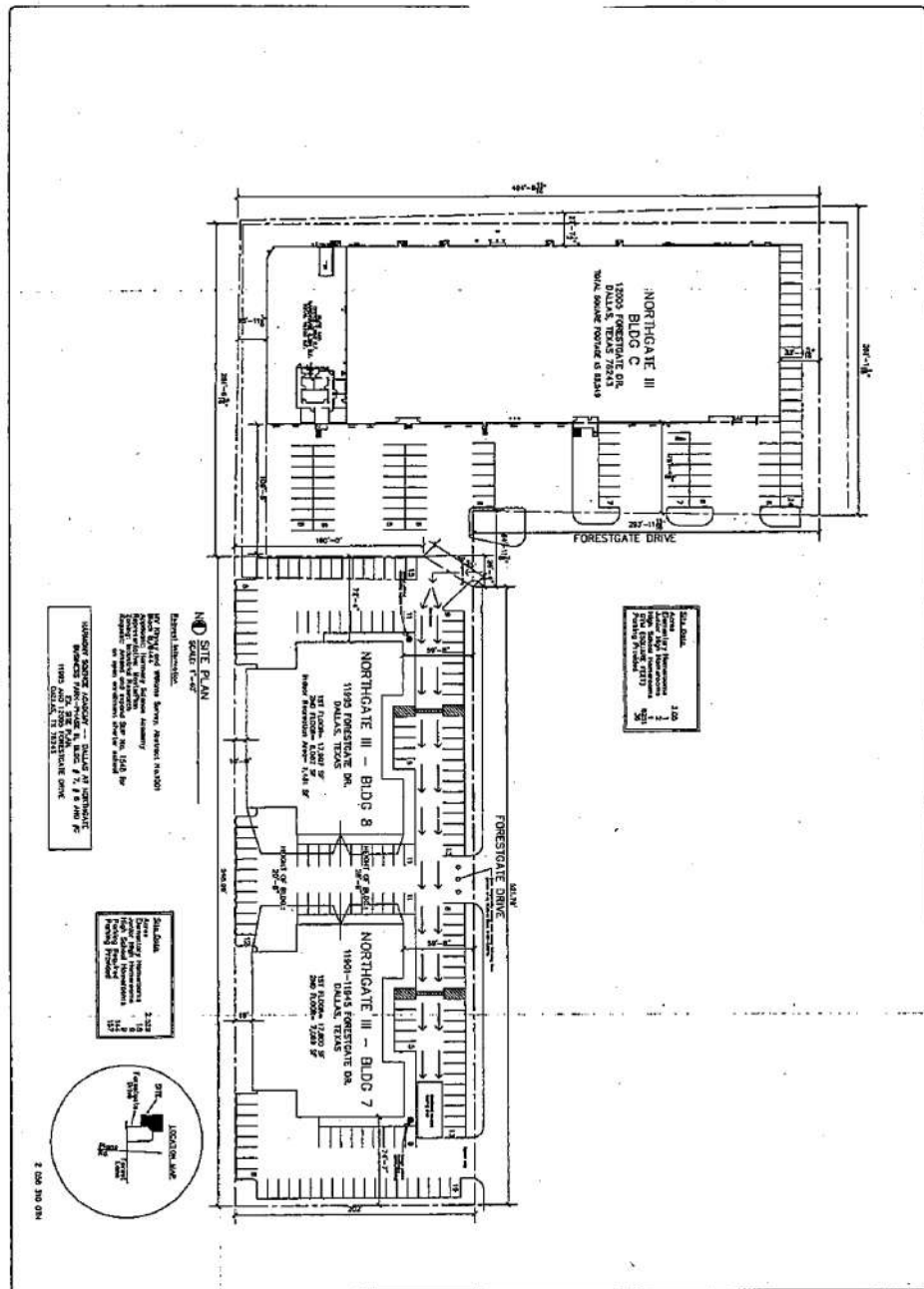


EXISTING SITE PLAN WITH CIRCULATION PLAN

Site Plan

26541

070177



Specific Use Permit
No. 1548

Approved
City Plan Commission
November 2, 2006

February 16, 2017

PK# 3126-17.003

TRAFFIC MANAGEMENT PLAN

Project:

Harmony Science Academy

In Dallas, Texas

Prepared for:

City of Dallas

On behalf of:

Harmony Science Academy



Steve E. Stoner

2/16/17

Prepared by:



7557 Rambler Road, Suite 1400
Dallas, Texas 75231-2388
(972) 235-3031 www.pkce.com
TX. REG. ENGINEERING FIRM F-14439
TX. REG. SURVEYING FIRM LS-10193805-00

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INTRODUCTION

The services of **Pacheco Koch** (PK) were retained by on behalf of **Harmony Schools**, to prepare a Traffic Management Plan (TMP) for the Harmony Science Academy located at 11995 Forestgate Drive in Dallas, Texas. This TMP is site-specific and relates to the peak traffic activity associated with school traffic at the site.

Harmony Science Academy (the “School”) is seeking to renew its Specific Use Permit (SUP) from the City of Dallas (the “Approving Agency”). Submittal of a TMP, prepared by a registered professional engineer experienced and skilled in the field of traffic/transportation engineering, is one of the requirements of City’s review process. This TMP was prepared by registered professional engineers employed by Pacheco Koch. Pacheco Koch is a licensed engineering firm based in Dallas, Texas, that provides professional services in traffic engineering, transportation planning, and other fields.

Project Description

The site currently consists of a K-12 public charter school. The school consists of three, adjacent buildings—one each for the elementary, middle, and high schools. Access to the campus is via Forestgate Drive, a local street, which forms a loop that intersects with Forest Lane, a thoroughfare. In this section (between Plan Road and Skillman Street), Forest is an eight-lane, median-divided cross-section. The intersections of Forest and Forestgate are STOP-controlled. Nearby traffic signals are located on Forest Lane at the intersections with Plano Road (east of Forestgate) and Skillman Street (west of Forestgate).

The campus is located within a business park and is surrounded by small offices and other businesses. Multifamily is located north of the site and single family is located west of the site. An existing site plan, prepared by Heights Venture Architects, is provided at the end of this report.

Current enrollment is summarized below in Table 1. The School is not seeking to increase enrollment through the pending SUP renewal.

Table 1. Current Enrollment

LEVEL	STUDENTS ENROLLED
Kindergarten	43
1st Grade	51
2nd Grade	68
3rd Grade	76
4th Grade	81
5th Grade	74
<i>Elementary School Subtotal</i>	<i>393</i>
6th Grade	138
7th Grade	136
8th Grade	135
<i>Middle School Subtotal</i>	<i>409</i>
9th Grade	125
10th Grade	116
11th Grade	101
12th Grade	83
<i>High School Subtotal</i>	<i>425</i>
TOTAL	1,227

Currently, each school start at 7:45 AM on school days. The Elementary School ends at 2:45 PM; the Middle and High Schools end at 3:25 PM.

TMP Objectives

A Traffic Management Plan (TMP) is a site- or area-specific plan of recommended actions and strategies to manage vehicular traffic and parking, pedestrian activity, and travel by all other modes during peak demand conditions for a planned event. The “Objectives” of a TMP are to:

1. Provide a safe environment for all Users on site and the travelling public in the vicinity of the site during the Event times;
2. Minimize (and maintain within reasonable levels) travel delays and traffic congestion on site and in the vicinity of the site during the Event;
3. Ensure reasonable access and circulation is maintained on the public street system in the vicinity of the site during the Event;
4. Provide appropriate information to the travelling public in the vicinity of the site to allow for proper awareness of anticipated traffic conditions during the Event; and,
5. Promote reasonable strategies to manage travel demand to and from the site, including use of alternative modes of travel (such as walk, bike, bus, transit, etc.), when practical.

DEFINITIONS:

Terms are used in this report:

“Event” – a planned event(s), recurring or non-recurring, for which this TMP is being prepared (i.e., “school day”)

“School” (a.k.a., “Event Organizer”) – the person, group, or organization responsible for the Event

“TMP Manager” – a person or persons designated by the School to implement the TMP (also see additional tasks in the *Expectations* section)

“Users” – guests/patrons attending the Event

“Analyst” – the person(s) preparing the TMP for the School

“Approving Agency” – the municipality or government agency requiring the Traffic Management Plan

“Traffic Department” – the department of the public agency responsible for traffic operations for a given right-of-way

“Site” – the property at which the Event is located (generally assumed to be occupied by the School)

“TMP Strategies” – actions recommended by the Analyst to be undertaken before, during, or after the Event in order to manage traffic on or off site

DISCLAIMERS:

A TMP should be developed by, or in concert with, an individual familiar with the general characteristics of the Event and the associated traffic/transportation needs. For this study, PK worked with School representatives to develop the proposed recommendations.

Recommended TMP Strategies should be based upon applicable engineering principles of traffic safety and traffic operations.

Any recommended TMP Strategies involving traffic control devices in the public right-of-way (including installation or removal of signs, pavement markings, etc.) are subject to the approval of, and must be implemented under direction of, the Traffic Department.

No private individual should perform, or attempt to perform, any act of traffic control within public right-of-way; only deputized officers of the law or other authorized representatives of the Traffic Department may manipulate traffic conditions within the public right-of-way.

Pacheco Koch was not involved with site selection, site design, or the current operations for this project. Pacheco Koch is not responsible for the *implementation* of the recommended TMP Strategies contained in this study.

Methodology

When feasible, the Analyst should conduct first-hand observations of existing event to develop an understanding of site-specific traffic/transportation characteristics, such as: drop-off/pick-up frequency, parking needs, alternative travel mode use, safety issues, queuing, traffic congestion, site access, current traffic management strategies in use, etc. When it is not feasible to conduct such observations, interviews with staff or personnel familiar with those items is desirable. When neither option is available, the Analyst may be required to rely upon published information and/or professional judgment and experience.

Once the base information is assembled, the Analyst should estimate the projected traffic/transportation characteristics generated by the proposed Event. Next, the Analyst should inventory the attributes and resources of the subject site and determine how the site can best accommodate those projected conditions. Based upon that assessment, the recommended TMP Strategies shall be developed to optimally achieve the basic TMP Objectives. The recommended TMP Strategies should be reviewed by the School (ideally, the TMP Manager) for refinement and approval before formal submittal to the Approving Agency.

Expectations

NOTE TO SCHOOL: By submittal of a TMP to the Approving Agency, the School is implicitly agreeing to implement, maintain, and comply with the recommended actions presented herein subject to acceptance by Approving Agency and any associated conditions Approving Agency may impose. It is also inferred that the School agrees to be self-accountable for these actions until and unless Approving Agency deems further measures are appropriate or the TMP is no longer required.

Recommended TMP Strategies may include one-time measures to be implemented before the Event and/or ongoing actions to be performed before, during, or after the Event. Recommended TMP Strategies involving on-site measures or actions are generally considered to be the responsibility of the School.

To ensure appropriate compliance and consistent implementation of the TMP, it is recommended that the School appoint a TMP “Manager”. In general, a Manager should be a qualified and capable individual or group of individuals assigned to take responsibility of the TMP and be accountable for successful implementation in order to achieve the Objectives described earlier (see “*TMP Objectives*”). Other specific duties of the Manager include:

- Monitor effectiveness of TMP strategies and make prudent adjustments, as needed, to more effectively accomplish the TMP Objectives

- Maintain an awareness of readily-available alternative transportation modes serving the site and facilitate and promote their use during the Event when practical
- Serve as a liaison to the Approving Agency(-ies), when needed
- When applicable, provide training and direction to other personnel assigned to implement the TMP measures
- Provide instruction to Users on how to comply with the intent of the TMP

Recommended TMP Strategies were developed specifically for the period(s) of peak traffic demand and are depicted in the respective exhibits. For periods of less intense traffic demand, recommended TMP Strategies may be utilized, in part or in whole, as needed to realize the TMP Objectives.

Changes to TMP

Informal changes to any recommended TMP Strategies presented herein to improve efficiency or effectiveness may be implemented at the discretion of the School if those changes are prudent and do not compromise the TMP Objectives. It is recommended that changes implemented under such circumstances be documented and retained by the School for future reference or upon request. At the discretion of the Approving Agency, submittal of a formally revised TMP report/document or a validation study may be required on a predetermined or as needed basis.

TRAFFIC MANAGEMENT PLAN

NOTE: Recommended TMP Strategies contained herein are based upon the best data, site-specific information, and analytical processes readily available at the time of the study. However, specific quantities related to traffic congestion at peak periods (e.g., duration, length of queue, etc.) are estimated values. Actual quantities may vary due to unknown or unquantifiable variables and other operational factors that may occur. In the event that actual, future conditions generate undue burden on Users and/or the travelling public, modifications to the TMP should be considered. (See preceding NOTE for guidance on implementing changes to the TMP.) However, in extreme conditions, TMP actions may not be capable of mitigating all traffic conditions, and it may be incumbent on Harmony Science Academy to consider operational, institutional, or other long-term changes to address issues on a more permanent basis.

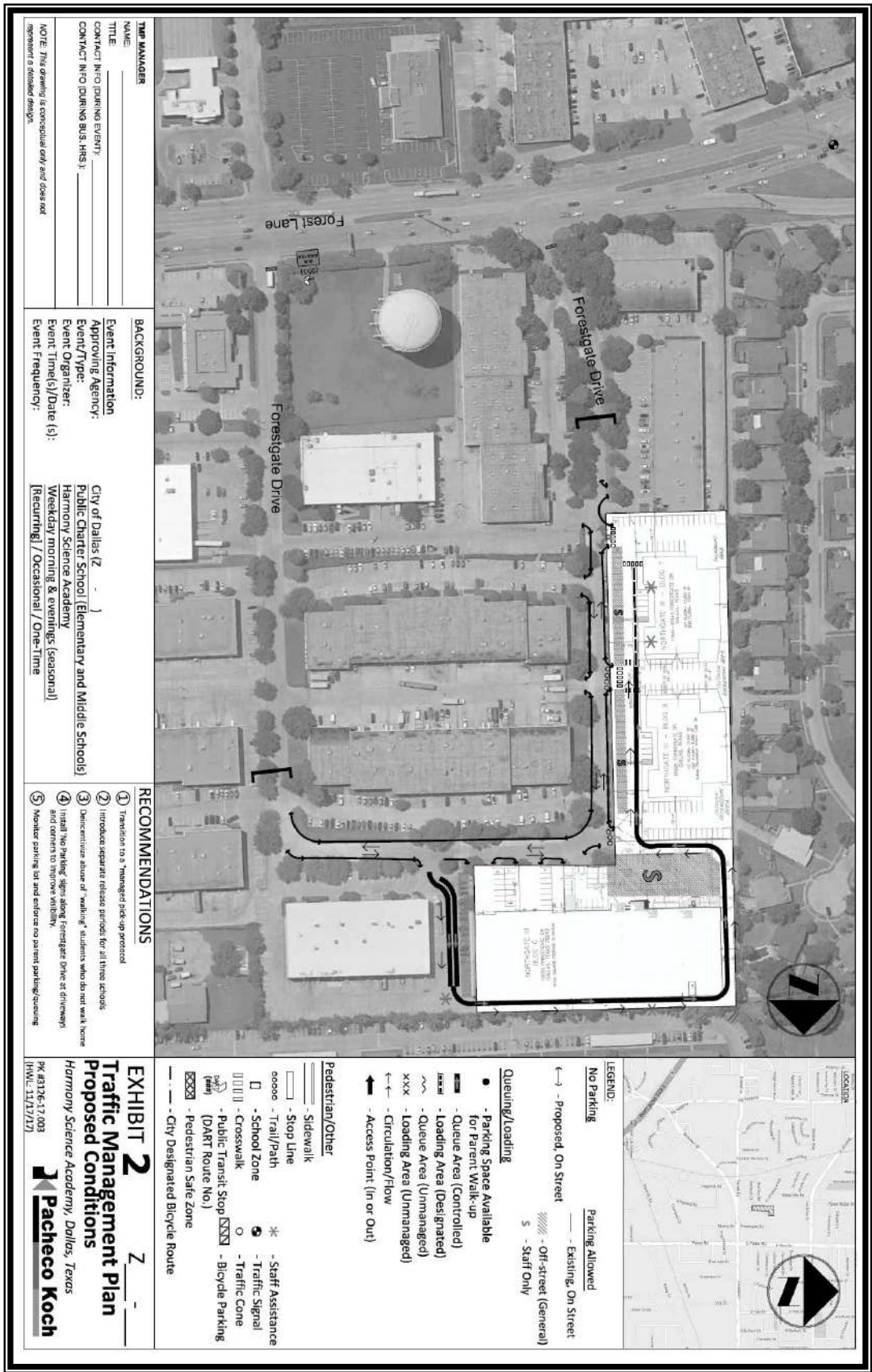
A graphical summary of existing conditions is depicted in **Exhibit 1**; graphical summaries of recommendations and proposed conditions are depicted in **Exhibits 2 and 3** for the Elementary, Middle, and High schools, respectively. All assumptions, calculations, and other quantitative data are provided in the **Appendix**.

A summary of specific recommendations are provided below:

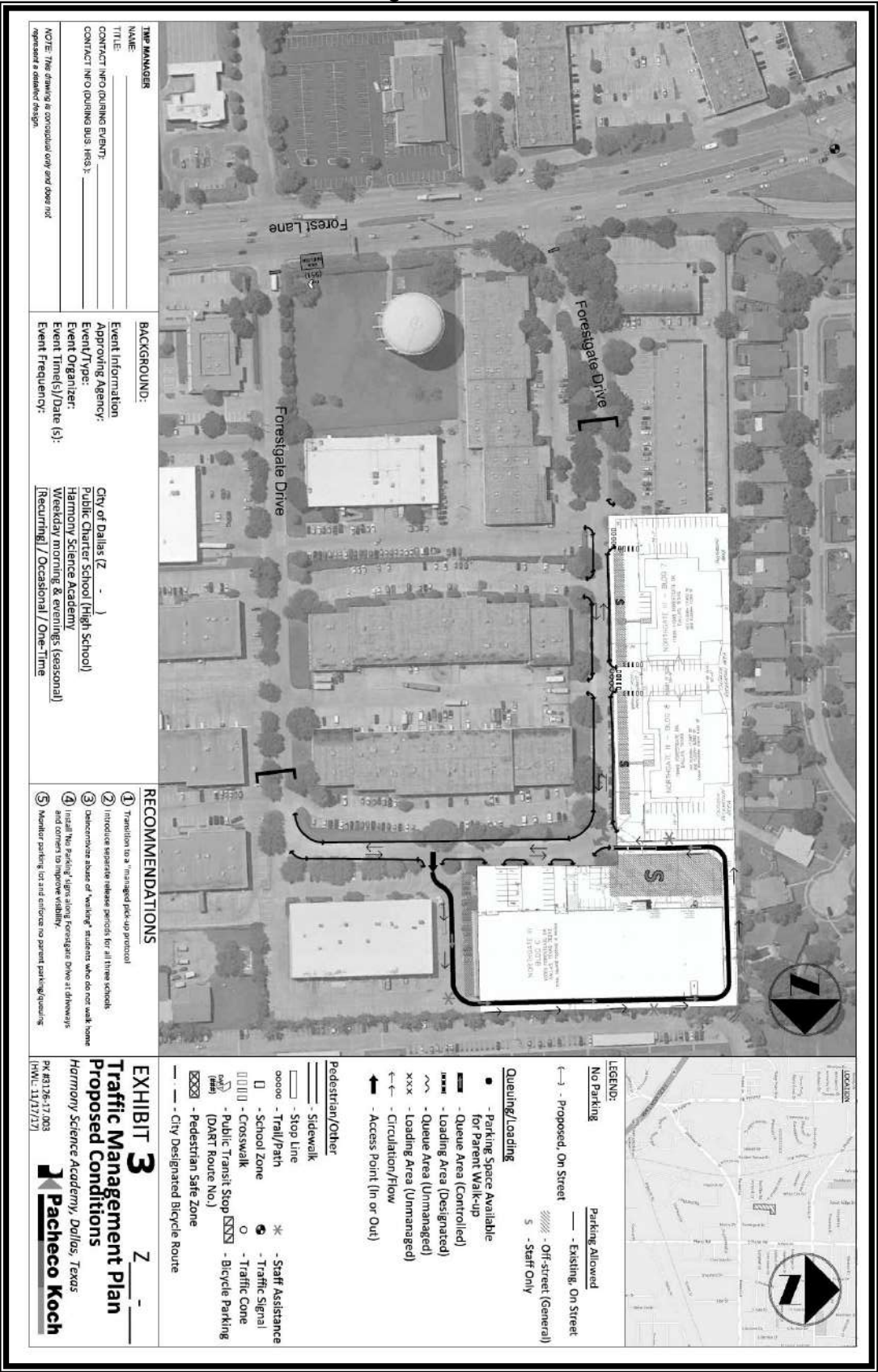
1. During the afternoon pick-up period, transition from an “unmanaged pickup protocol” to a “managed pick-up protocol” in which all parents must enter a controlled queue line and pick-up students at a designated loading area. See traffic control measures depicted in **Exhibits 2 and 3**.
2. Introduce a separate release (i.e., pick-up) time for all three schools: Elementary, Middle, and High schools. Release times should be separated by a minimum of 20 minutes with Elementary School release first and High School release last.
3. Disincentivize abuse of “walking” students who do not walk home but are actually picked up by parents off school property. Recommended methods are:
 - a. Do not release “walkers” until the last release time,
 - b. Scrutinize eligibility of students to register as “walker” such as by limiting the privilege to students with proof of residence within one mile of campus.
4. Install [Caity forces] ‘No Parking’ signs along Forestgate Drive at driveways and corners to improve visibility.

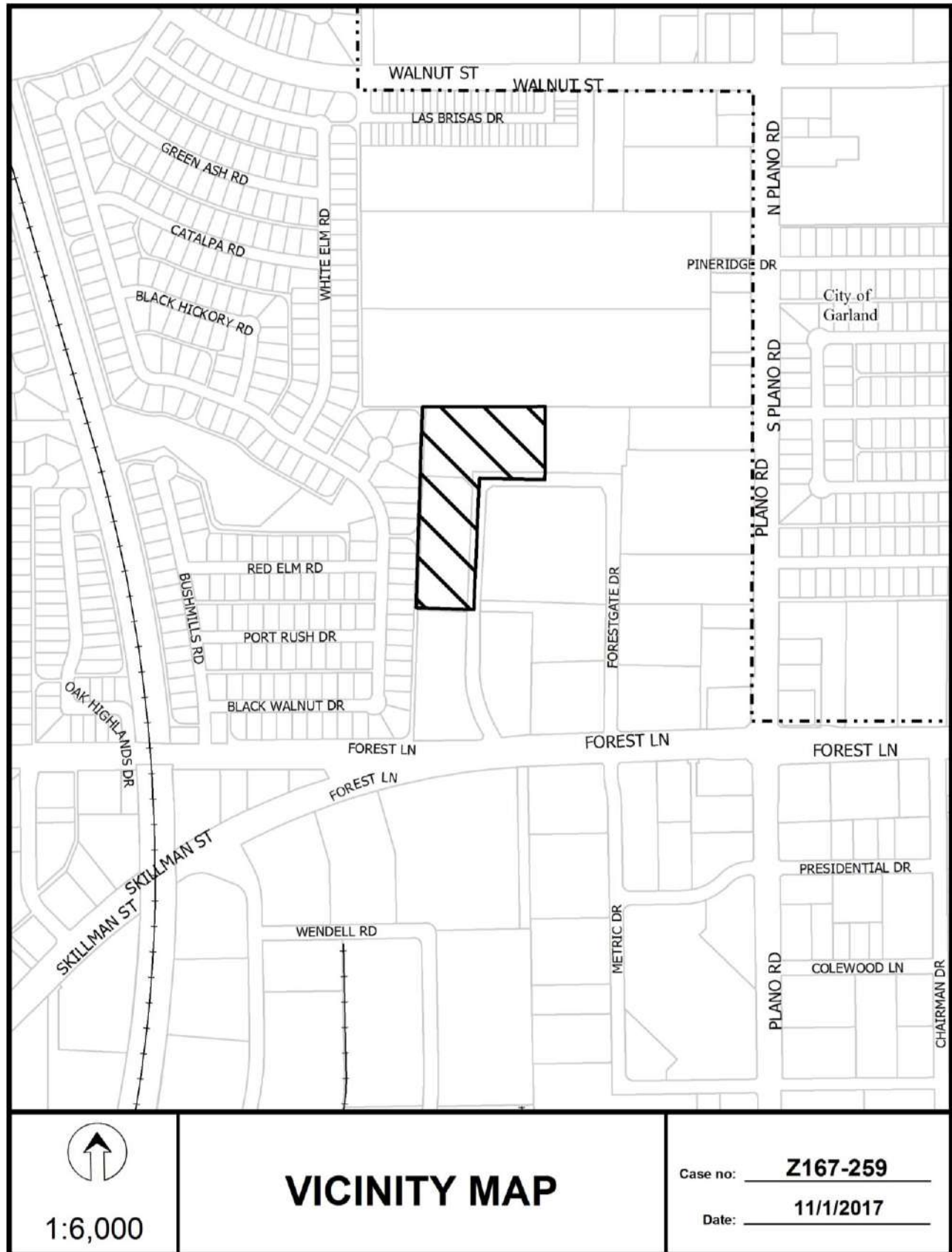
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PROPOSED TRAFFIC MANAGEMENT PLAN
Elementary /Middle School



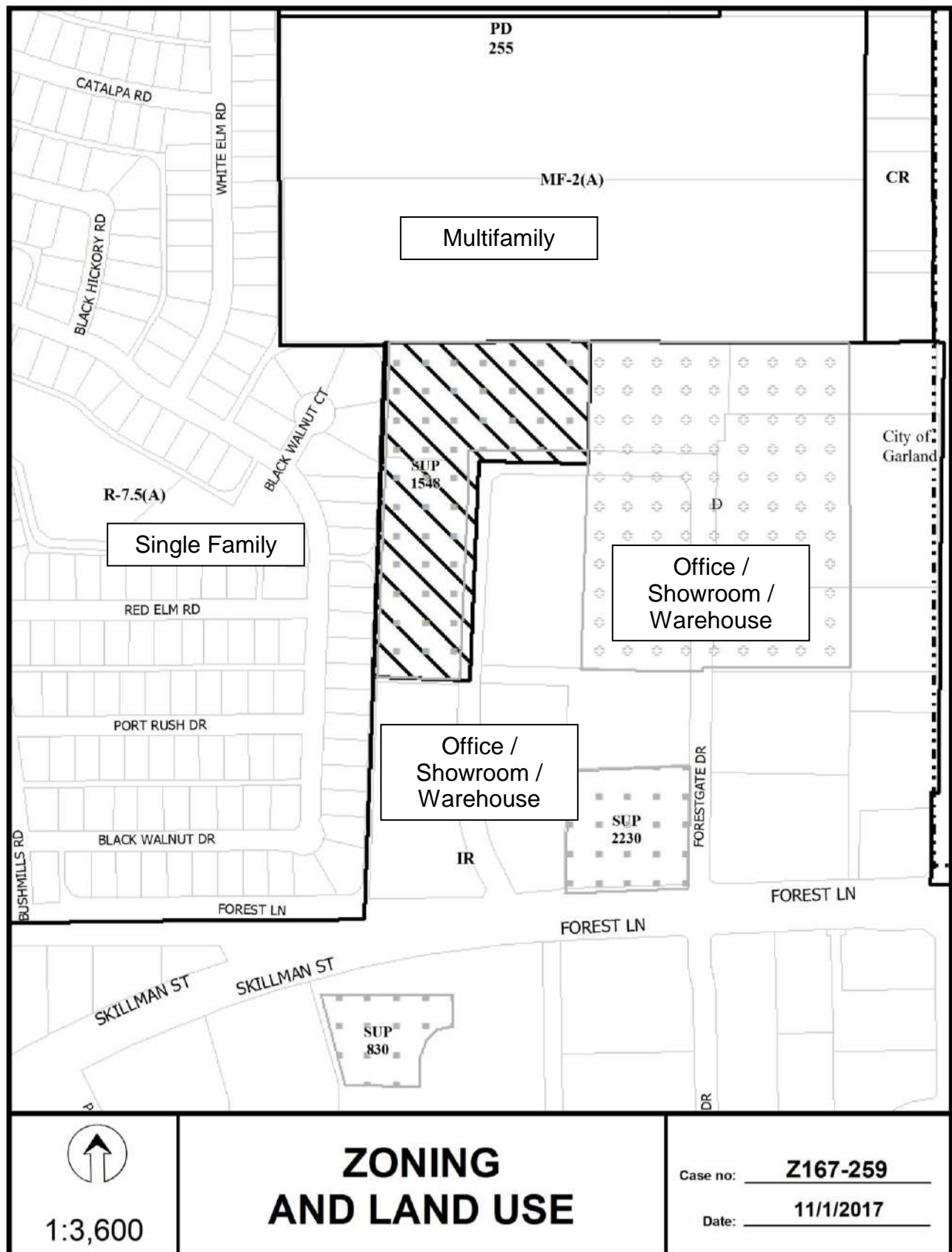
PROPOSED TRAFFIC MANAGEMENT PLAN
High School

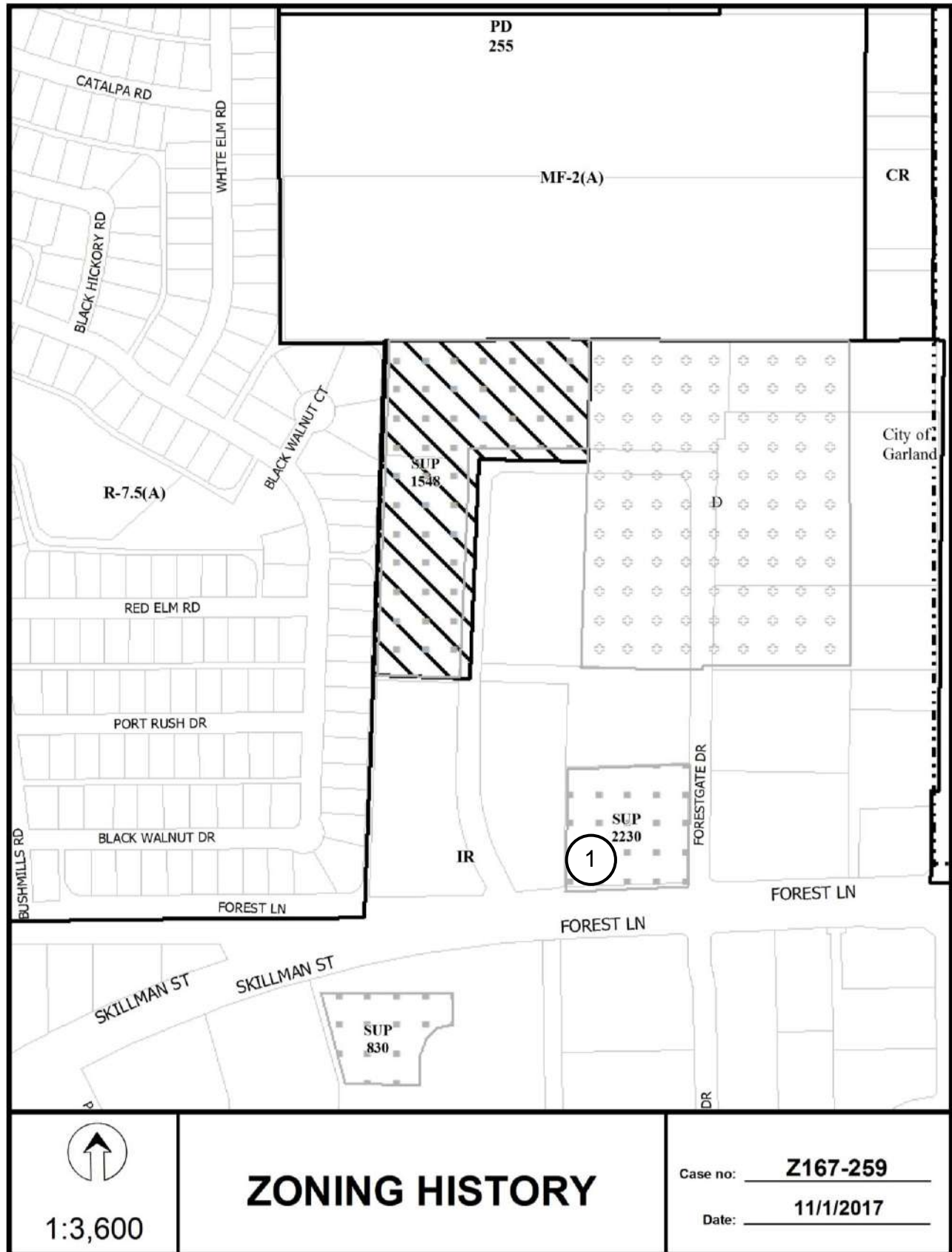


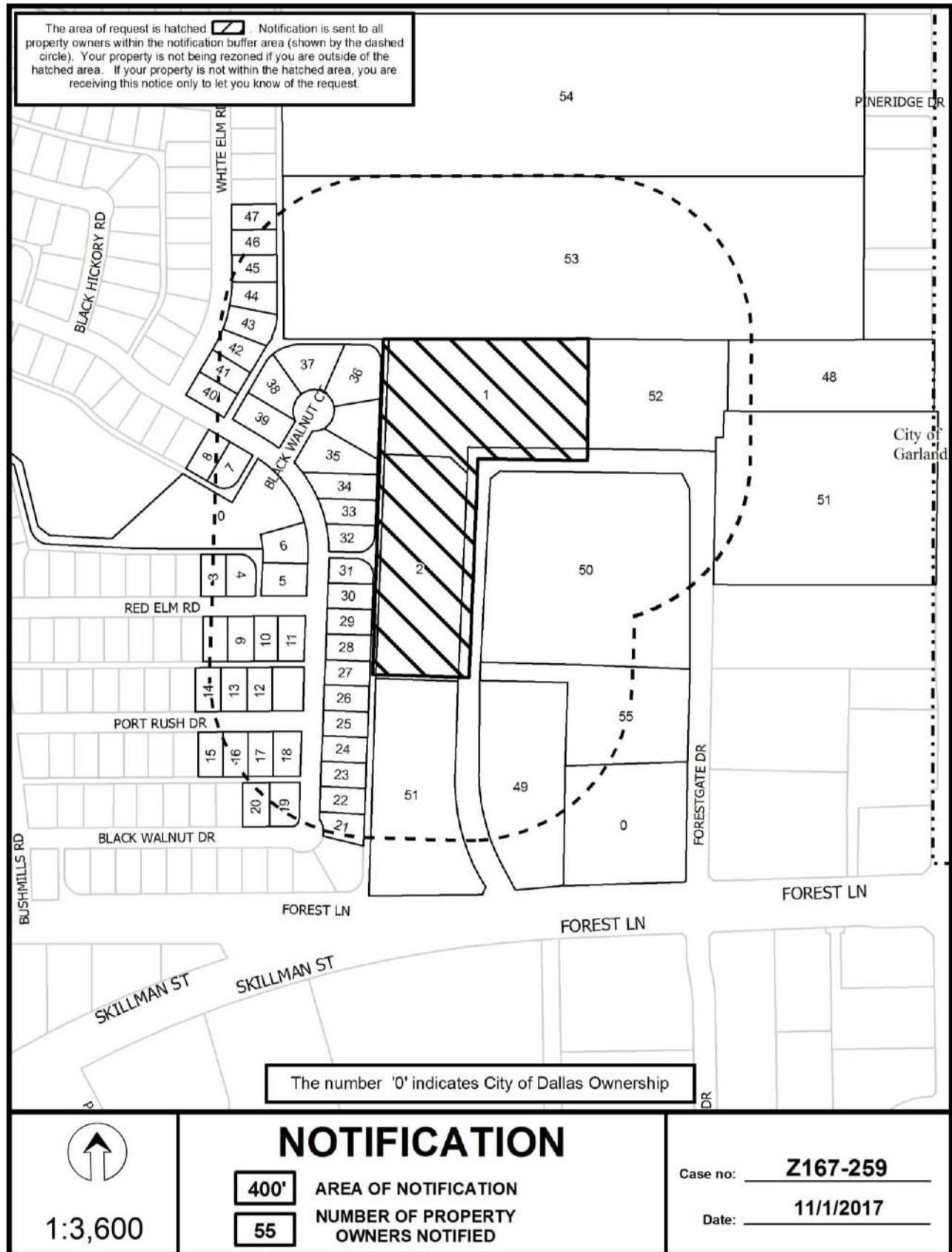


Z167-259(WE)









3/12/2012

Notification List of Property Owners

Z167-259

55 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	12005 FORESTGATE DR	COSMOS FOUNDATION INC
2	11945 FORESTGATE DR	COSMOS FOUNDATION INC
3	10335 RED ELM RD	DANH HANH
4	10339 RED ELM RD	OWENS TERRY
5	10501 BLACK WALNUT DR	HARDIN ELVERN &
6	10505 BLACK WALNUT DR	BROSSETT DANIEL L &
7	10547 BLACK WALNUT DR	NGUYEN NGA TUYET REVOCABLE LIVING TR
8	10551 BLACK WALNUT DR	BAWI RAL &
9	10338 RED ELM RD	NGUYEN NGHIEP ET AL LF ES
10	10342 RED ELM RD	WADDLE NITA B
11	10346 RED ELM RD	AVERETTE RANDOLPH A &
12	10339 PORTRUSH DR	NGUYEN DUY & LINH
13	10335 PORTRUSH DR	TEBEJE ASTER G
14	10331 PORTRUSH DR	GARCIA MIGUEL HERRERA &
15	10330 PORTRUSH DR	VASQUEZ NORA
16	10334 PORTRUSH DR	NGUYEN KIM LAN
17	10338 PORTRUSH DR	WAH EH
18	10342 PORTRUSH DR	PALACIOS MARY ISABEL
19	10339 BLACK WALNUT DR	COOPER BRENDA
20	10335 BLACK WALNUT DR	TUANG KHUP LAN
21	10402 BLACK WALNUT DR	CASADOS CESAR
22	10406 BLACK WALNUT DR	POUNCIE ERICA N
23	10410 BLACK WALNUT DR	VU TOMMY
24	10414 BLACK WALNUT DR	GRANT REGINALD & LAPRENSA
25	10418 BLACK WALNUT DR	HARRIS MARY K
26	10422 BLACK WALNUT DR	LOVELL LEAH SUSAN

11/01/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	10426 BLACK WALNUT DR	CHUKWUMA PEACE
28	10430 BLACK WALNUT DR	GOYAL ASHOK KUMAR &
29	10434 BLACK WALNUT DR	TRAN BINH VAN &
30	10502 BLACK WALNUT DR	HANSON FAMILY PARTNERSHIP
31	10506 BLACK WALNUT DR	BACA BENJAMIN S & MARIA M
32	10510 BLACK WALNUT DR	GALLEGOS ISIDRO &
33	10514 BLACK WALNUT DR	MOSELEY WILLIAM G & MYKA J
34	10518 BLACK WALNUT DR	NGUYEN SAM D
35	10522 BLACK WALNUT CT	NGUYEN KIM CHI
36	10530 BLACK WALNUT CT	ORUPABO ADELAIDE
37	10534 BLACK WALNUT CT	BALDERAS TRINIDAD &
38	10538 BLACK WALNUT CT	CHAN KWONG POU & SIU YIN
39	10542 BLACK WALNUT CT	MATHEW JAYA T
40	10383 WHITE ELM RD	PRAXAYBANE LEXUS A
41	10379 WHITE ELM RD	HAMMOND BERNESTEAN
42	10375 WHITE ELM RD	PARK YONG D ESTATE OF
43	10371 WHITE ELM RD	TEXAS LAND CAPITAL LP
44	10367 WHITE ELM RD	SPECIALIZED SERVICES LLC
45	10363 WHITE ELM RD	HOWARD DARRYL
46	10359 WHITE ELM RD	SIMS ANTHONY L
47	10355 WHITE ELM RD	PHAM MINH QUOC &
48	12105 PLANO RD	SHARBER SCHOOLS INC
49	10503 FOREST LN	DIRKIN PROPERTIES FIRST LP
50	12002 FORESTGATE DR	PSFW PROPERTIES LLC
51	11805 FORESTGATE DR	AVISTONE NORTHGATE III H LLC
52	12061 FORESTGATE DR	WALTERSCHEID GILES W &
53	12203 PLANO RD	FOREST GARDEN INVESTORS
54	12303 PLANO RD	NORTHGATE VLLG ASSOC LLC
55	12215 FORESTGATE DR	HONG PROPERTIES LTD

Planner: Warren F. Ellis

FILE NUMBER:	Z167-379(WE)	DATE FILED:	August 18, 2017
LOCATION:	Southwest line of Cedar Springs Road, between Lucas Drive and Hawthorne Avenue		
COUNCIL DISTRICT:	2	MAPSCO:	34-V
SIZE OF REQUEST:	Approx. 2.13 acres	CENSUS TRACT:	4.05

APPLICANT: Urban Loft Partners, Inc.

OWNER: Circle Park Texas, LLC

REPRESENTATIVE: Karl Crawley, MASTERPLAN

REQUEST: An application for an amendment to Planned Development Subdistrict No. 119 for Multiple Family Subdistrict uses within Planned Development District No. 193, the Oak Lawn Special Purpose District.

SUMMARY: The purpose of this request is threefold: 1) to create two separate tracts that will permit an existing multiple-family development to remain on one tract and to develop a residential development tract on the adjacent tract; 2) to modify the development standards as it relates to the lot size and structure height; and, 3) to modify the landscape requirements.

STAFF RECOMMENDATION: Approval, subject to a development plan and conditions.

PREVIOUS ACTION: On November 16, 2017, the City Plan Commission held this case under advisement until November 30, 2017, to allow the representative to replace the conceptual plan with a development plan.

BACKGROUND INFORMATION:

- On October 10, 2015, the City Council approved Planned Development Subdistrict No. 119 for Multiple Family Subdistrict uses on property zoned a Multiple Family Subdistrict.
- Planned Development Subdistrict No. 119 was established to redevelop the property to accommodate a 188-unit multiple-family development. The applicant, at the time, requested several modifications to the MF-2 Multiple Family Subdistrict, which included the following; increase in structure height, increase in lot coverage, increase in density, allow certain encroachments into the front yard setbacks, and alternative landscape regulations.
- The property containing the existing multiple-family units was acquired by new ownership and is currently under renovation. The remaining property is currently under contract.
- The applicant proposes to create two tracts within PDS No. 119: one tract will remain developed with the existing multiple-family uses, and the second tract will be developed with a residential development tract. The amendment to PDS No. 119 conditions will reflect the removal of specific development standards and certain urban design requirements that related to the previously approved development.
- The applicant's current proposal is to raze an existing church and a single-family dwelling to construct a 26-unit residential development tract in an area that is designated on the conceptual plan as Tract 1. The existing multiple-family development will remain in Tract 2 and will be governed by the MF-2 Multiple Family Subdistrict regulations.
- Planned Development District No. 193 defines a residential development tract as a development of three or more individually platted lots in an MF-1, MF-2, or MF-3 subdistrict in which the dwelling units, whether attached or detached, are accessed from a shared driveway, and the dwelling units do not have any other dwelling units above or below them. Residential development tracts may be platted as shared access developments.
- The applicant is proposing several modifications to the residential development tract regulations as it relates to the front yard and average lot area.
- The surrounding land uses consist of residential uses of mixed densities, with a community service center (Dallas Housing Authority's Cedar Springs Multi-Purpose Center) located south of the site's Lucas Drive frontage. The depressed travel lanes of the Dallas North Tollway are visible eastward from the site. Multiple family uses exists on property to the east/southeast along the Lucas Drive frontage. Properties that are adjacent to the site on Hawthorne Avenue are developed with single family uses.

Zoning History: There have been four zoning changes requested in the area during the past five years.

1. Z112-266 On October 24, 2012, the City Council approved an amendment to Planned Development Subdistrict No. 91 for Multiple Family Subdistrict uses within Planned Development District No. 193, the Oak Lawn Special Purpose District.
2. Z123-178 On April 24, 2013, the City Council approved an amendment to and expansion of PDS No. 75, subject to a conceptual plan and conditions
3. Z123-326 On March 26, 2014, the City Council approved a Planned Development Subdistrict for MF-2 Multiple Family Subdistrict Uses on property zoned an MF-2 Multiple Family Subdistrict within Planned Development District No. 193, the Oak Lawn Special Purpose District.
4. Z145-279 On October 28, 2015, the City Council approved a Planned Development Subdistrict for MF-2 Multiple Family Subdistrict Uses on property zoned an MF-2 Multiple Family Subdistrict within Planned Development District No. 193, the Oak Lawn Special Purpose District [request site].

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
Cedar Springs Road	Collector	60 ft.	60 ft.
Lucas Drive	Local	50 ft.	50 ft.
Hawthorne Avenue	Local	50 ft.	50 ft.

Land Use:

	Zoning	Land Use
Site	PDS No. 119	Multiple Family, Church, Single Family
Northeast	PDS No. 4	Multiple Family
Southeast	PDS No. 91	Multiple Family
Northwest	PDS No. 70	Multiple Family
Southwest	MF-2	Single Family

COMPREHENSIVE PLAN:

The *fowardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *fowardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

LAND USE

GOAL 1.2 PROMOTE DESIRED DEVELOPMENT

Policy 1.2.1 Use Vision Building Blocks as a general guide for desired development patterns.

GOAL 1.3 PROVIDE EQUITABLE OPPORTUNITIES FOR DALLAS RESIDENTS

Policy 1.3.1 Create housing opportunities throughout Dallas

ECONOMIC

GOAL 2.1 PROMOTE BALANCED GROWTH

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions

URBAN DESIGN

GOAL 5.1 PROMOTE A SENSE OF PLACE, SAFETY, AND WORKABILITY

Policy 5.1.3 Encourage complementary building height, scale, design, and character.

Area Plans:

The Oak Lawn Special Purpose District and the Oak Lawn Plan include the following objectives:

- (1) To achieve buildings more urban in form.
- (2) To promote and protect an attractive street level pedestrian environment with continuous street frontage activities in retail areas.
- (3) To encourage the placement of off-street parking underground or within buildings similar in appearance to non-parking buildings.
- (4) To promote development appropriate to the character of nearby neighborhood uses by imposing standards sensitive to scale and adjacency issues.
- (5) To use existing zoned development densities as a base from which to plan, while providing bonuses to encourage residential development in commercial areas.
- (6) To discourage variances or zoning changes which would erode the quantity or quality of single-family neighborhoods, or would fail to adhere to the standards for multiple-family neighborhoods and commercial areas.
- (7) To promote landscape/streetscape quality and appearance.

A portion of the site will be redeveloped with a residential development tract and will have access from Cedar Springs Avenue and Hawthorne Avenue. The portion of the property that is constructed with a multiple family development will remain and will be governed by the MF-2 regulations. With respect to compliance with the above referenced objectives, staff has worked with the applicant to ensure that the urban design criteria, where applicable, will remain on the proposed residential development tract. As provided herein, Objective Nos. 1 and 7 are provided for in the applicant's development vision to create walkability along Cedar Springs Road.

Combined with recommended plantings and an increased setback from the southwestern property line, Objective No. 4 is palatable.

Lastly, Objective Nos. 2, 3 and 5 are not applicable to this request because of the following: 1) retail and commercial uses are not a permitted use in an MF-2 Subdistrict; therefore, creating continuous street frontage activities within retail areas is not palatable; and 2) the proposed request for a residential development tract will contain single family units that do not require the off-street parking to be placed underground.

STAFF ANALYSIS:

Land Use Compatibility: The 2.13-acre site is developed with a multiple family development, a church, and a single-family dwelling. On October 28, 2015, the City Council approved Planned Development Subdistrict No. 119 for Multiple Family District uses. When PDS No. 119 was established, the intent was to raze the existing multiple family development, church, and single-family dwelling and redevelop the site with a 188-unit multiple family development, with a maximum structure height of 60 feet.

Planned Development District No. 193 defines a residential development tract as a development of three or more individually platted lots in an MF-1, MF-2, or MF-3 subdistrict in which the dwelling units, whether attached or detached, are accessed from a shared driveway, and the dwelling units do not have any other dwelling units above or below them. Residential development tracts may be platted as shared access developments.

The applicant's request for an amendment to Planned Development Subdistrict No. 119 will allow for the creation of two tracts: one tract will remain developed with the existing multiple-family uses, and the second tract will be developed with a 26-unit residential development tract. The amendment to PDS No. 119 conditions will reflect the removal of specific development standards and certain urban design requirements that would have governed the development of the previously proposed 188-unit multiple-family development.

The surrounding land uses consist of residential uses of mixed densities, with a community service center (Dallas Housing Authority's Cedar Springs Multi-Purpose Center) located south of the site's Lucas Drive frontage. The depressed travel lanes of the Dallas North Tollway are visible eastward from the site. Multiple family uses exist on property to the east/southeast along the Lucas Drive frontage. Properties that are adjacent to the site on Hawthorne Avenue are developed with single family uses.

The redevelopment of the site to incorporate a 26-unit residential development tract will integrate within the existing development fabric, with single family and multiple family uses. Due to the single family uses on Hawthorne Avenue, the applicant will limit the structure height of the residential development tract within 50 feet of the southwest property line to 36 feet, and allow projections not to exceed ten feet above the maximum structure height. These projections include elevator or stair penthouse, mechanical equipment room, skylights, clerestory, chimney and vent stacks, visual screens which surround roof mounted mechanical equipment, and parapet walls, limited to a height of four feet. In an MF-2 Subdistrict, projections can exceed up to 12 feet above the maximum structure height of 36 feet. In addition, the structure height of the remaining portion of the development will not exceed 50 feet. Projections are prohibited on any structures that exceed 36 feet in height. The maximum number of stories proposed for the residential development tract is four.

Lastly, the average lot area of the lots within a residential development tract must equal or exceed 1,900 square feet. However, the applicant is proposing to reduce the average lot area from 1,900 square feet to 1,500 square feet.

Staff supports the applicant's request for an amendment to Planned Development Subdistrict No. 119, subject to a conceptual plan and conditions.

Development Standards:

<u>DISTRICT</u>	<u>SETBACKS</u>		Density	Height	Lot Coverage	Special Standards	PRIMARY Uses
	Front	Side/Rear					
Planned Development District No. 119 – (Existing) MF-2 Subdistrict	25' – Cedar Springs 15' – Hawthorne Ave. 15' – Lucas St.	45'/15'	188 units	Max-60'	65%	Urban Form	Multiple Family
Planned Development District No. 119 – (Existing) MF-2 Subdistrict	25' – Cedar Springs 15' – Hawthorne Ave. 15' – Lucas St.	45'/15'	188 units	Max-60'	65%	Urban Form	Multiple Family
Amendment to PDS No. 119 for Tract 1 (Proposed)	25' – Cedar Springs 15' – Hawthorne Ave.	5'/5'	26 units	Max-50'	60%	Urban Form	Residential development tract
Amendment to PDS No. 119 for Tract 2 (Proposed) MF-2 Subdistrict	25' – Cedar Springs 15' – Lucas Dr.	10'/15'	Per MF-2	Max- 36	60%	Urban Form	Multiple family, single family, Duplex

Parking: The applicant will meet the off-street and guest parking regulations in accordance with Part I of PDD No. 193 for the specific off-street parking and loading requirements for each use.

Landscaping: Landscaping must be provided in accordance with Part 1 of PDD No. 193. Plant materials must be maintained in a healthy, growing condition.

LIST OF OFFICERS

OWNERSHIP

Tract 1

Maker Bros., LLC, a Texas limited liability corporation

Justin C Bailey, Manager

Andrew Carnahan, Manager

Tract 2

Circle Park Texas, LLC, a Texas limited liability corporation

David Eitches, Managing Member

Jonathan Schoen, Managing Member

Mark Kahan, Managing Member

Purchaser – Tract 1

Urban Lofts Partners, Inc.

Larry S Davis, President

Sherry F Davis, VP/Treasurer

Joel Davis, VP

PROPOSED PDS CONDITIONS

SEC. S-119.101. LEGISLATIVE HISTORY.

PD Subdistrict 119 was established by Ordinance No. 29916, passed by the Dallas City Council on October 28, 2015.

SEC. S-119.102. PROPERTY LOCATION AND SIZE.

PD Subdistrict 119 is established on property fronting on the southwest line of Cedar Springs Road between Hawthorne Avenue and Lucas Drive. The size of PD Subdistrict 119 is approximately 2.13 acres.

SEC. S-119.103. DEFINITIONS AND INTERPRETATIONS.

(a) Unless otherwise stated, the definitions and interpretations in Chapter 51 and Part I of this article apply to this division. If there is a conflict, this division controls. If there is a conflict between Chapter 51 and Part I of this article, Part I of this article controls. In this division:

~~(1) STOOP means a small porch leading to the entrance of a residential structure.~~

~~[(2) 1] SUBDISTRICT means a subdistrict of PD 193.~~

(b) Unless otherwise stated, all references to articles, divisions, or sections in this division are to articles, divisions, or sections in Chapter 51.

(c) This subdistrict is considered to be a residential zoning district.

SEC. S-119.104. EXHIBITS.

The following exhibit[s] ~~[are]~~ is incorporated into this division: Exhibit S 119A: development plan – Tract 1.

~~[(1) Exhibit S-119A: development plan.]~~

~~[(2) Exhibit S-119B: landscape plan.]~~

SEC. 51P-.105. DEVELOPMENT PLAN.

(a) Tract 1: A development plan must be approved by the city plan commission before the issuance of any building permit to authorize work in this district. If there is a conflict between the text of this article and the development plan, the text of this article controls.

(b) Tract 2: For all uses, no development plan is required, and the provisions of Section 51-4.702 regarding submission of or amendments to a development plan, site analysis plan, development schedule, and landscape plan do not apply.

SEC. S-119.106. MAIN USES PERMITTED.

The only main uses permitted in this subdistrict are those main uses permitted in the MF-2 Multiple-Family Subdistrict, subject to the same conditions applicable in the MF-2 Multiple-Family Subdistrict, as set out in Part I of this article. For example, a use permitted in the MF-2 Multiple-Family Subdistrict only by specific use permit (SUP) is permitted in this subdistrict only by SUP; a use subject to development impact review (DIR) in the MF-2 Multiple-Family Subdistrict is subject to DIR in this subdistrict; etc.

SEC. S-119.107. ACCESSORY USES.

As a general rule, an accessory use is permitted in any subdistrict in which the main use is permitted. Some specific accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51P-193.108. For more information regarding accessory uses, consult Section 51P193.108. (Ord. 29916)

SEC. S-119.108. YARD, LOT, AND SPACE REGULATIONS.

(Note: The yard, lot, and space regulations in this section must be read together with the yard, lot, and space regulations in Part I of this article. If there is a conflict between this section and Part I of this article, this section controls)

(a) In general. Except as provided in this section, the yard, lot, and space regulations of the MF-2 Multiple-Family Subdistrict apply.

(b) Front yard.

(1) On Cedar Springs Road, minimum front yard is 25 feet.

(2) On Hawthorne Avenue and Lucas Drive, minimum front yard is 15 feet.

~~(3) [Except as provided in this paragraph, on Lucas Drive, minimum front yard is 15 feet. Minimum front yard for the northern 30 feet of the facade on Lucas Drive is 10 feet as shown on the development plan.]~~

~~[(4) The following may be located in the required front yard:]~~

~~[(A) on Cedar Springs Road and Hawthorne Drive, fences no more than four feet in height;]~~

~~height} {(B) on Lucas drive, fences no more than six feet in~~

~~maximum height of 42 inches;} {(C) railings for stairs, stoops, and porches with a~~

~~{(D) patios and covered seating areas;}~~

~~{(E) balconies; and}~~

~~{(F) arbors.}~~

~~{(5) Any fence located in the required front yard must have at least 50 percent open surface.}~~

~~{(6) Any balcony in the required front yard must have a minimum clearance of eight feet above grade.}~~

(c) Side yard.

(1) Tract 1 setback between Tract 1 and Tract 2 is five feet; otherwise the side yard setback is 10 feet.

(2) The side yard setback for a residential development tract is zero for internal setbacks. The setback between residential development tracts is seven (7) feet.

~~{(1) Except as provided in this subsection, minimum side yard is 25 feet.}~~

~~{(2) Minimum side yard for a multiple family structure is 45 feet.}~~

(d) Density.

(1) Tract 1: Maximum number of dwelling units is [188]26.

(2) Tract 2. Must comply with MF-2 Subdistrict regulations

(e) Height. Except as provided in this subsection

(1) Tract 1

(a) For a residential development tract, maximum structure height is 36 feet within 50 feet of the southwest property line; otherwise maximum structure height is 50 feet.

(b) For a residential development tract limited to 36 feet in height, the following structures may project a maximum of 10 feet above the maximum height:

(i) elevator or stair penthouse.

(ii) mechanical equipment room.

(iii) skylights.

(iv) clerestory.

(v) chimney and vent stacks.

(vi) visual screens which surround roof mounted mechanical equipment

(vii) parapet walls, limited to a height of four feet.

~~[(1) Except as provided in this subsection, maximum height for occupied floor area is 60 feet.]~~

~~[(2) Maximum height for the pool and amenity deck, as measured to the finished floor, is 12 feet.~~

~~[(3) Any elevator penthouse, mechanical equipment, and a clerestory may project a maximum of 12 feet above maximum height.~~

~~[(4) A parapet wall constructed to a maximum height of four feet may project above maximum height.~~

(2) Tract 2. Maximum structure height is 36 feet

(f) Lot coverage. Maximum lot coverage is ~~[65]~~ 60 percent. Aboveground parking structures are included in lot coverage calculations; surface parking lots and underground parking structures are not.

(g) Stories. ~~Maximum number of stories above grade is five.~~

(1) Tract 1, a residential development tract, maximum number of stories is four.

(2) Tract 2, for multiple family uses the maximum number of stories is three.

(h) Lot area. For single family uses, no minimum lot area for lots within a residential development tract. The average lot area of the lots within a residential development tract must equal or exceed 1,500 square feet.

SEC. S-119.119. OFF-STREET PARKING AND LOADING

(a) Except as provided in this section, consult Part I of this article for the specific off-street parking and loading requirements for each use.

~~[(b) For an accessory community center (private), no off-street parking is required.]~~

SEC. S-119.110. ENVIRONMENTAL PERFORMANCE STANDARDS.

See Article VI.

SEC. S-119.111. LANDSCAPING.

(a) In general. Except as provided in this section, landscaping and screening must be provided in accordance with Part I of this Article.

~~[(b) Multiple family. For a multiple-family use, landscaping must comply with the landscape plan (Exhibit S-119B).]~~

(b) Cedar Springs Road and Hawthorne Street: The tree planting zone is that area parallel to between two and one-half and twenty feet from the back of the projected street curb.

(c) Maintenance. Plant materials must be maintained in a healthy, growing condition.

SEC. S-119.112. SIDEWALKS FOR ~~[MULTIPLE-FAMILY USE.]~~ TRACT 1

(a) Cedar Springs Road. A minimum unobstructed width of ~~[eight]~~ six feet must be provided.

(b) Hawthorne Avenue ~~[and Lucas Street].~~ A minimum unobstructed width of six feet must be provided

~~[(c)] Tree grates. Handicapped accessible tree grates are considered as part of the unobstructed sidewalk width.~~

~~[(d)] Ingress and egress. Where a driveway connects through a sidewalk to right-of-way, design and construction of the driveway must be level with any connecting sidewalk.~~

SEC. S-119.113. SIGNS

Signs must comply with the provisions for nonbusiness zoning districts in Article VII

SEC. S-119.114. URBAN DESIGN REQUIREMENTS FOR ~~[MULTIPLE-FAMILY USE]~~ TRACT 1

~~[(a) Cedar Springs Road entrance. A minimum of one visible and usable entrance is required on the Cedar Springs Road facade. The entrance must be clearly identified using an awning, paving treatments, a change in roofline, porticos, arcades, arches, integral planters, a stoop or front porch, color treatments, or similar means.]~~

~~[(b)]~~(a) Facade elements. To help break up long facades along Cedar Springs Road, ~~[Lucas Drive, and Hawthorne Avenue]~~ and make the structure appear as multiple structures, building facades along Cedar Springs Road must incorporate at least two of the following elements and facades

(1) A change in building material, color, and texture that effectively contrasts from the rest of the facade.

(2) Vertical articulation of the facade and roofline with strong forms to help break up the building mass.

(3) Accentuation of the building's base, middle, and top through combination of materials, detailing, and building articulation.

~~[(4) Stepped-back upper floors]~~

~~[(5) Deeply inset windows]~~

~~[(6) Inset or projecting volumes, awnings, or canopies.]~~

~~[c] — Ground level residential entrances. A minimum of five multiple-family dwelling units must provide direct access from the sidewalk.]~~

~~[d] — Fenestrations. Multiple-family fenestrations constructed on the southwestern facade must be designed to restrict the view from inside the structure onto adjacent properties utilizing translucent glazing or other similar materials.~~

~~[e] — Parking garage.~~

~~[(1) Except as provided in this subsection, all aboveground parking structures must comply with the structure facade standards for off-street parking structures in Section 51P-193.127(a).]~~

~~[(2) Parking structure facades must include at least one of the following: heavy gauge metal screen, pre-cast concrete panels, laminated glass, or photovoltaic panels.]~~

~~[(3) Aboveground parking structures must have a solid wall or panel on each level with a minimum height of 36 inches to block light spillage from headlights.]~~

~~[(f) — Patios and balconies. Patios and balconies are prohibited on the southwestern facade above the second floor.]~~

~~[(g) — Pedestrian amenities. A minimum of two each of the following pedestrian amenities are required along the Cedar Springs Road frontage: bench, trash receptacle, and bicycle rack.]~~

~~[(h) — Pedestrian trail or walkway. A pedestrian trail or walkway is required to connect the building to the street at two locations on the Cedar Springs Road frontage. The purpose of the pedestrian trail or walkway is to provide pedestrian~~

~~connectivity between the building and the street. These pedestrian trails or walkways may be constructed of permeable material, such as decomposed granite, and must have a minimum width of four feet.]~~

~~[(i) — Screening. The pool and amenity deck must be screened from the southwest and southeast by evergreen shrubs in either a planter or individual containers which at the time of planting must be spaced so as to give a solid appearance with a minimum height of six feet and capable of growing to a minimum height of eight feet within two years.]~~

SEC. S-119.115. ADDITIONAL PROVISIONS.

~~[(a) — Live or amplified outdoor music is prohibited.]~~

~~[(b)](a)~~ The Property must be properly maintained in a state of good repair and neat appearance.

~~[(c)](b)~~ Development and use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the city.

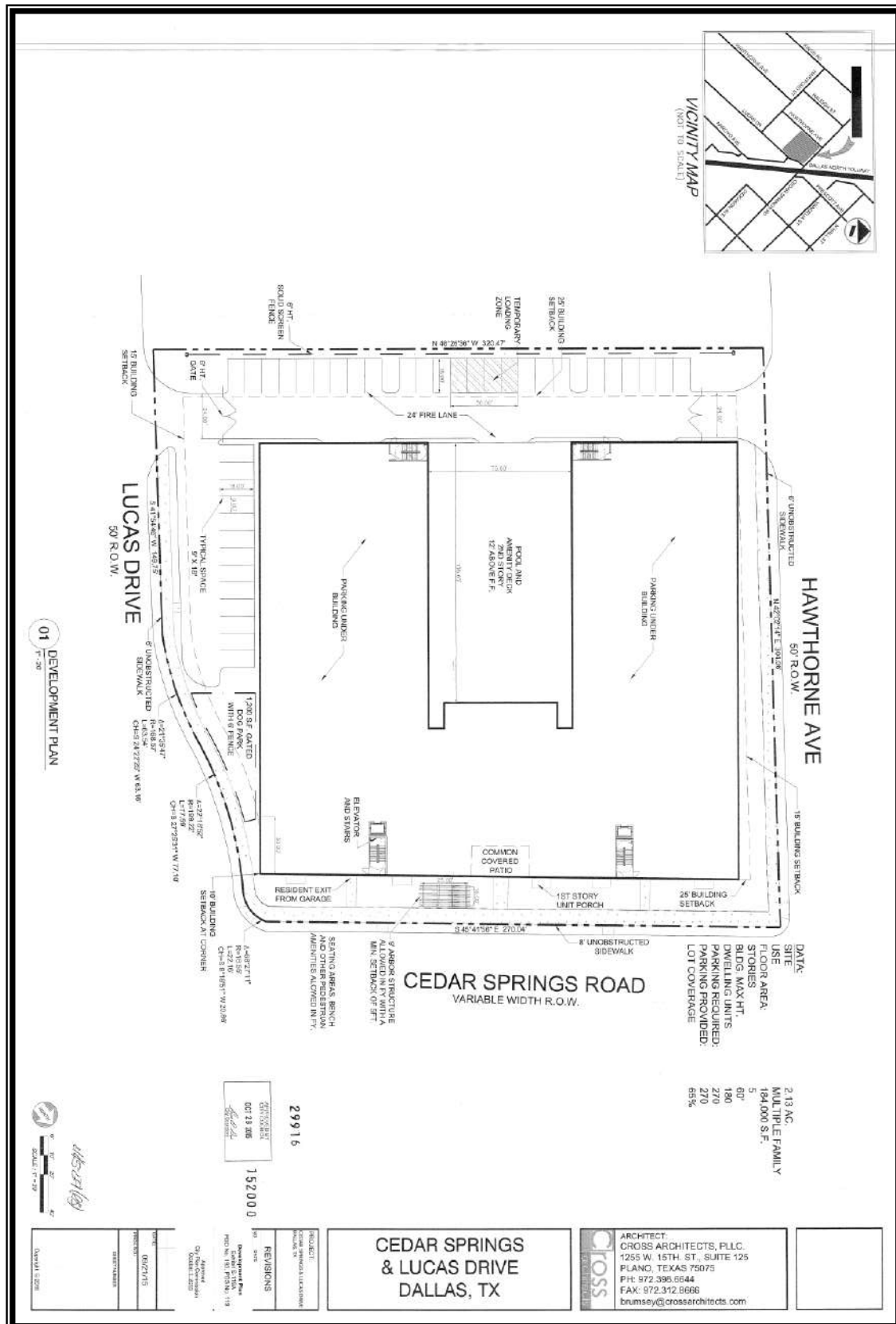
~~[(d)](c)~~ Except as provided in this division ~~[or shown on the development plan]~~, development and use of the Property must comply with Part I of this article.

SEC. S-119.116. COMPLIANCE WITH CONDITIONS.

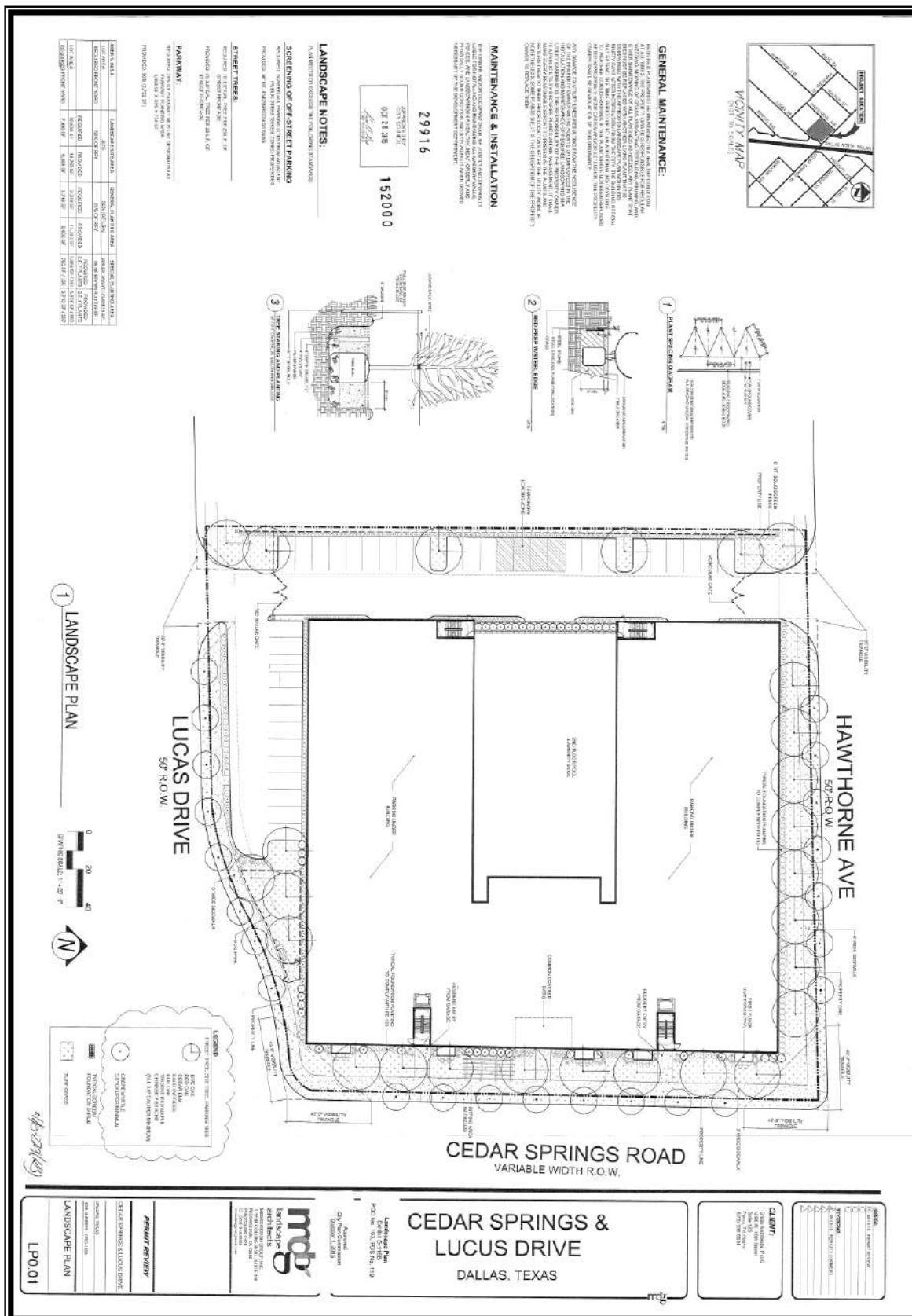
(a) All paved areas, permanent drives, streets, and drainage structures, if any, must be constructed in accordance with standard city specifications, and completed to the satisfaction of the city.

(b) The building official shall not issue a building permit to authorize work, or a certificate of occupancy to authorize the operation of a use, in this subdistrict until there has been full compliance with this division, the Dallas Development Code, the construction codes, and all other ordinances, rules, and regulations of the city.

EXISTING DEVELOPMENT PLAN



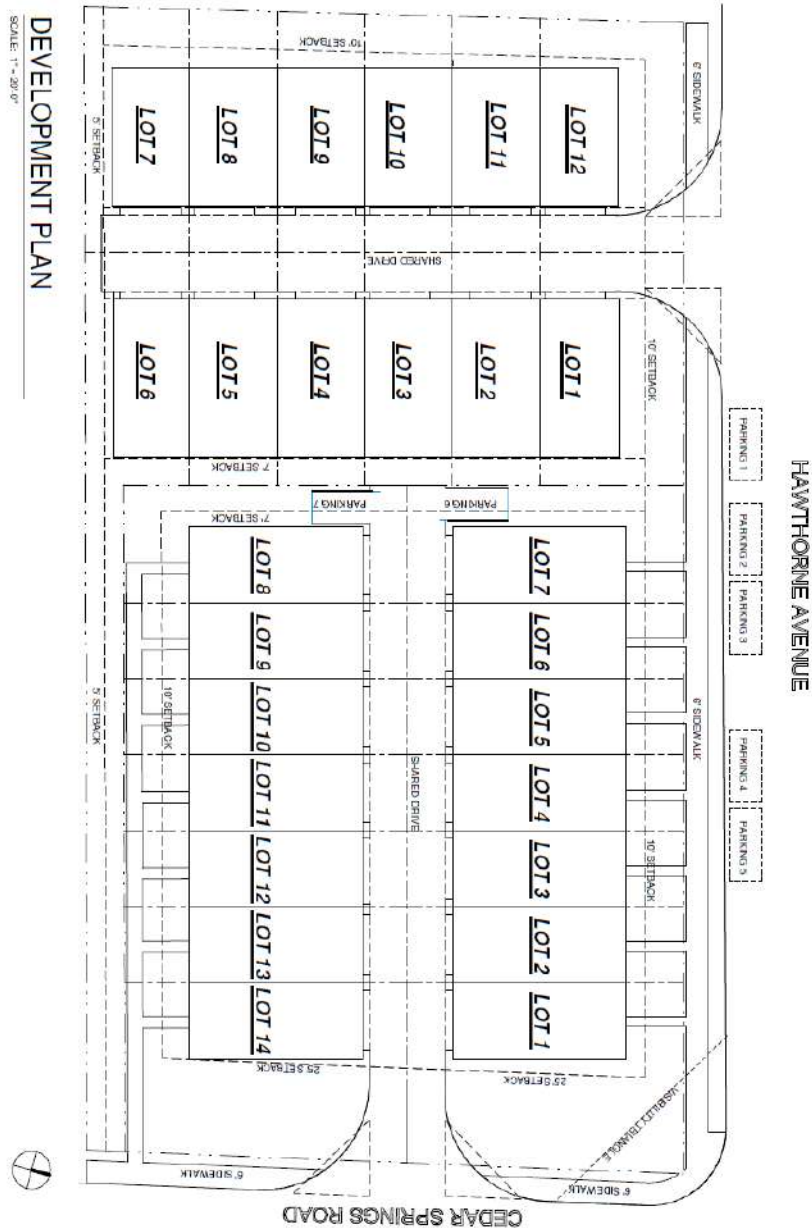
EXISTING LANDSCAPE PLAN

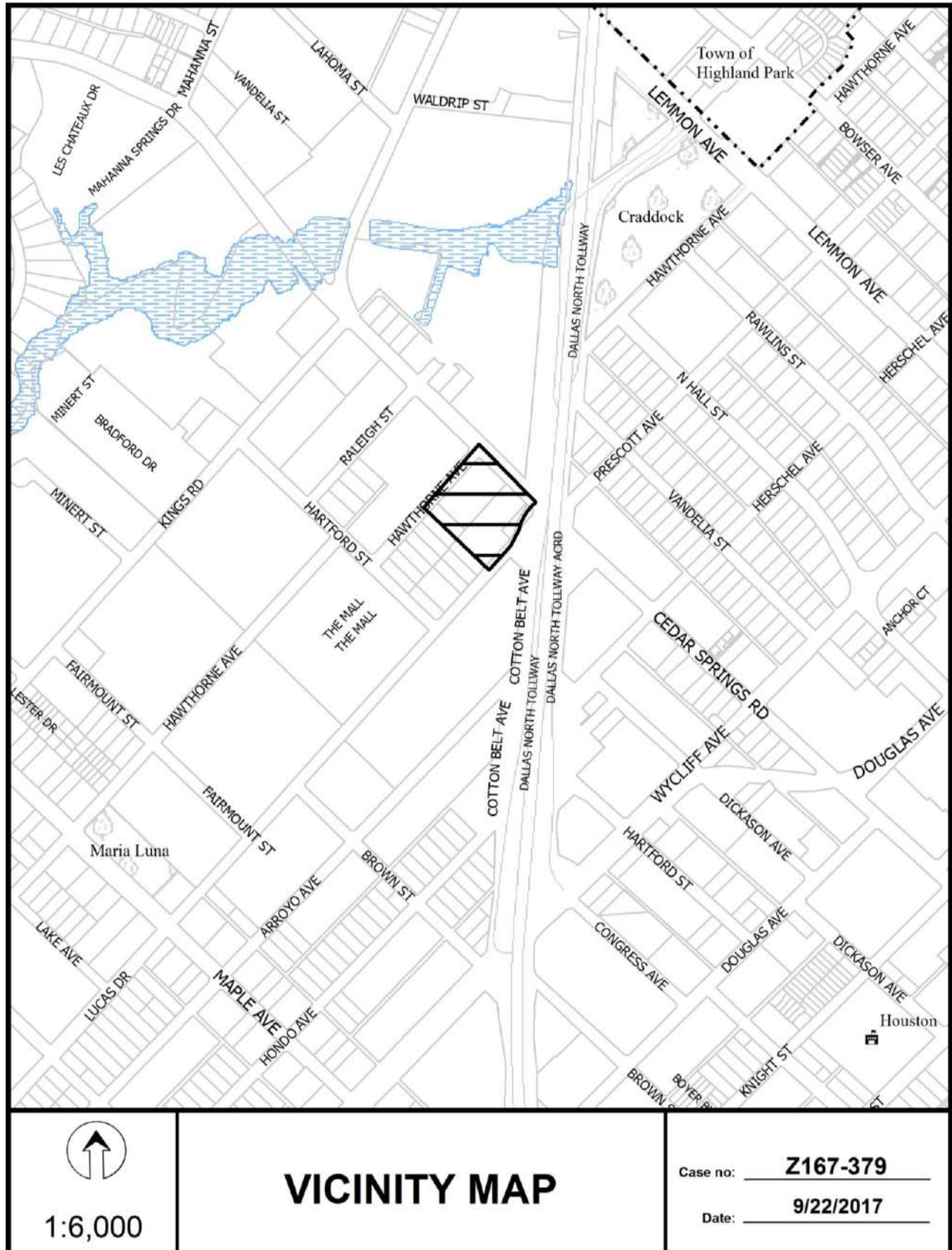


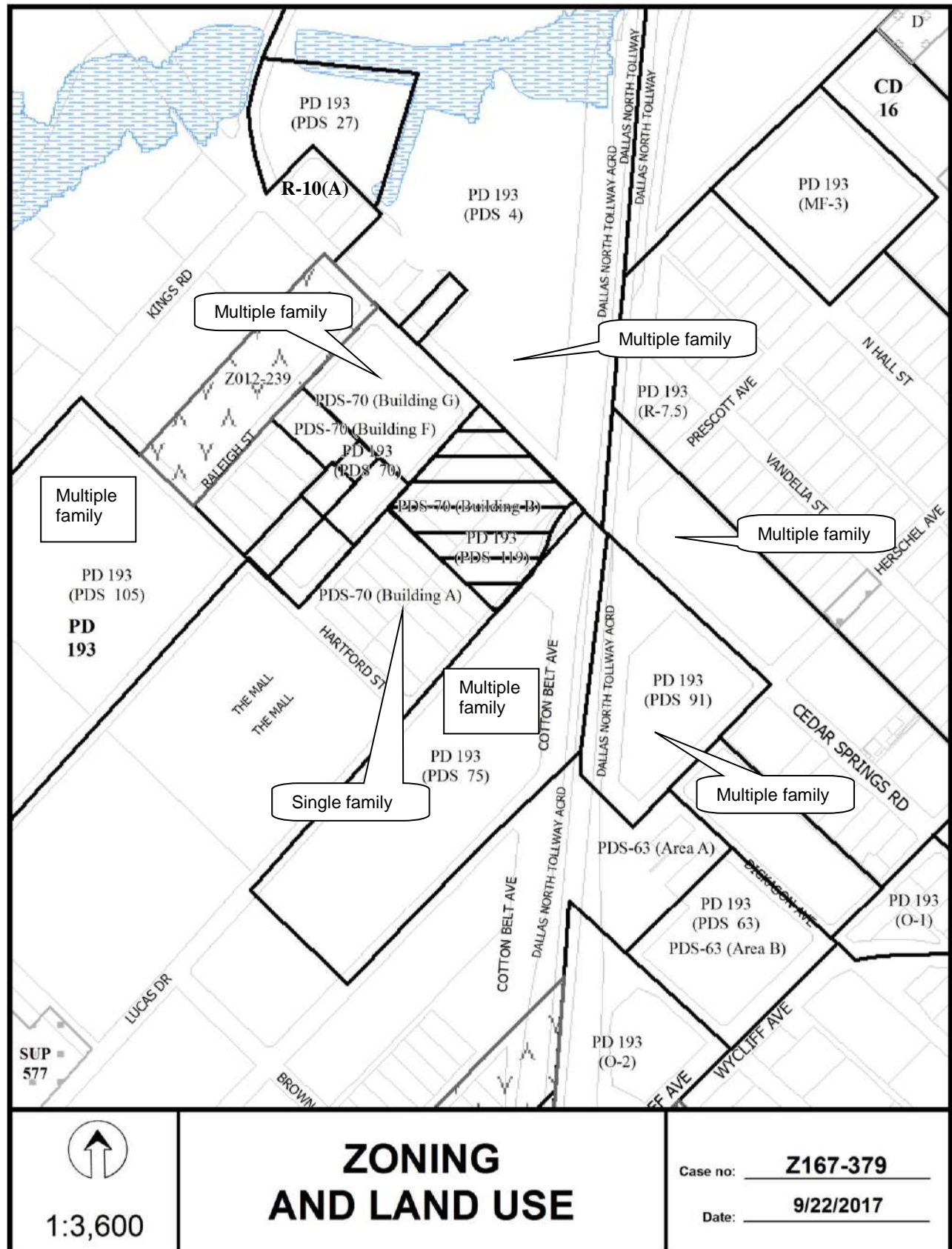
PROPOSED DEVELOPMENT PLAN

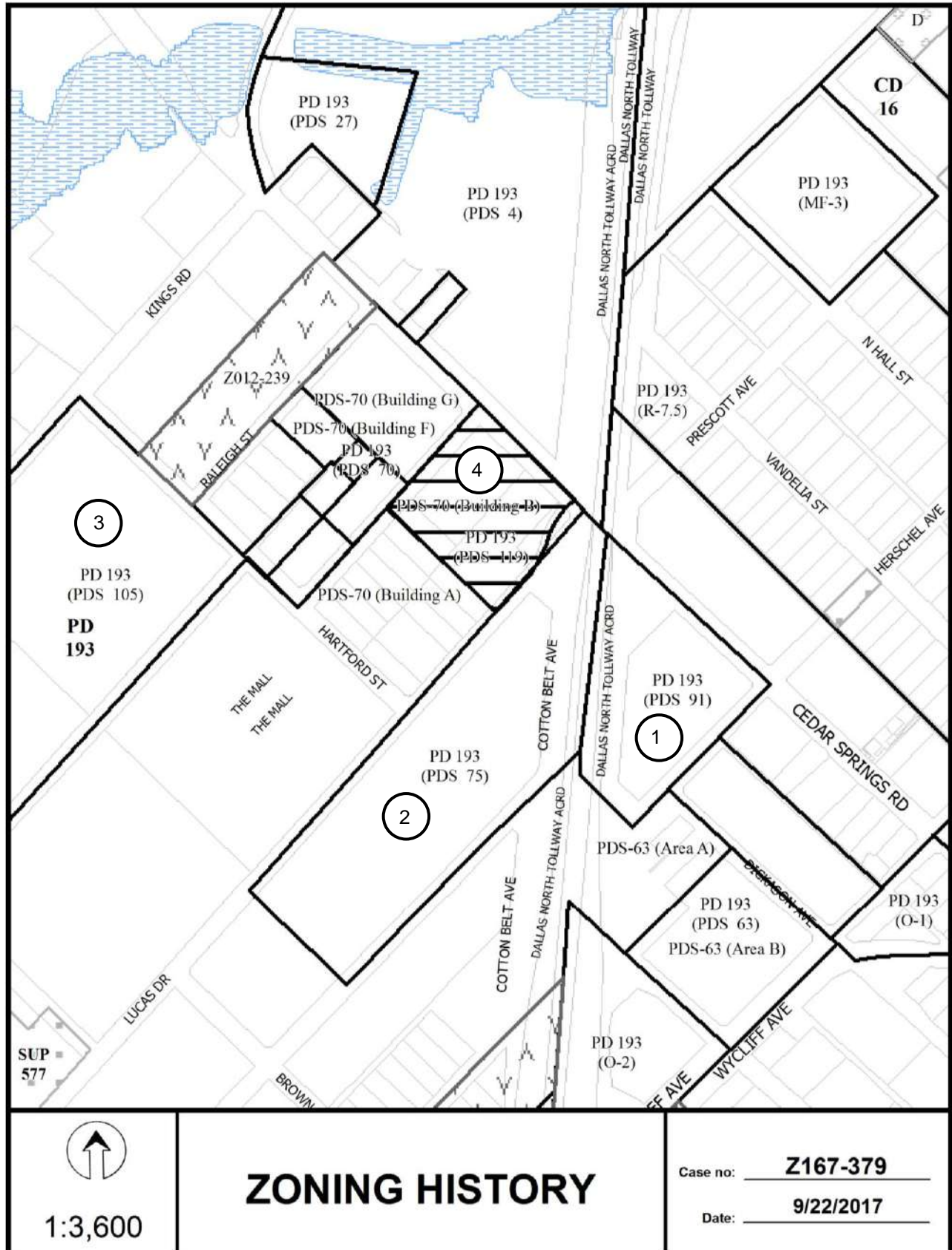


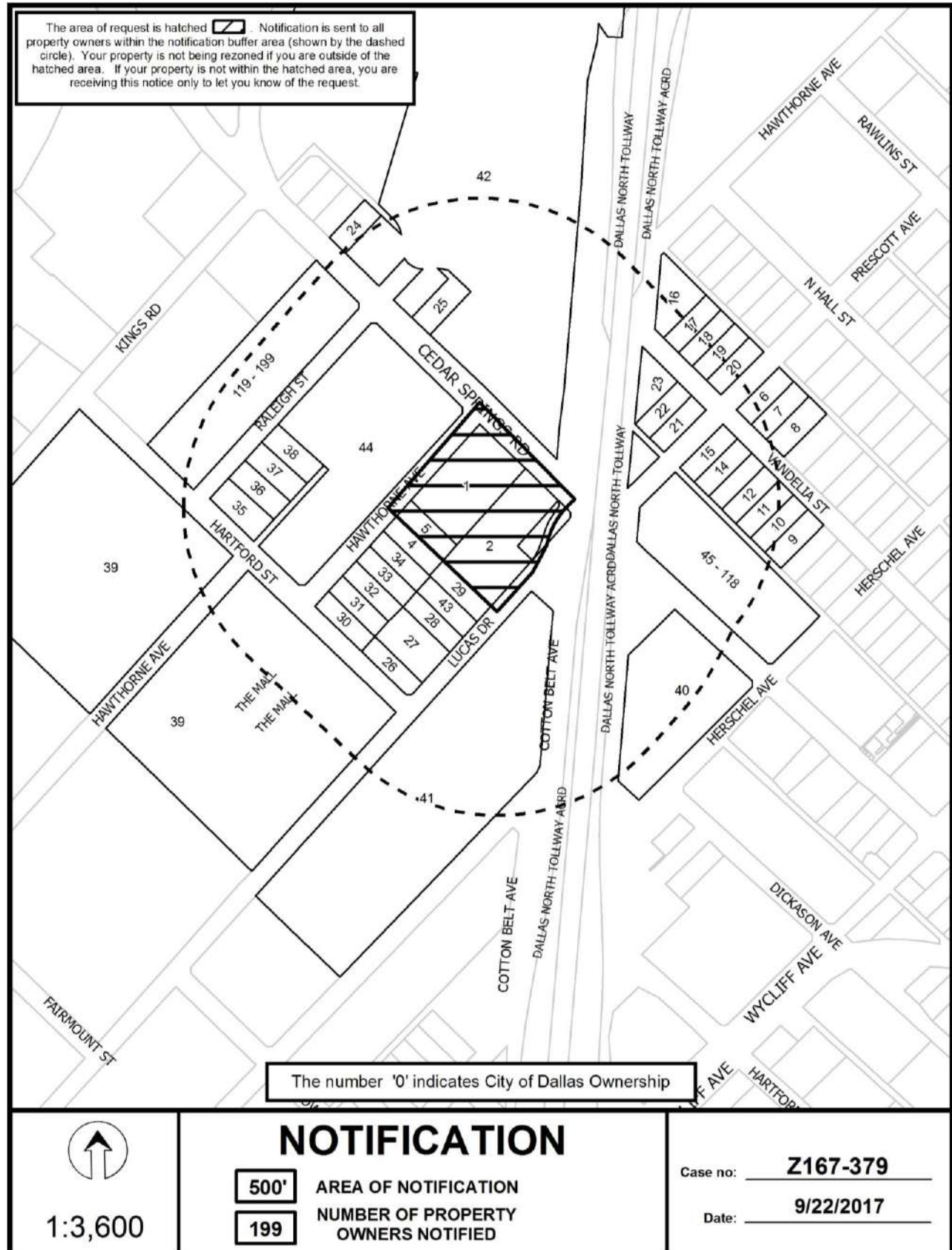
4515 CEDAR SPRINGS ROAD, DALLAS, TX TRACT 1 MAX. 26 UNITS HEIGHT REQUIREMENTS: PER PD COVERAGES LOT COVERAGE: 60% OVERALL SETBACKS: PER PD REQUIREMENTS SITE AREA ONE: 26,636 SF 14 UNITS: AVERAGE LOT SIZE 1,903 SF SITE AREA TWO: 31,138 SF 12 UNITS: AVERAGE LOT SIZE 1,762 SF	SITE AREA TOTAL: 1.097 ACRES AVERAGE LOT AREA PER UNIT FOR TOTAL SITE: 1037 SF LANDSCAPING: 17 STREET TREES REQUIRED / PROVIDED 15 SITE TREES REQUIRED / PROVIDED 5 COMPENSATING SITE TREES PROVIDED 2 COMPENSATING TREES PROVIDED PARKING: PER PD REQUIREMENTS 2 SPACES ON SITE 3 SPACES ON STREET
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Notification List of Property Owners

Z167-379

199 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	4515 CEDAR SPRINGS RD	MAKER CS LLC
2	4505 CEDAR SPRINGS RD	CIRCLE PARK TEXAS LLC
3	4503 CEDAR SPRINGS RD	TEXAS TURNPIKE AUTHORITY
4	2920 HAWTHORNE AVE	LARA PEDRO
5	3000 HAWTHORNE AVE	MAKER CS LLC
6	4438 VANDELIA ST	OSTROM RYAN L
7	4434 VANDELIA ST	JONES BRUCE L &
8	4428 VANDELIA ST	DAILY LOUIS R
9	4415 VANDELIA ST	W&W INTERNATIONAL
10	4419 VANDELIA ST	STANG CHRISTOPHER
11	4423 VANDELIA ST	WHITTEN ERIC
12	4427 VANDELIA ST	SCHNEER KENNETH E &
13	4431 VANDELIA ST	DIESEN DIANA
14	4435 VANDELIA ST	CED CHARLES & BETTY
15	4439 VANDELIA ST	CUSTER DANIEL J
16	4518 VANDELIA ST	REYES RENE J &
17	4512 VANDELIA ST	YOUNG JAMES
18	4508 VANDELIA ST	HARTLEY THOMAS G &
19	4506 VANDELIA ST	BOONE OLIVIA E
20	4502 VANDELIA ST	HERNANDEZ LUIS R
21	4503 VANDELIA ST	NICHOLAS COREY EDWARD
22	4507 VANDELIA ST	BRIDWELL THOMAS & MAUREEN
23	4509 VANDELIA ST	TEXAS UTILITIES ELEC CO
24	4610 CEDAR SPRINGS RD	FOONG CHAN C & YUNIE M
25	4548 CEDAR SPRINGS RD	FOONG CHAN C & YUNIE MOON
26	2903 LUCAS DR	SOOCKAR KARL D

09/22/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	2909 LUCAS DR	KELCHER MANAGEMENT INC
28	2915 LUCAS DR	RODNEY E JOHNSON PPTIES LLC
29	2923 LUCAS DR	GREATER MOUNT ZION BAPTIST CHURCH
30	2900 HAWTHORNE AVE	MUMM CHARLES
31	2906 HAWTHORNE AVE	MONZURES ERASMO &
32	2908 HAWTHORNE AVE	GUEVARA ANTONIO &
33	2912 HAWTHORNE AVE	ALEJANDRO JOSE ALFREDO
34	2916 HAWTHORNE AVE	ALEJANDRO JOSE A & BLANCA
35	2902 RALEIGH ST	PARKS CHARLES I JR
36	2906 RALEIGH ST	SOMMER WADE EVEN
37	2912 RALEIGH ST	SOMMER LANCE & MARCIA
38	2916 RALEIGH ST	NORRIS JESSE E
39	2820 KINGS RD	DALLAS HOUSING AUTHORITY
40	3083 HERSCHEL AVE	CEDAR POINTE MULTIFAMILY LLC
41	2924 LUCAS DR	TRG CEDAR SPRINGS LP
42	4606 CEDAR SPRINGS RD	FAIRFIELD MADISON LLC
43	2919 LUCAS DR	IRVIN ROSS GREGORY
44	4533 CEDAR SPRINGS RD	CH REALTY VII MF DALLAS DYLAN LP
45	4414 CEDAR SPRINGS RD	SAMUEL STEVEN D
46	4414 CEDAR SPRINGS RD	HU JOSEPH
47	4414 CEDAR SPRINGS RD	CHAU CATHERINE
48	4414 CEDAR SPRINGS RD	PARKER ROBERT E &
49	4414 CEDAR SPRINGS RD	MALINOSKI EDWARD ANTON
50	4414 CEDAR SPRINGS RD	EMBABI SHERIF & AHMED
51	4414 CEDAR SPRINGS RD	SCHIAVONE JILL M
52	4414 CEDAR SPRINGS RD	THOMAS STEVEN C
53	4414 CEDAR SPRINGS RD	WISNIEWSKI MICHELLE
54	4414 CEDAR SPRINGS RD	GARCIA ARNALDO RIVERA
55	4414 CEDAR SPRINGS RD	BORELLI MARCOS F & NANCY P DE HOYOS
56	4414 CEDAR SPRINGS RD	ARAGON DANIA Z
57	4414 CEDAR SPRINGS RD	KASSAP ALEXANDER

09/22/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	4414 CEDAR SPRINGS RD	PAI SAMIR A
59	4414 CEDAR SPRINGS RD	BOLDING GARY
60	4414 CEDAR SPRINGS RD	MARTINEZ JOSE
61	4414 CEDAR SPRINGS RD	WENG TZUULIN JULIAN
62	4414 CEDAR SPRINGS RD	CHEN TING YU
63	4414 CEDAR SPRINGS RD	FREESE DOUGLAS W & KAREN H
64	4414 CEDAR SPRINGS RD	PARK EDWARD
65	4414 CEDAR SPRINGS RD	HSU TZU HAN D &
66	4414 CEDAR SPRINGS RD	COSTELLO REVOCABLE TRUST
67	4414 CEDAR SPRINGS RD	EAP SHEILA
68	4414 CEDAR SPRINGS RD	TREINEN JAY
69	4414 CEDAR SPRINGS RD	SRISOUPHAN DARAVANE
70	4414 CEDAR SPRINGS RD	OLDENBURGH PATRICK L JR
71	4414 CEDAR SPRINGS RD	JASSO KELLIE
72	4414 CEDAR SPRINGS RD	GELFAND ANDREW & DONNA
73	4414 CEDAR SPRINGS RD	NGOH SHAWN H
74	4414 CEDAR SPRINGS RD	JOHNSON RENEE ANN
75	4414 CEDAR SPRINGS RD	ZENG KEVIN
76	4414 CEDAR SPRINGS RD	POTHEN PAUL NICHOLAS
77	4414 CEDAR SPRINGS RD	ZAPATA CARLOS A
78	4414 CEDAR SPRINGS RD	ELLIS KEVIN
79	4414 CEDAR SPRINGS RD	MIHECOBY ALLEN F
80	4414 CEDAR SPRINGS RD	BELLARY RAGHU NARAYANRAO & KUMUDINI G
81	4414 CEDAR SPRINGS RD	RACER DENNIS
82	4414 CEDAR SPRINGS RD	DOHERTY BRITTANY &
83	4414 CEDAR SPRINGS RD	ROSSER L B
84	4414 CEDAR SPRINGS RD	MUTREJA SWADESH & JAI G
85	4414 CEDAR SPRINGS RD	SHARMA DARPAN &
86	4414 CEDAR SPRINGS RD	FAROOQI MIDHAT S &
87	4414 CEDAR SPRINGS RD	BAZEMORE GEORGE C III
88	4414 CEDAR SPRINGS RD	DO THAO

09/22/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
89	4414 CEDAR SPRINGS RD	APNAR JOHN
90	4414 CEDAR SPRINGS RD	GONZALEZ-DICKSON FAMILY LP
91	4414 CEDAR SPRINGS RD	HENDERSON JEFF
92	4414 CEDAR SPRINGS RD	BURGOON LARRY REV TRUST
93	4414 CEDAR SPRINGS RD	JOHNSON JILL
94	4414 CEDAR SPRINGS RD	HARIRI WAHIB ADNAN
95	4414 CEDAR SPRINGS RD	HOSIER MEGAN
96	4414 CEDAR SPRINGS RD	REEVES JEFFREY S TRUST &
97	4414 CEDAR SPRINGS RD	BATCHELOR EDWARD J &
98	4414 CEDAR SPRINGS RD	DANVERS CHRISTOPHER
99	4414 CEDAR SPRINGS RD	PAVLOCK GREGORY
100	4414 CEDAR SPRINGS RD	MUSTAFA SARAH ZAHRA
101	4414 CEDAR SPRINGS RD	ODUNSI ABAYOMI N
102	4414 CEDAR SPRINGS RD	DAVIS ROBBIE
103	4414 CEDAR SPRINGS RD	PATEL RISHI JAYENDRA
104	4414 CEDAR SPRINGS RD	BOCSARDI MIHAELA C &
105	4414 CEDAR SPRINGS RD	HOLLINGSWORTH HOLDINGS LLC
106	4414 CEDAR SPRINGS RD	XALIKIAS NANCY ALEXIS
107	4414 CEDAR SPRINGS RD	LEWIS SANDI R
108	4414 CEDAR SPRINGS RD	PHAM LINH L
109	4414 CEDAR SPRINGS RD	LENG CHIH CHUN
110	4414 CEDAR SPRINGS RD	SANCHEZ MARIO H
111	4414 CEDAR SPRINGS RD	GRIMES STEPHANIE R
112	4414 CEDAR SPRINGS RD	FITZGERALD ROBERT BELL
113	4414 CEDAR SPRINGS RD	4414 CEDAR SPRINGS RD 324
114	4414 CEDAR SPRINGS RD	SAREMI YAVAR SHOKOUH
115	4414 CEDAR SPRINGS RD	CHEN JIAQIANG
116	4414 CEDAR SPRINGS RD	ZENG LINSI &
117	4414 CEDAR SPRINGS RD	FRANCO LUIZ L GUIMARES &
118	4414 CEDAR SPRINGS RD	AGUIRRE PATRICIA
119	4605 CEDAR SPRINGS RD	GRANADO HERIBERTO &

09/22/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
120	4605 CEDAR SPRINGS RD	MAYES JUSTIN
121	4605 CEDAR SPRINGS RD	ONEILLWARREN DEIDRE
122	4605 CEDAR SPRINGS RD	LONG JAMES D
123	4605 CEDAR SPRINGS RD	NOWAK KEITH
124	4605 CEDAR SPRINGS RD	CRAWFORD STEVEN B
125	4605 CEDAR SPRINGS RD	NGUYEN STEPHEN K
126	4605 CEDAR SPRINGS RD	ORMBREK JACK
127	4605 CEDAR SPRINGS RD	PERAZA ELIER
128	4605 CEDAR SPRINGS RD	KRUEGER DALE J JR
129	4605 CEDAR SPRINGS RD	TRAVIESO ANDRE G
130	4605 CEDAR SPRINGS RD	PIPER JANAYE
131	4605 CEDAR SPRINGS RD	HEUER DANIEL
132	4605 CEDAR SPRINGS RD	BALACHANDRAN NAVEEN
133	4605 CEDAR SPRINGS RD	POLE RAJEEV & PRITHVIRAJ
134	4605 CEDAR SPRINGS RD	OAKLAWN PROPERTIES LLC
135	4605 CEDAR SPRINGS RD	CROCKETT JASMINE F
136	4605 CEDAR SPRINGS RD	BROWN TONY LEE JR
137	4605 CEDAR SPRINGS RD	CRAVENS JOSHUA DAVID
138	4605 CEDAR SPRINGS RD	ROUMIANTSEVA DARIA
139	4605 CEDAR SPRINGS RD	HENSON CHRISTOPHER
140	4605 CEDAR SPRINGS RD	BIERNIAK MAREK O & ANNA M
141	4605 CEDAR SPRINGS RD	CLARE RHETT
142	4605 CEDAR SPRINGS RD	TURNER CRAIG & LAUREN
143	4605 CEDAR SPRINGS RD	HOLLAND JAMES HOWARD
144	4605 CEDAR SPRINGS RD	FOUST ERNEST L
145	4605 CEDAR SPRINGS RD	MCCARTHY EDMOND JR & MARY
146	4605 CEDAR SPRINGS RD	GOMEZ RITA CERVANTES
147	4605 CEDAR SPRINGS RD	SAMI ARJAMAND
148	4605 CEDAR SPRINGS RD	MONTALVO HENRY S & CARY L
149	4605 CEDAR SPRINGS RD	THOMAS TEENA
150	4605 CEDAR SPRINGS RD	LYNN LAUREN A

09/22/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
151	4605 CEDAR SPRINGS RD	HUNG CHARING
152	4605 CEDAR SPRINGS RD	BEARIST GROUP LLC
153	4605 CEDAR SPRINGS RD	TANANA VADZIM
154	4605 CEDAR SPRINGS RD	SAMENI FALLAH SAM
155	4605 CEDAR SPRINGS RD	POLUNSKY LEE N
156	4605 CEDAR SPRINGS RD	PARK YOUNG HWAN &
157	4605 CEDAR SPRINGS RD	ARAUJO REUBEN
158	4605 CEDAR SPRINGS RD	BAO PAUL XIAPEI &
159	4605 CEDAR SPRINGS RD	ROLAND CAROLINE
160	4605 CEDAR SPRINGS RD	BOWERS MATTHEW S
161	4605 CEDAR SPRINGS RD	KAUL BUPESH & RITA
162	4605 CEDAR SPRINGS RD	JACOBS DAVID A
163	4605 CEDAR SPRINGS RD	NOTO ANGELA
164	4605 CEDAR SPRINGS RD	ROUM KEVIN S
165	4605 CEDAR SPRINGS RD	SKOFF LINDA
166	4605 CEDAR SPRINGS RD	LY TU ANH &
167	4605 CEDAR SPRINGS RD	SYED SANA SALMA
168	4605 CEDAR SPRINGS RD	
169	4605 CEDAR SPRINGS RD	JIAO RHODA
170	4605 CEDAR SPRINGS RD	AMIN ABDUL HAFIZ
171	4605 CEDAR SPRINGS RD	JOHNS JOEY
172	4605 CEDAR SPRINGS RD	PAULUS MICHAEL
173	4605 CEDAR SPRINGS RD	SEVART JOSEPH W
174	4605 CEDAR SPRINGS RD	PANZA LUCY G & NICHOLAS P
175	4605 CEDAR SPRINGS RD	THIBODEAU MARK
176	4605 CEDAR SPRINGS RD	JONES JAMES A
177	4605 CEDAR SPRINGS RD	FORRETTE PHILLIP H
178	4605 CEDAR SPRINGS RD	FINCK MARK B
179	4605 CEDAR SPRINGS RD	OBALK ANETA K
180	4605 CEDAR SPRINGS RD	HAMEDANI BAHAR
181	4605 CEDAR SPRINGS RD	BARNETT JESSICA E

09/22/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
182	4605 CEDAR SPRINGS RD	HU RANDOLF
183	4605 CEDAR SPRINGS RD	LIN TONY &
184	4605 CEDAR SPRINGS RD	DEGG REBECCA ANN
185	4605 CEDAR SPRINGS RD	JOHN SANGITA ELIZABETH &
186	4605 CEDAR SPRINGS RD	SKOFF DALE A
187	4605 CEDAR SPRINGS RD	WANG YIFAN
188	4605 CEDAR SPRINGS RD	VIDARTE ALIONA V
189	4605 CEDAR SPRINGS RD	ZHANG YUE
190	4605 CEDAR SPRINGS RD	PICKENS DOUGLAS R
191	4605 CEDAR SPRINGS RD	LANGHAM STUART
192	4605 CEDAR SPRINGS RD	YOUSUF SARA G
193	4605 CEDAR SPRINGS RD	WASHBURN MATTHEW SAXTON
194	4605 CEDAR SPRINGS RD	CARVALHO MARCO A
195	4605 CEDAR SPRINGS RD	CHOI WON JOON
196	4605 CEDAR SPRINGS RD	LIN CHENYING
197	4605 CEDAR SPRINGS RD	LEVY ALISSA
198	4605 CEDAR SPRINGS RD	MILLER IRYNA
199	4605 CEDAR SPRINGS RD	BENNETT FAMILY LIVING TRUST THE

Planner: Warren F. Ellis

FILE NUMBER:	Z167-381(WE)	DATE FILED:	August 24, 2017
LOCATION:	South Belt Line Road and Garden Grove Drive, north corner		
COUNCIL DISTRICT:	8	MAPSCO:	69A-M, 70-J
SIZE OF REQUEST:	Approx. 3.184 acres	CENSUS TRACT:	171.01

APPLICANT/OWNER: Golden Star Holdings, LLC,/Aziz Jiwani, Manager

REPRESENTATIVE: Roger Albright

REQUEST: An application for a CR Community Retail District with a D-1 Liquor Control Overlay on a portion and a Specific Use Permit for a mini-warehouse use on property zoned an R-10(A) Single Family District and NS(A) D-1 Neighborhood Service District with a D-1 Liquor Control Overlay on a portion.

SUMMARY: The purpose of this request is to allow for the construction of approximately 54,730 square feet of storage space consisting of five, one-story structures. The proposed mini-warehouse use will include a 1,000-square-foot accessory office for the caretaker quarters.

STAFF RECOMMENDATION: Denial.

BACKGROUND INFORMATION:

- The request site is undeveloped.
- The applicant's request for a CR Community Retail District and a Specific Use Permit will allow for development of a mini-warehouse use. The CR Community Retail District permits mini-warehouse uses by a Specific Use Permit.
- The request site is contiguous to undeveloped tracts of land that are zoned for R-10(A) Single Family District uses and NS(A) Neighborhood Service District uses. Properties located southwest of the site, across Garden Grove Drive are developed with single family uses and an undeveloped tract of land. In addition, there are several properties that are located southeast of the site, across South Belt Line Road, that are developed with single family uses and an undeveloped tract of land.

Zoning History: There has been one zoning change requested in the area within the past five years.

1. Z156-289 On February 22, 2017, the City Council approved a CR Community Retail District with volunteered deed restrictions and **denied** the request for a Specific Use Permit for the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
S. Belt Line Road	Principal Arterial	80 ft.	80 ft.
Garden Grove Drive	Local Street	60 ft.	60 ft.

Land Use:

	Zoning	Land Use
Site	R-10(A), NS(A)-D-1	Undeveloped
Northeast	R-10(A), D(A)	Single Family
Southeast	NS(A)-D-1, PDD No. 777 with D-1, SUP No. 1886	Undeveloped, General merchandise or food store
Northwest	R-10(A), R-7.5(A)	Single Family
Southwest	CR-D-1 with DR, PDD No. 777, SUP No. 1886	Undeveloped, General merchandise or food store

COMPREHENSIVE PLAN:

The *fowardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *fowardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

LAND USE

GOAL 1.2 PROMOTE DESIRED DEVELOPMENT

Policy 1.2.1 Use Vision Building Blocks as a general guide for desired development patterns.

While the use could provide a service to neighborhood residents, it may not be a desirable long-term use envisioned by the West Kleberg Community Plan.

West Kleberg Community Plan (2007):

The West Kleberg Community Plan identified a vision statement: To reflect "Old Kleberg's" historical heritage, to promote a strong rural atmosphere, to allow for future growth with sensitivity to future amenities and infrastructure of a modern urban environment. Long-time residents seem to have mixed feelings about growth, noting on one side the negative impacts of crowds, noise, traffic, and pollution, while acknowledging the benefits of improved public services, better schools, and new neighborhood-serving retail and commercial business locating to the area.

The subject site is located within Sub-area 1, which is comprised of approximately 2,047 acres of which 46 percent was vacant or undeveloped, and 33 percent was comprised of Single Family (SF) uses at publication in 2007.

Commercial service and retail uses are dominant along Highway 175, with a concentration of these uses between Edd and Belt Line Roads. The West Kleberg community desires to encourage economic development along its main corridors, namely Highway 175 and Belt Line Road. A retail gap analysis completed with the plan identified that residents of this area were likely to spend in nearby Balch Springs or the city of Mesquite. Retail facilities are not sufficiently available. This analysis may not accurately reflect the preferences of households within the study area; however, it can serve as a source for future projections for these types of services needed within this sector of Dallas.

The Future Vision Map depicts a 1,000-foot buffer zone as ideal for business development along the Highway 175-freeway corridor. Land assemblage may be required to develop in these areas to construct uses such as a hospital, bank, mix use project and so on. Business nodes to possibly stimulate economic activity are earmarked at the intersections of Seagoville and Belt Line Roads, Highway 175, and Belt Line Road and Kleberg and Belt Line Road. The subject site is within that buffer

zone. Furthermore, a Visioning Activity conducted at a community meeting identified the top 20 Community “Needs & Desires” as indicated below.

The proposed use was not a consideration in the vision for Sub-area 1.

TABLE 12: VISIONING ACTIVITY – COMMUNITY “NEEDS & DESIRES”

1. Bank	11. Ice Rink
2. Big Box (Lowe’s and Sam’s)	12. Mid-rise Mixed Use
3. Bookstore	13. Museum
4. Central Market	14. New Auto Dealership
5. Cinema	15. Office
6. Doctor Offices	16. Outlet and/or Mini-Malls
7. Drug Store	17. Research & Development Uses
8. Gas Station	18. Restaurants
9. Hospital	19. Small Shops
10. Hotel/Conference Center	20. Ice Cream Parlor (i.e., Braum’s)

STAFF ANALYSIS:

Land Use Compatibility: The land uses adjacent to the request site are developed with single family uses. The request site has frontages on South Belt Line Road and Garden Grove Road and the proposed mini-warehouse use will have access from Garden Grove Road. The property south of the request site, across South Belt Line Road is developed with neighborhood retail development [PDD No. 777 with a SUP No. 1886].

The applicant’s request for a CR Community Retail District and a SUP will allow for the construction of approximately 54,730 square feet of storage space consisting of five, one-story structures. The proposed mini-warehouse use will include a 1,000-square-foot accessory office for the caretaker quarters. The proposed mini-warehouse use will have requirements for building materials to exclude materials that may not be consistent with the surrounding residential developments. A minimum of 80 percent brick concrete masonry unit split face, stone or cementitious fiberboard siding, excluding fenestration will be required. The maximum structure height is 29 feet. The applicant will comply with the development regulations in the CR District. In addition, the hours of operation proposed is from 6:00 a.m. to 9:00 p.m., Monday through Sunday

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character

of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The request does not appear to have an adverse impact on the surrounding zoning and land uses.

Even though the proposed development could serve the community in the short term and the applicant has provided a large buffer area due to the residential adjacency, staff cannot support the request because of the community's vision for the type of uses that are desired in the area. Also, staff is aware that there have not been any improvements to the site in over 10 years.

Development Standards:

DISTRICT	SETBACKS		Density	Height	Lot Coverage	Special Standards	PRIMARY Uses
	Front	Side/Rear					
R-10(A) - existing Single Family	30'	6'	1 Dwelling Unit/ 10,000 sq. ft.	30'	45%		Single family
NS(A) - existing Neighborhood service	15'	20' adjacent to residential OTHER: No Min.	0.5 FAR	30' 2 stories	40%		Retail & personal service, office
CR - proposed Community retail	15'	20' adjacent to residential OTHER: No Min.	0.75 FAR overall 0.5 office	54' 4 stories	60%	Proximity Slope Visual Intrusion	Retail & personal service, office

Landscaping: Landscaping of any development will be in accordance with Article X, as amended. Due the residential adjacency to the north and west, the applicant is required to provide a minimum 10-foot landscape buffer strip along the entire perimeter of the site that is adjacent to the residential property. The applicant is providing at least a 27-foot buffer strip between the proposed mini-warehouse use and the single family uses. If the City Plan Commission recommends approval, the applicant will revise the site plan to reflect the requirements that are outlined in item #1 below.

The development code also requires the following plant materials in a landscape buffer strip:

(1) If a fence with a buffer strip is required along any part of the perimeter of a lot, the buffer strip must contain either one large canopy tree or two large non-canopy trees at a minimum average density of one large canopy tree or two large non-canopy trees for each 50 linear feet of the buffer strip, with new trees spaced no less than 25 feet apart.

(2) When a fence is not provided, the applicant will have to comply with the design standards and must contain one of the following groups of plant materials at a minimum average density of one group for each 50 linear feet of the buffer strip:

- (i) One large canopy tree and one large non-canopy tree.
- (ii) One large canopy tree and three small trees.
- (iii) One large canopy tree and three large evergreen shrubs.
- (iv) One large canopy tree, two small trees, and one large evergreen shrub.
- (v) One large canopy tree, one small tree, and two large evergreen shrubs.
- (vi) Two large non-canopy trees.

Parking: The off-street parking requirement for a mini-warehouse use is a minimum of six spaces. Spaces may not be used for outside storage, vehicle storage, or parking for vehicles for rent. The applicant is providing seven off-street parking spaces.

APPLICANT'S PROPOSED SUP CONDITIONS
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1. USE: The only use authorized by this specific use permit is a mini-warehouse use.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on_____, (ten-year period from the passage of this ordinance), but is eligible for automatic renewal for additional ten-year periods, pursuant to Section 51A-4.219 of Chapter 51A of the Dallas City Code, as amended. For automatic renewal to occur, the Property owner must file a complete application for automatic renewal with the director before the expiration of the current period. Failure to timely file a complete application will render this specific use permit ineligible for automatic renewal. (Note: The Code currently provides that applications for automatic renewal must be filed after the 180th but before the 120th day before the expiration of the current specific use permit period. The Property owner is responsible for checking the Code for possible revisions to this provision. The deadline for applications for automatic renewal is strictly enforced).
4. FLOOR AREA:
 - a. The maximum floor area is 54,730 square feet.
 - b. Maximum floor area for the accessory office is 1,000 square feet in the location shown on the attached site plan.
5. HOURS OF OPERATION: The mini-warehouse may only operate between 6:00 a.m. and 9:00 p.m., Monday through Sunday.
6. OUTSIDE STORAGE: Outside storage of vehicles, parking for vehicles for rent, boats, and /or equipment is prohibited.
7. HEIGHT: The use authorized by this specific use permit may not exceed 29 feet in height.
8. MATERIALS: The exterior facades must be a minimum 80 percent brick concrete masonry unit split face, stone or cementitious fiberboard siding, excluding fenestration.
9. FENCE: A minimum 6-foot wrought iron fence, is required in the location as shown on the landscape plan.

10. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
11. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.

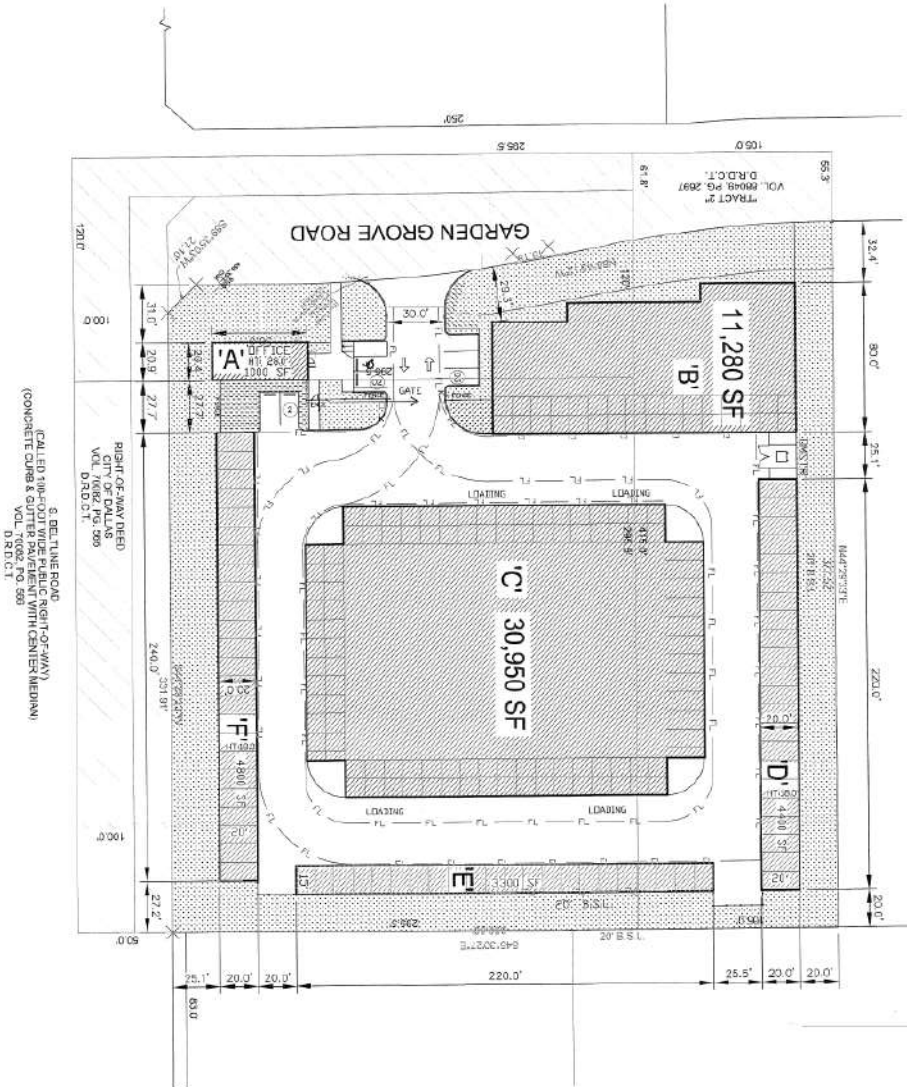
PROPOSED SITE PLAN

LOT	125,713 SF	100%
IMP COVER	91,592 SF	73%
PER CVR	34,121 SF	27%

BUILDING AREA SUMMARY

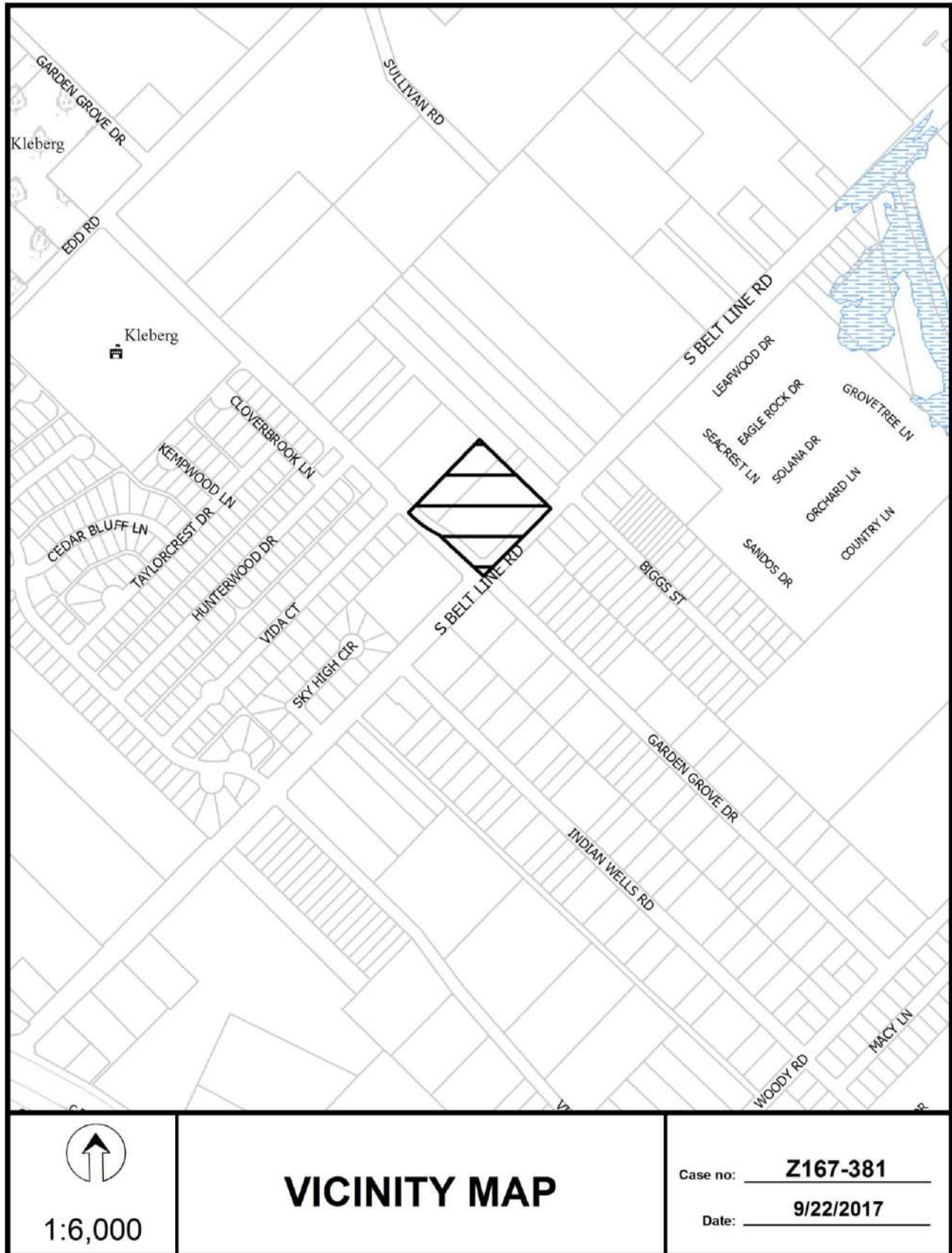
REVISED 09-26-17

BLDG	AREA	MAXIMUM HEIGHT
'B'	11,280 SF	16.8'
'C'	30,950 SF	20.8'
'D'	4,400 SF	13.8'
'E'	3,300 SF	13.8'
'F'	4,800 SF	13.8'
STORAGE	54,730 SF	
OFFICE 'A'	1,000 SF	29'
TOTAL	55,730 SF	



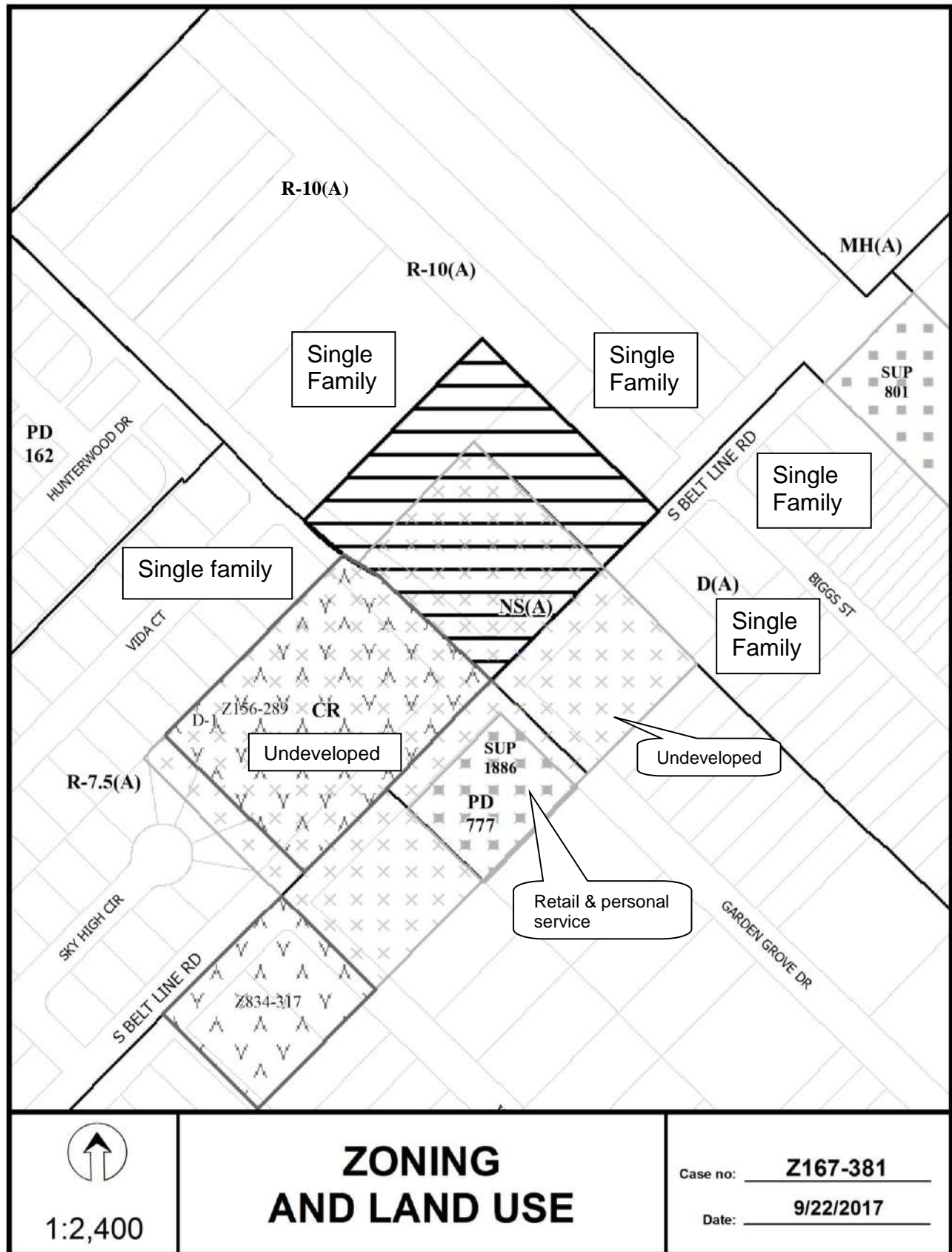


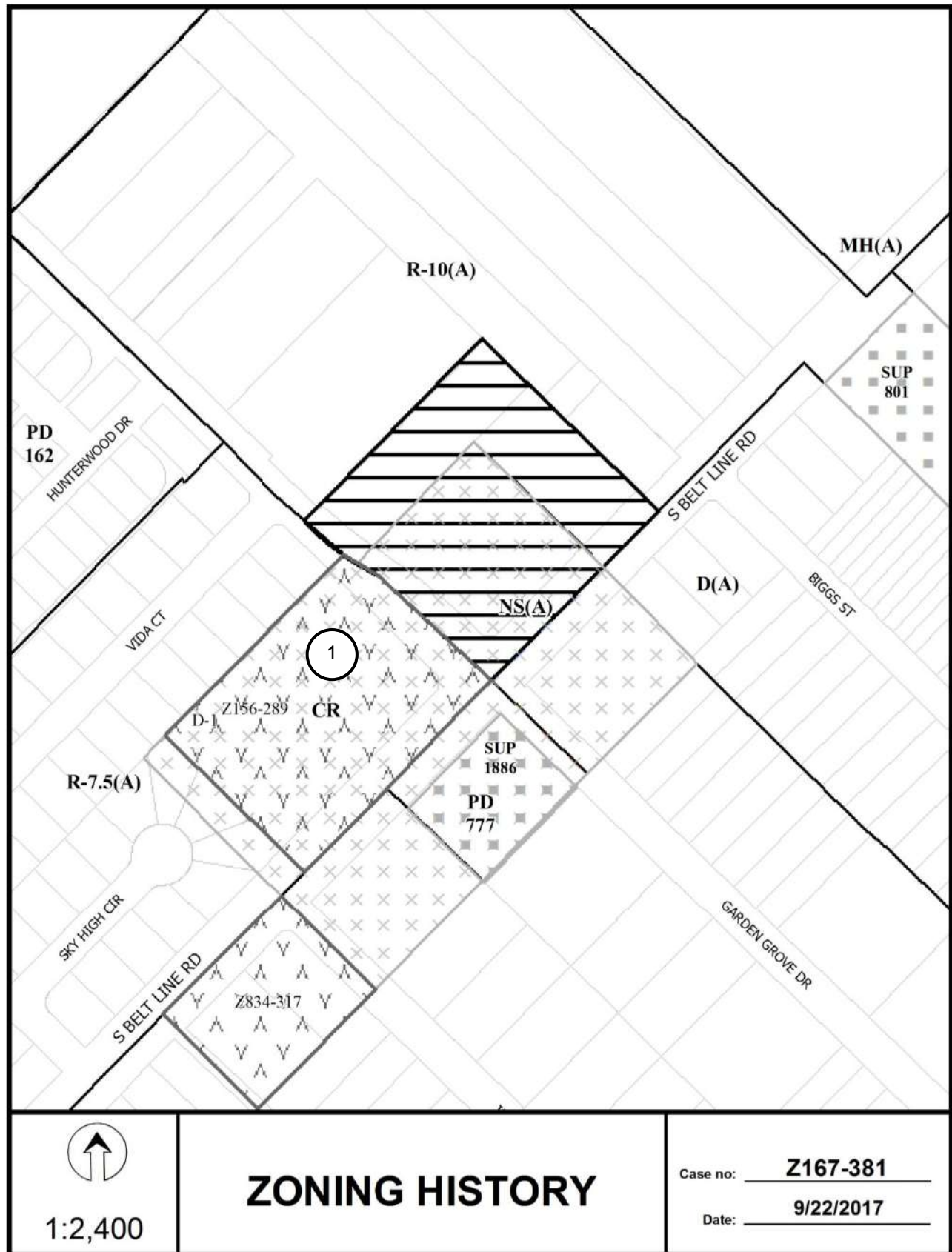
Z167-381(WE)

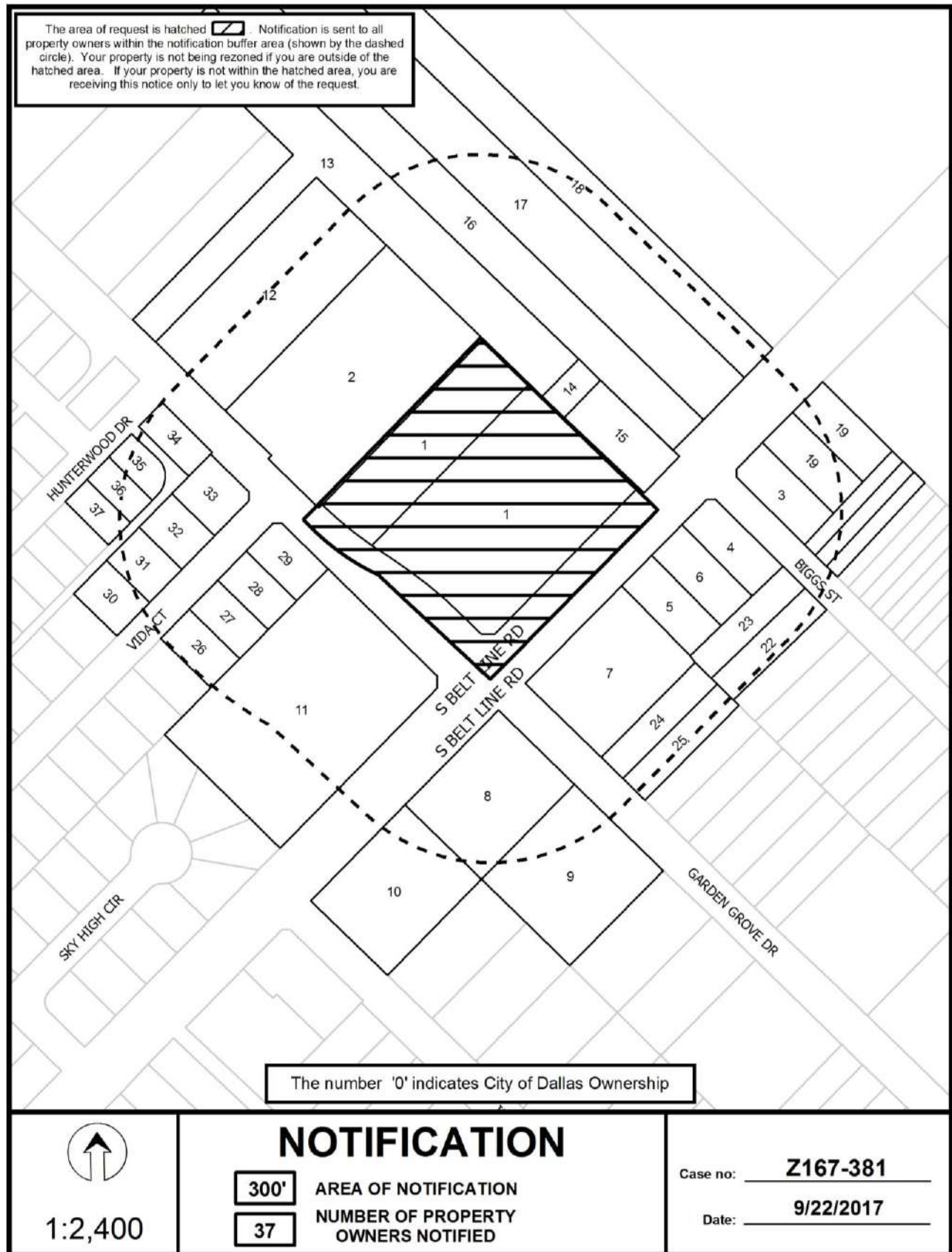


Z167-381(WE)









Notification List of Property Owners

Z167-381

37 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	1429 S BELTLINE RD	DALLAS METRO HOLDINGS LLC
2	13435 GARDEN GROVE DR	ORTIZ JOSE & BELEN
3	1416 S BELTLINE RD	HINKLE DAKOTA KEITH &
4	1430 S BELTLINE RD	VOYLES E JANE
5	1442 S BELTLINE RD	HUMPHRIES KENNETH
6	1436 S BELTLINE RD	MCCOY LARRY D & LAURA M
7	1448 S BELTLINE RD	MORALES ELSA
8	1512 BELT LINE RD	WALNUT HILLTOP CORP
9	13624 GARDEN GROVE DR	LUNA RUBEN
10	13601 INDIAN WELLS RD	CHAVEZ RAQUEL &
11	1500 S BELTLINE RD	1500 S BELTLINE LLC
12	13405 GARDEN GROVE DR	AMADOR ADRIAN &
13	13327 GARDEN GROVE DR	SOTO GUADALUPE
14	1421 S BELTLINE RD	CLEPPER STEVEN & KATHY J
15	1421 S BELTLINE RD	GREEN NELLIE
16	1415 S BELTLINE RD	EASTER AVAN SR
17	1407 S BELTLINE RD	EASTER AVAN SR
18	1343 S BELTLINE RD	ONTIVEROS FRANCISCO J
19	1408 BELTLINE RD	WHITE CLOUD REALTY SERVICES INC
20	13615 BIGGS ST	TIONLOC ALEXANDER C
21	13621 BIGGS ST	TIONLOC ANTHONY
22	13618 BIGGS ST	LEMUS JUAN J & YANIRA C
23	13612 BIGGS ST	VOYLES KENNETH
24	13621 GARDEN GROVE DR	DELEON JOEL &
25	13625 GARDEN GROVE DR	ROGERS KRYSTAL M &
26	1512 VIDA CT	HUNTSBERRY JACQUELINE

Z167-278(WE)

09/22/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	1508 VIDA CT	DIAZ LUIS C & NANCY
28	1504 VIDA CT	GASPARMARTINEZ JHONATAN MISCHIEL
29	1500 VIDA CT	GUILLEN ISAIAS
30	1519 VIDA CT	WAGGONER DON & ELVIA
31	1515 VIDA CT	EUCEDA INVESTMENTS CORP
32	1511 VIDA CT	KENTVILLE LLC
33	1507 VIDA CT	KIRKS PROPERTY DEVELOPMENT LLC
34	1504 HUNTERWOOD DR	GM CAPITAL LLC
35	1508 HUNTERWOOD DR	WARD OPELENE
36	1512 HUNTERWOOD DR	CHILDS BRIAN
37	1516 HUNTERWOOD DR	NASCIMENTO JOAQUIM CARLOS

Planner: Sarah May**FILE NUMBER:** Z167-370(SM) **DATE FILED:** August 8, 2017**LOCATION:** Southwest corner of Harry Hines Boulevard and Willowbrook Road**COUNCIL DISTRICT:** 6 **MAPSCO:** 23W**SIZE OF REQUEST:** Approx. 6.474 acres **CENSUS TRACT:** 99.00

APPLICANT / OWNER: Bhagat Holdings, Ltd.**REPRESENTATIVE:** Tailim Song Law Firm**REQUEST:** An application for the renewal of Specific Use Permit No. 2104 for an alcoholic beverage establishment, limited to a bar, lounge, or tavern, on property zoned an MU-3 Mixed Use District.**SUMMARY:** The applicant requests the renewal of SUP No. 2104 to continue the operation of the existing bar [Kalua Discotheque].**STAFF RECOMMENDATION:** Denial.

BACKGROUND INFORMATION:

- The site is developed with three structures constructed in 1984, according to Dallas Central Appraisal District Records. The southernmost building was originally used for office and personal service tenants, according to permit records.
- On April 22, 2011, Certificate of Occupancy No. 1007151101 was issued to Saul Cordona [DBA Kalua Discotheque] for a 16,965-square-foot commercial amusement (inside) use with a dance hall. Notes on this certificate of occupancy also indicated a shared parking agreement with other uses on site.
- On September 24, 2014, City Council approved SUP No. 2104 for a 17,557-square foot bar, lounge, or tavern use within the southernmost structure on the site.
- On September 4, 2015, Certificate of Occupancy No. 1406131114 was issued to Kalua, LLC [DBA Kalua Discotheque] for a 16,965-square foot commercial amusement (inside) use with a dance hall.

Zoning History: There has been no recent zoning activity in the immediate area relevant to this request.

Traffic: The Engineering Division of the Sustainable Development and Construction Department has reviewed the requested amendment and has no objection to the request.

<u>Thoroughfare/Street</u>	<u>Designation</u>	<u>Thoroughfare Roadway Section</u>
Harry Hines Boulevard	Principal Arterial	Standard-8 lanes-Divided; 130' ROW
Willowbrook Road	Local	55' ROW

Comprehensive Plan: The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The proposed zoning request meets the following goal and objective of the comprehensive plan.

Economic Element

Goal 2.1 Promote balanced growth

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions.

STAFF ANALYSIS:

Surrounding Land Uses:

Location	Zoning	Land Use
Site	MU-3 with SUP Nos. 2104, 2105, 2106	Shopping center
North	IR and MU-3	Office/showroom/warehouse and retail store with gas
East	CS and IR	Drive through restaurants, retail with gas, and undeveloped
South	MU-3	Auto sales
West	CS	Warehouse

Land Use Compatibility:

The request site is developed with three one-story, masonry, multi-tenant shopping center structures. The bar, lounge, or tavern use for the existing SUP occupies the majority of southernmost building.

Surrounding land uses of the shopping center consist of an office/showroom/warehouse use and gas station to the north; two drive-through restaurants are located adjacent to the shopping center to the east, undeveloped land and another gas station are located on the opposite side of Harry Hines Boulevard to the east; a third gas station and a nonconforming auto sales use is located to the south, and a warehouse is located opposite of a 75-foot wide drainage easement to the west.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the

health, safety, morals, and general welfare of the city.

Staff recommends denial of the continued operation of the use because the following police reports suggest that this use does not meet the standards of approval for a specific use permit as it is seen to be detrimental to the public health, safety, or general welfare.

Off-Street Parking:

The existing SUP site plan shows an overall 364 parking spaces in the shopping center. The parking analysis on the existing SUP site plan shows there are two dance floors (990 and 1904 square feet each) within an overall 17,557-square foot suite. Dance floors cannot be an accessory use and therefore are required to provide one space per 25 square feet of dance floor area which results in 116 spaces for the dance floors of this suite. The remainder of the overall suite, 14,663 square feet, is required to provide one space per 100 square feet of floor area for either a commercial amusement (inside) use that is not a dance floor or for a bar, lounge, or tavern use, which results in an additional 147 spaces for the area outside of the dance floors. These two requirements total 263 spaces for this suite within the shopping center.

According to the two previously issued Certificates of Occupancy (COs), the overall floor area of this suite was 16,965 square feet and the notes on the COs say that 259 spaces are required and provided. Comments on the 2010 interior remodel permit issued to convert the space from personal service and office uses to a dance hall note a shared parking agreement with other uses in the shopping center. However, the shared parking agreement was not located in the permit files at Building Inspection.

Police Reports: The following three lists (crime, arrests, and calls) were obtained by staff from the Dallas Police Department. An Excel spreadsheet can be viewed on the CPC page under the plans link.

Crime, Jan 1 2016 - Sep 20 2017				
Incident No.	Date	Time	UCR_Offense	Address
190963-2017	8/21/2017	1:00	Robbery-Individual	2435 W Northwest Hwy
184160-2017	8/13/2017	3:00	Assault	2435 W Northwest Serv N
166983-2017	7/22/2017	21:00	Assault	2435 W Northwest Hwy
161387-2017	7/16/2017	3:55	Assault	2435 W Northwest Hwy
138507-2017	6/19/2017	2:30	Agg Assault - NFV	2435 W Northwest Hwy
100161-2017	5/5/2017	3:00	Assault	2435 W Northwest Serv N
085367-2017	4/17/2017	2:00	Agg Assault - NFV	2435 W Northwest Hwy

085290-2017	4/17/2017	0:05	Other Thefts	2435 W Northwest Hwy
084575-2017	4/15/2017	23:30	Assault	2435 W Northwest Hwy
079461-2017	4/10/2017	1:00	Agg Assault - NFV	2435 W Northwest Hwy
Crime, Jan 1 2016 - Sep 20 2017 (continued)				
Incident No.	Date	Time	Ucr_Offense	Address
072999-2017	4/3/2017	2:30	Agg Assault - FV	2435 W Northwest Hwy
067437-2017	3/25/2017	22:00	UUMV	2435 W Northwest Hwy
039463-2017	2/19/2017	2:00	Agg Assault - NFV	2435 W Northwest Hwy
039463-2017	2/19/2017	2:00	Fail To ID	2435 W Northwest Hwy
039623-2017	2/19/2017	0:00	Assault	2435 W Northwest Hwy
306291-2016	12/24/2016	5:00	Robbery-Individual	2435 W Northwest Hwy
303084-2016	12/19/2016	2:00	Assault	2435 W Northwest Hwy
272341-2016	11/14/2016	0:10	Assault	2435 W Northwest Hwy
252218-2016	10/17/2016	10:00	UUMV	2435 W Northwest Hwy
248326-2016	10/16/2016	1:30	Agg Assault - NFV	2435 W Northwest Serv N
247572-2016	10/15/2016	1:35	Assault	2435 W Northwest Hwy
242511-2016	10/9/2016	0:00	Vandalism & Crim Mischief	2435 W Northwest Hwy
226173-2016	9/19/2016	3:00	Robbery-Individual	2435 W Northwest Serv N
223959-2016	9/16/2016	23:00	UUMV	2435 W Northwest Hwy
213778-2016	9/5/2016	3:40	Disorderly Conduct	2435 W Northwest Hwy
213778-2016	9/5/2016	3:40	Disorderly Conduct	2435 W Northwest Hwy
207751-2016	8/29/2016	3:00	Resist Arrest	2435 W Northwest Hwy
206977-2016	8/28/2016	0:00	Embezzlement	2435 W Northwest Hwy
184465-2016	7/29/2016	2:30	Assault	2435 W Northwest Hwy
154358-2016	6/26/2016	2:00	Assault	2435 W Northwest Hwy
154424-2016	6/26/2016	1:45	Agg Assault - NFV	2435 W Northwest Hwy
154424-2016	6/26/2016	1:45	Agg Assault - NFV	2435 W Northwest Hwy
128547-2016	5/29/2016	1:30	Assault	2435 W Northwest Hwy
072628-2016	3/27/2016	2:45	Criminal Trespass	2435 W Northwest Hwy
059700-2016	3/11/2016	23:00	UUMV	2435 W Northwest Hwy
035372-2016	2/13/2016	2:53	Vandalism & Crim Mischief	2435 W Northwest Hwy
011416-2016	1/15/2016	2:00	Assault	2435 W Northwest Hwy
001078-2016	1/2/2016	0:00	Other Thefts	2435 W Northwest Hwy
000226-2016	1/1/2016	0:00	Agg Assault - Nfv	2435 W Northwest Hwy

Arrests, Jan 1 2016 - Sep 20 2017						
Incident No.	Arrest No. ID	Arrest No.	Date	Time	Charge Description	Address
205475-2017	0036906-2017	17-036906	9/8/2017	0:40	Warrant-Dallas PD (ALIAS)	2435 W Northwest Hwy
195015-2017	0035096-2017	17-035096	8/26/2017	23:00	Public Intoxication	2435 W Northwest Serv N
195015-2017	0035101-2017	17-035101	8/26/2017	2:30	Public Intoxication	2435 W Northwest Serv N
195015-2017	0035103-2017	17-035103	8/26/2017	2:30	Public Intoxication	2435 W Northwest Serv N
184067-2017	0033198-2017	17-033198	8/13/2017	1:19	Public Intoxication	2435 W Northwest Serv N
172769-2017	0031241-2017	17-031241	7/30/2017	2:15	Public Intoxication	2435 W Northwest Serv N
161998-2017	0029356-2017	17-029356	7/17/2017	0:46	Public Intoxication	2435 W Northwest Hwy
161350-2017	0029248-2017	17-029248	7/16/2017	3:15	Warrant Hold (Outside Agency)	2435 W Northwest Serv N
161350-2017	0029248-2017	17-029248	7/16/2017	3:15	Warrant-Dallas PD (ALIAS)	2435 W Northwest Serv N
125687-2017	0022868-2017	17-022868	6/4/2017	0:40	Public Intoxication	2435 W Northwest Serv N
120525-2017	0021981-2017	17-021981	5/29/2017	2:50	Public Intoxication	2435 W Northwest Serv N
113040-2017	0020640-2017	17-020640	5/20/2017	2:46	Public Intoxication	2435 W Northwest Serv N
100949-2017	0018424-2017	17-018424	5/6/2017	0:10	Public Intoxication	2435 W Northwest Hwy
101029-2017	0018441-2017	17-018441	5/6/2017	0:10	Poss Cont Sub Pen Grp 1 <1g	2435 W Northwest Hwy
101029-2017	0018441-2017	17-018441	5/6/2017	0:10	Public Intoxication	2435 W Northwest Hwy
100166-2017	0018283-2017	17-018283	5/5/2017	3:15	Public Intoxication	2435 W Northwest Serv N
094334-2017	0017221-2017	17-017221	4/28/2017	2:30	Public Intoxication	2435 W Northwest Hwy
094334-2017	0017224-2017	17-017224	4/28/2017	2:30	Public Intoxication	2435 W Northwest Hwy
094334-2017	0017226-2017	17-017226	4/28/2017	2:30	Public Intoxication	2435 W Northwest Hwy
088758-2017	0016255-2017	17-016255	4/21/2017	2:50	Public Intoxication	2435 W Northwest Hwy
085377-2017	0015603-2017	17-015603	4/17/2017	2:20	Public Intoxication	2435 W Northwest Hwy

Arrests, Jan 1 2016 - Sep 20 2017 (continued)						
Incident No.	Arrest No. ID	Arrest No.	Date	Time	Charge Description	Address
085367-2017	0015602-2017	17-015602	4/17/2017	2:00	Assault (Agg) - Deadly Weapon	2435 W Northwest Serv N
084631-2017	0015467-2017	17-015467	4/16/2017	2:00	Public Intoxication	2435 W Northwest Serv N
084631-2017	0015469-2017	17-015469	4/16/2017	2:00	Public Intoxication	2435 W Northwest Serv N
084548-2017	0015452-2017	17-015452	4/16/2017	0:20	Public Intoxication	2435 W Northwest Hwy
084548-2017	0015455-2017	17-015455	4/16/2017	0:20	Public Intoxication	2435 W Northwest Hwy
079446-2017	0014436-2017	17-014436	4/10/2017	1:45	Warrant-Dallas PD (ALIAS)	2435 W Northwest Hwy
079461-2017	0014440-2017	17-014440	4/10/2017	1:30	Assault (Agg) - Serious Bodily Injury	2435 W Northwest Serv N
059791-2017	0010716-2017	17-010716	3/17/2017	2:20	Public Intoxication	2435 W Northwest Hwy
059791-2017	0010720-2017	17-010720	3/17/2017	2:20	Public Intoxication	2435 W Northwest Hwy
058278-2017	0010423-2017	17-010423	3/15/2017	2:35	Public Intoxication	2435 W Northwest Serv N
056027-2017	0010031-2017	17-010031	3/12/2017	3:35	Public Intoxication	2435 W Northwest Serv N
048961-2017	0008697-2017	17-008697	3/3/2017	1:54	Public Intoxication	2435 W Northwest Hwy
048961-2017	0008696-2017	17-008696	3/3/2017	1:49	Public Intoxication	2435 W Northwest Hwy
039463-2017	0006917-2017	17-006917	2/19/2017	2:00	Assault (Agg) - Deadly Weapon	2435 W Northwest Hwy
039463-2017	0006917-2017	17-006917	2/19/2017	2:00	Fail To ID - Intentionally Provides False Info	2435 W Northwest Hwy
037906-2017	0006586-2017	17-006586	2/17/2017	0:15	Public Intoxication	2435 W Northwest Hwy
033094-2017	0005684-2017	17-005684	2/11/2017	1:06	Public Intoxication	2435 W Northwest Serv N
022283-2017	0003733-2017	17-003733	1/29/2017	1:00	Public Intoxication	2435 W Northwest Serv N
288599-2016	0050900-2016	16-050900	12/4/2016	1:43	Public Intoxication	2435 W Northwest Serv N
288599-2016	0050899-2016	16-050899	12/4/2016	1:00	Public Intoxication	2435 W Northwest Serv N

Arrests, Jan 1 2016 - Sep 20 2017 (continued)						
Incident No.	Arrest No. ID	Arrest No.	Date	Time	Charge Description	Address
282717-2016	0050027-2016	16-050027	11/27/2016	1:30	Fail To ID - Intentionally Provides False Info	2435 W Northwest Serv N
282717-2016	0050027-2016	16-050027	11/27/2016	1:30	Interfere W/ Public Duties	2435 W Northwest Serv N
282717-2016	0050027-2016	16-050027	11/27/2016	1:30	Public Intoxication	2435 W Northwest Serv N
282717-2016	0050031-2016	16-050031	11/27/2016	1:30	Fail To ID - Intentionally Provides False Info	2435 W Northwest Serv N
282717-2016	0050031-2016	16-050031	11/27/2016	1:30	Interfere W/ Public Duties	2435 W Northwest Serv N
282717-2016	0050031-2016	16-050031	11/27/2016	1:30	Public Intoxication	2435 W Northwest Serv N
271620-2016	0048228-2016	16-048228	11/13/2016	1:15	Warrant Hold (Outside Agency)	2435 W Northwest Serv N
265881-2016	0047322-2016	16-047322	11/6/2016	1:15	Public Intoxication	2435 W Northwest Serv N
252738-2016	0045200-2016	16-045200	10/21/2016	3:28	Warrant-Dallas PD (Alias)	2435 W Northwest Serv N
252688-2016	0045183-2016	16-045183	10/21/2016	1:40	Public Intoxication	2435 W Northwest Hwy
242519-2016	0043522-2016	16-043522	10/9/2016	3:00	Public Intoxication	2435 W Northwest Serv N
242519-2016	0043523-2016	16-043523	10/9/2016	3:00	Public Intoxication	2435 W Northwest Serv N
230718-2016	0041881-2016	16-041881	9/25/2016	1:00	No Code	2435 W Northwest Hwy
229812-2016	0041297-2016	16-041297	9/24/2016	0:15	Public Intoxication	2435 W Northwest Serv N
225567-2016	0040576-2016	16-040576	9/19/2016	0:01	Public Intoxication	2435 W Northwest Hwy
223882-2016	0040302-2016	16-040302	9/17/2016	3:02	Public Intoxication	2435 W Northwest Hwy
223882-2016	0040299-2016	16-040299	9/17/2016	2:55	Public Intoxication	2435 W Northwest Hwy
223882-2016	0040297-2016	16-040297	9/17/2016	2:47	Public Intoxication	2435 W Northwest Hwy
223882-2016	0040287-2016	16-040287	9/17/2016	2:17	Public Intoxication	2435 W Northwest Hwy
217116-2016	0039110-2016	16-039110	9/9/2016	2:30	Public Intoxication	2435 W Northwest Hwy

Arrests, Jan 1 2016 - Sep 20 2017 (Continued)						
Incident No.	Arrest No. ID	Arrest No.	Date	Time	Charge Description	Address
213759-2016	0038485-2016	16-038485	9/5/2016	3:00	Public Intoxication	2435 W Northwest Hwy
207751-2016	0037453-2016	16-037453	8/29/2016	3:30	Resist Arrest Search Or Transport	2435 W Northwest Hwy
207666-2016	0037412-2016	16-037412	8/29/2016	1:00	Public Intoxication	2435 W Northwest Hwy
207666-2016	0037415-2016	16-037415	8/29/2016	1:00	Public Intoxication	2435 W Northwest Hwy
206966-2016	0037288-2016	16-037288	8/28/2016	2:50	Public Intoxication	2435 W Northwest Hwy
201109-2016	0036217-2016	16-036217	8/21/2016	3:00	Public Intoxication	2435 W Northwest Hwy
201109-2016	0036219-2016	16-036219	8/21/2016	3:00	Public Intoxication	2435 W Northwest Hwy
201109-2016	0036223-2016	16-036223	8/21/2016	3:00	Public Intoxication	2435 W Northwest Hwy
177470-2016	0032190-2016	16-032190	7/24/2016	1:00	Public Intoxication	2435 W Northwest Hwy
167182-2016	0030514-2016	16-030514	7/11/2016	2:10	Public Intoxication	2435 W Northwest Serv N
166535-2016	0030419-2016	16-030419	7/10/2016	12:30	Public Intoxication	2435 W Northwest Hwy
160846-2016	0029402-2016	16-029402	7/3/2016	2:57	Public Intoxication	2435 W Northwest Hwy
152521-2016	0027810-2016	16-027810	6/24/2016	1:45	Public Intoxication	2435 W Northwest Hwy
152516-2016	0027806-2016	16-027806	6/24/2016	1:31	Public Intoxication	2435 W Northwest Hwy
147949-2016	0027014-2016	16-027014	6/19/2016	1:40	APOWW (Social Services Referral)	2435 W Northwest Serv N
128550-2016	0023461-2016	16-023461	5/29/2016	1:30	Public Intoxication	2435 W Northwest Hwy
121045-2016	0022004-2016	16-022004	5/21/2016	1:30	Public Intoxication	2435 W Northwest Hwy
110132-2016	0019911-2016	16-019911	5/9/2016	2:27	Public Intoxication	2435 W Northwest Serv N
109329-2016	0019756-2016	16-019756	5/8/2016	2:29	Public Intoxication	2435 W Northwest Serv N
109329-2016	0019756-2016	16-019756	5/8/2016	2:29	Resist Arrest Search Or Transport	2435 W Northwest Serv N
103962-2016	0018757-2016	16-018757	5/2/2016	1:15	Public Intoxication	2435 W Northwest Hwy

Arrests, Jan 1 2016 - Sep 20 2017 (Continued)						
Incident No.	Arrest No. ID	Arrest No.	Date	Time	Charge Description	Address
078540-2016	0013967-2016	16-013967	4/3/2016	2:00	Public Intoxication	2435 W Northwest Hwy
072628-2016	0012871-2016	16-012871	3/27/2016	2:45	Public Intoxication	2435 W Northwest Hwy
066587-2016	0011796-2016	16-011796	3/20/2016	2:08	Warrant Hold (Outside Agency)	2435 W Northwest Hwy
061229-2016	0010839-2016	16-010839	3/14/2016	2:13	Public Intoxication	2435 W Northwest Serv N
060441-2016	0010733-2016	16-010733	3/13/2016	3:09	Public Intoxication	2435 W Northwest Hwy
042901-2016	0007570-2016	16-007570	2/22/2016	11:30	Warrant Hold (Outside Agency)	2435 W Northwest Hwy
036855-2016	0006427-2016	16-006427	2/15/2016	2:20	Public Intoxication	2435 W Northwest Serv N
031082-2016	0005335-2016	16-005335	2/8/2016	2:21	Public Intoxication	2435 W Northwest Hwy
031081-2016	0005332-2016	16-005332	2/8/2016	2:04	Public Intoxication	2435 W Northwest Hwy
030397-2016	0005214-2016	16-005214	2/7/2016	3:07	Warrant Hold (Outside Agency)	2435 W Northwest Hwy
028673-2016	0004876-2016	16-004876	2/5/2016	1:44	Public Intoxication	2435 W Northwest Hwy
028674-2016	0004879-2016	16-004879	2/5/2016	1:40	Public Intoxication	2435 W Northwest Hwy
024481-2016	0004070-2016	16-004070	1/31/2016	1:28	Public Intoxication	2435 W Northwest Hwy
024481-2016	0004070-2016	16-004070	1/31/2016	1:28	[Blank]	2435 W Northwest Hwy
024481-2016	0004069-2016	16-004069	1/31/2016	1:22	Public Intoxication	2435 W Northwest Hwy
024481-2016	0004069-2016	16-004069	1/31/2016	1:22	[Blank]	2435 W Northwest Hwy
017934-2016	0002939-2016	16-002939	1/23/2016	2:00	Warrant Hold (Outside Agency)	2435 W Northwest Hwy
007452-2016	0001228-2016	16-001228	1/10/2016	1:39	Public Intoxication	2435 W Northwest Hwy
006785-2016	0001133-2016	16-001133	1/9/2016	3:30	Public Intoxication	2435 W Northwest Hwy
006785-2016	0001133-2016	16-001133	1/9/2016	3:30	Resist Arrest Search Or Transport	2435 W Northwest Hwy
000984-2016	0000180-2016	16-000180	1/2/2016	1:30	Public Intoxication	2435 W Northwest Hwy

Calls, Jan 1 2016 - Sep 20 2017					
Master Incident No.	Date	Time	Problem	Priority	Address
17-1711988	9/8/2017	5:58	20R - Robbery (report)+1hr	4	2435 W Northwest Serv Wb
17-1626182	8/26/2017	2:56	30/01 - ODO w/Prisoner	2	2435 W Northwest Serv Wb
17-1619254	8/25/2017	3:06	07 - Minor Accident	3	2435 W Northwest Serv Wb
17-1619207	8/25/2017	2:49	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
17-1593183	8/21/2017	7:27	40/01 - Other	2	2435 W Northwest Serv Wb
17-1187959	6/23/2017	2:03	40/01 - Other	2	2435 W Northwest Serv Wb
17-1094909	6/9/2017	13:48	09V - UUMV	4	2435 W Northwest Serv Wb
17-1073814	6/6/2017	14:14	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
17-1057016	6/4/2017	0:44	30/01 - ODO w/Prisoner	2	2435 W Northwest Serv Wb
17-0951386	5/20/2017	3:20	07 - Minor Accident	3	2435 W Northwest Serv Wb
17-0928086	5/16/2017	23:05	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
17-0796944	4/28/2017	2:27	16 - Injured Person	3	2435 W Northwest Serv Wb
17-0722948	4/16/2017	23:57	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
17-0380798	2/27/2017	3:28	09V - UUMV	4	2435 W Northwest Serv Wb
17-0280652	2/12/2017	2:35	20 - Robbery	2	2435 W Northwest Serv Wb
17-0272383	2/11/2017	2:29	DAEV-Dist Armed Encounter Veh	1	2435 W Northwest Serv Wb
17-0271926	2/11/2017	0:45	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
17-0181235	1/28/2017	21:53	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
17-0146726	1/23/2017	16:47	32 - Suspicious Person	2	2435 W Northwest Serv Wb
17-0091895	1/15/2017	3:00	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-2537502	12/25/2016	9:50	20 - Robbery	2	2435 W Northwest Serv Wb
16-2528014	12/24/2016	3:01	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-2520951	12/23/2016	2:15	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-2445725	12/12/2016	0:08	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-2388332	12/3/2016	3:59	31 - Criminal Mischief	4	2435 W Northwest Serv Wb
16-2380558	12/2/2016	2:17	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-2259040	11/13/2016	3:41	07 - Minor Accident	3	2435 W Northwest Serv Wb
16-2258421	11/13/2016	1:10	7CE - City Equipment Accident	3	2435 W Northwest Serv Wb
16-2098599	10/21/2016	3:10	19 - Shooting	1	2435 W Northwest Serv Wb
16-2094456	10/20/2016	14:29	09V - UUMV	4	2435 W Northwest Hwy
16-2019923	10/10/2016	0:39	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-1999380	10/7/2016	3:44	20 - Robbery	2	2435 W Northwest Serv Wb
16-1964298	10/2/2016	5:59	40/01 - Other	2	2435 W Northwest Serv Wb
16-1875342	9/19/2016	16:26	20R - Robbery (report)+1hr	4	2435 W Northwest Serv Wb
16-1871302	9/19/2016	2:54	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-1769435	9/5/2016	2:30	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb

Priority Description Key: 1 - Emergency 2 - Urgent 3 - General Service 4 - Non Critical

Calls, Jan 1 2016 - Sep 20 2017 (continued)					
Master Incident No.	Date	Time	Problem	Priority	Address
16-1717996	8/29/2016	4:30	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-1717456	8/29/2016	0:57	30/01 - ODO w/Prisoner	2	2435 W Northwest Serv Wb
16-1717381	8/29/2016	0:34	6XA - Major Dist Ambulance	2	2435 W Northwest Serv Wb
16-1701144	8/26/2016	18:46	40 - Other	3	2435 W Northwest Serv Wb
16-1684002	8/24/2016	13:16	24 - Abandoned Property	4	2435 W Northwest Serv Wb
16-1667149	8/22/2016	0:07	40 - Other	3	2435 W Northwest Serv Wb
16-1667104	8/21/2016	23:57	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-1617802	8/15/2016	2:14	16A - Injured Person w/Amb	2	2435 W Northwest Serv Wb
16-1611687	8/14/2016	3:20	07 - Minor Accident	3	2435 W Northwest Serv Wb
16-1517237	8/1/2016	12:36	16 - Injured Person	3	2435 W Northwest Serv Wb
16-1407617	7/17/2016	2:33	07 - Minor Accident	3	2435 W Northwest Serv Wb
16-1352449	7/9/2016	2:18	41/20 - Robbery - In Progress	1	2435 W Northwest Serv Wb
16-1195795	6/19/2016	2:46	11V - Burg Motor Veh	3	2435 W Northwest Serv Wb
16-1142124	6/12/2016	1:51	6XA - Major Dist Ambulance	2	2435 W Northwest Serv Wb
16-0982158	5/22/2016	2:27	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-0973866	5/21/2016	1:06	40 - Other	3	2435 W Northwest Serv Wb
16-0965336	5/19/2016	23:23	38 - Meet Complainant	4	2435 W Northwest Serv Wb
16-0930968	5/15/2016	3:45	31 - Criminal Mischief	4	2435 W Northwest Serv Wb
16-0909390	5/12/2016	14:30	40/01 - Other	2	2435 W Northwest Serv Wb
16-0877554	5/8/2016	4:59	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-0676095	4/10/2016	2:17	7X - Major Accident	2	2435 W Northwest Serv Wb
16-0626746	4/3/2016	2:40	6X - Major Dist (Violence)	2	2435 W Northwest Serv Wb
16-0340030	2/21/2016	4:02	40 - Other	3	2435 W Northwest Serv Wb
16-0332275	2/20/2016	3:01	41/20 - Robbery - In Progress	1	2435 W Northwest Serv Wb
16-0295321	2/14/2016	21:38	09/01 - Theft	3	2435 W Northwest Serv Wb
16-0248610	2/8/2016	1:37	30/01 - ODO w/Prisoner	2	2435 W Northwest Hwy
16-0157205	1/25/2016	11:53	20R - Robbery (report)+1hr	4	2435 W Northwest Hwy
16-0053457	1/9/2016	3:26	30/01 - ODO w/Prisoner	2	2435 W Northwest Hwy

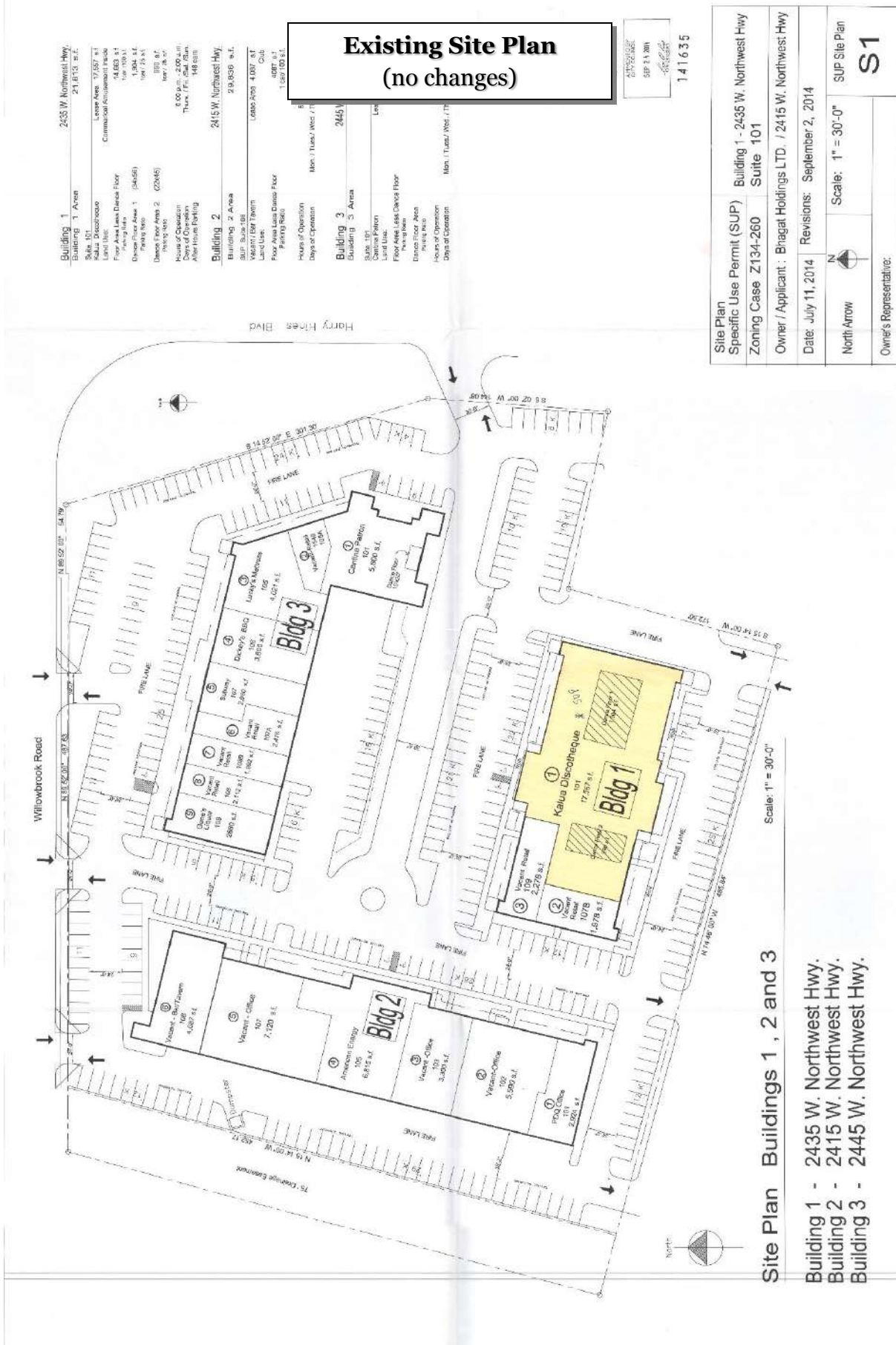
Priority Description Key: 1 - Emergency 2 - Urgent 3 - General Service 4 - Non Critical

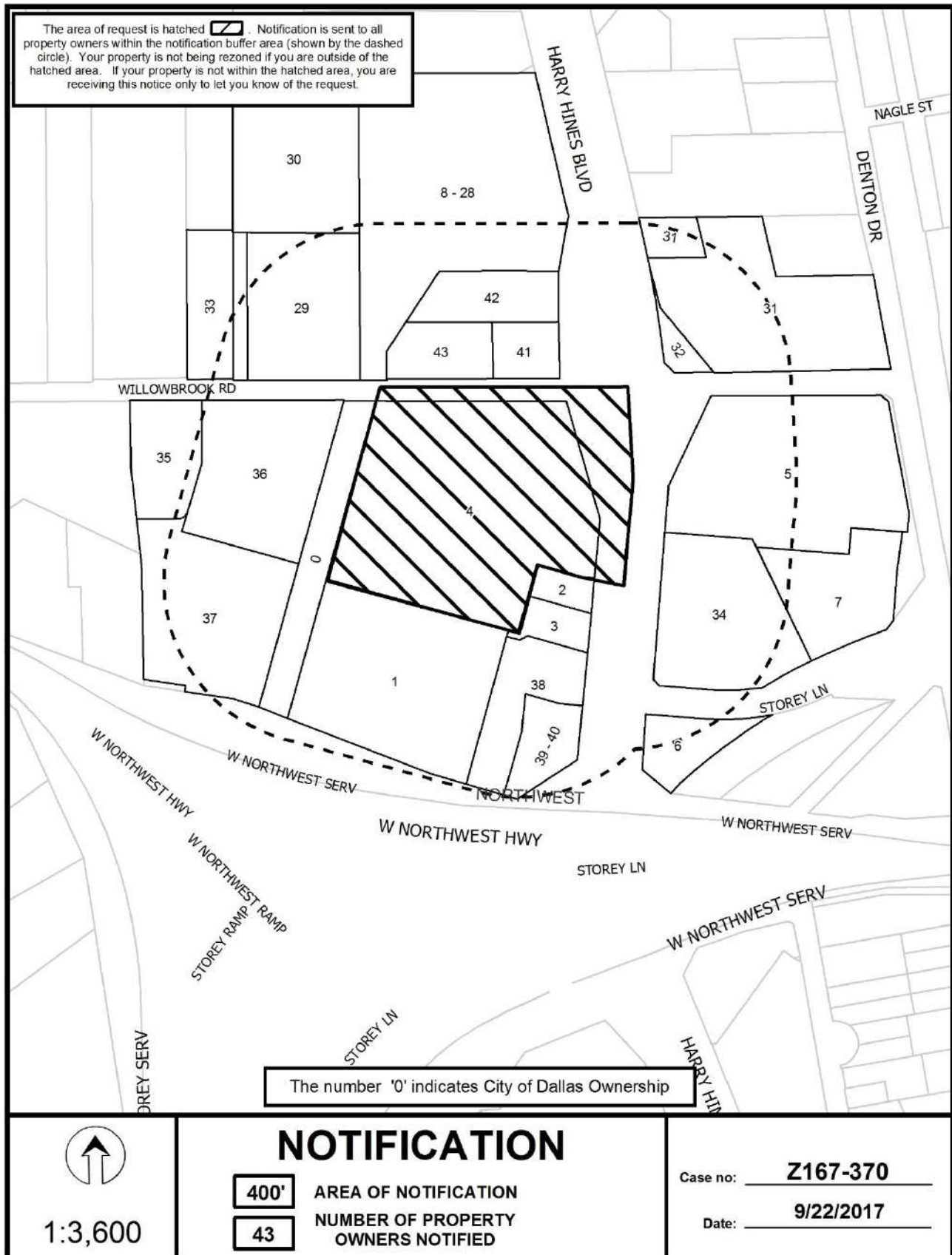
Bhagat Holdings, LTD
List of Officers/Partners/Principals

- 1) Shanali "Shawn" Bhagat, Officer
 - a. Bhagat Holdings, LTD
2415 W. Northwest Highway, Suite 105
Dallas, Texas 75220
- 2) Bhagat Legacy Trust 99%
- 3) Bhagat Asset Management 1%

Applicant's Proposed Amendments to SUP No. 2104

1. USE: The only use authorized by this specific use permit is an alcoholic beverage establishment limited to a bar, lounge or tavern.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on two years ~~[September 24, 2017]~~.
4. FLOOR AREA: Maximum floor area for the alcoholic beverage establishment limited to a bar, lounge, or tavern is 17,557 square feet in Building 1 as shown on the attached site plan.
5. HOURS OF OPERATION: The alcoholic beverage establishment limited to a bar, lounge, or tavern may only operate between 6:00 p.m. and 2:00 a.m. (the next day), Thursday through Sunday.
6. INGRESS-EGRESS: Ingress and egress must be provided in the locations shown on the attached site plan. No other ingress or egress is permitted.
7. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
8. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.





09/22/2017

Notification List of Property Owners***Z167-370******43 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	2425 W NORTHWEST HWY	NWH LAND LP
2	10091 HARRY HINES BLVD	EPCM REALTY INC
3	10065 HARRY HINES BLVD	EL TACASO INC
4	2415 W NORTHWEST HWY	BHAGAT HOLDINGS LTD
5	10120 HARRY HINES BLVD	TEXAS FOREST PROP INC
6	10002 HARRY HINES BLVD	NORTH TEXAS STORES CORP
7	2711 STOREY LN	2223 LOMBARDY WAREHOUSE LLC
8	10251 HARRY HINES BLVD	RIVERA FAMILY LTD PS THE
9	10251 HARRY HINES BLVD	RIVERA BLANCA LEONARA
10	10251 HARRY HINES BLVD	RIVERA BLANCA
11	10251 HARRY HINES BLVD	RIVERA BLANCA
12	10251 HARRY HINES BLVD	GONZALEZ JOSE ANTONIO & GENOVEVA
13	10251 HARRY HINES BLVD	GONZALEZ JOSE
14	10251 HARRY HINES BLVD	RAMIREZ GUSTAVO & HERLINDA
15	10251 HARRY HINES BLVD	FLORENXIO ZUNIGA
16	10251 HARRY HINES BLVD	EMANUEL MARTINEZ
17	10251 HARRY HINES BLVD	RIVERA FAMILY LTD PS THE
18	10251 HARRY HINES BLVD	CARLOS GARCIA
19	10251 HARRY HINES BLVD	LORENZO ANTONIO
20	10251 HARRY HINES BLVD	LOPEZ JOSE
21	10251 HARRY HINES BLVD	HERNANDEZ JOSE
22	10251 HARRY HINES BLVD	PEREZ ELOY
23	10251 HARRY HINES BLVD	CASTRO OSVALDO
24	10251 HARRY HINES BLVD	BALDERAS TOBIAS
25	10251 HARRY HINES BLVD	MENDEZ RAFIEL
26	10251 HARRY HINES BLVD	GARCIA-GUZMAN JOSE ELIAS

09/22/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	10251 HARRY HINES BLVD	RIVERA ISSAC
28	10251 HARRY HINES BLVD	CLEMENTINA ROJAS
29	2621 WILLOWBROOK RD	ALLMAN COMPANY DALLAS LLC
30	2617 WILLOWBROOK RD	HBSS REAL ESTATE LLC
31	10222 HARRY HINES BLVD	10220 HARRY HINES LLC
32	10220 HARRY HINES BLVD	10220 HARRY HINES LLC
33	2615 WILLOWBROOK RD	BARN CEMENT LLC
34	10110 HARRY HINES BLVD	SIKKA INVESTMENTS LLC
35	2616 WILLOWBROOK RD	MOUSSA GEORGE STANLEY TR
36	2626 WILLOWBROOK RD	WAREHOUSE DEVELOPMENT LTD
37	2401 W NORTHWEST HWY	WAREHOUSE DEVELOPMENT
38	10045 HARRY HINES BLVD	KELLER JACQUELYN
39	10025 HARRY HINES BLVD	HANDSOME FELLOW LC
40	10025 HARRY HINES BLVD	BENDA INVESTMENTS
41	2635 WILLOWBROOK RD	SOUTHLAND CORP
42	10217 HARRY HINES BLVD	PENA JOSE
43	2631 WILLOWBROOK RD	LOMBARDY LANE LTD

Planner: Sarah May

FILE NUMBER:	Z167-371(SM)	DATE FILED:	August 8, 2017
LOCATION:	Southwest corner of Harry Hines Boulevard and Willowbrook Road		
COUNCIL DISTRICT:	6	MAPSCO:	23W
SIZE OF REQUEST:	Approx. 6.474 acres	CENSUS TRACT:	99.00

APPLICANT/OWNER: Bhagat Holdings, Ltd.

REPRESENTATIVE: Tailim Song Law Firm

REQUEST: An application for the renewal of Specific Use Permit No. 2105 for an alcoholic beverage establishment, limited to a bar, lounge, or tavern, on property zoned an MU-3 Mixed Use District.

SUMMARY: The applicant requests the renewal of SUP No. 2105 to continue the operation of the existing bar [Radius Sports Bar & Grill].

STAFF RECOMMENDATION: Approval for a two-year period, subject to staff's recommended conditions.

BACKGROUND INFORMATION:

- The site is developed with three structures constructed in 1984, according to Dallas Central Appraisal District Records, and the subject suite was previously occupied by various restaurants, according to permit records.
- On September 24, 2014, City Council approved SUP No. 2105 for a 4,087-square foot bar, lounge, or tavern use within the northernmost suite of the westernmost building on the site.
- Since the granting of SUP No. 2105, the suite has been occupied by three different bar, lounge, or tavern operators. The current occupant, One Radius, LLC [DBA Radius Sports Bar & Grill], obtained a Certificate of Occupancy on October 12, 2017.

Zoning History: There has been no recent zoning activity in the immediate area relevant to this request.

Traffic: The Engineering Division of the Sustainable Development and Construction Department has reviewed the requested amendment and has no objection to the request.

<u>Thoroughfare/Street</u>	<u>Designation</u>	<u>Thoroughfare Roadway Section</u>
Harry Hines Boulevard	Principal Arterial	Standard-8 lanes-Divided; 130' ROW
Willowbrook Road	Local	55' ROW

STAFF ANALYSIS:

Comprehensive Plan: The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The proposed zoning request meets the following goal and objective of the comprehensive plan.

Economic Element

Goal 2.1 Promote balanced growth

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions.

Surrounding Land Uses:

Location	Zoning	Land Use
Site	MU-3 with SUP Nos. 2104, 2105, 2106	Shopping center
North	IR and MU-3	Office/showroom/warehouse and retail store with gas
East	CS and IR	Drive through restaurants, retail with gas, and undeveloped
South	MU-3	Auto sales
West	CS	Warehouse

Land Use Compatibility:

The request site is developed with three one-story, masonry, multi-tenant shopping center structures. The bar, lounge, or tavern use for the existing SUP is located in the northernmost suite of the westernmost building, which abuts a wooded drainage area.

Surrounding land uses of the shopping center consist of an office/showroom/warehouse use and gas station to the north; two drive-through restaurants are located adjacent to the shopping center to the east, undeveloped land and another gas station are located on the opposite side of Harry Hines Boulevard to the east; a third gas station and a nonconforming auto sales use is located to the south, and a warehouse is located opposite of a 75-foot wide drainage easement to the west.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the city.

Staff supports the continued operation of the use; however, because the following police reports are from when the use was vacant and because the applicant proposes to extend the hours of operation (which staff does not support), a term of two years is recommended which will allow for a re-evaluation of the new operator and the extended hours.

Off-Street Parking:

The parking analysis on the existing SUP site plan shows there is 4,087 square feet of a bar, lounge, or tavern use in the suite assigned to SUP No. 2105. One space per 100 square feet of floor area is required for a bar, lounge, or tavern use, which results in 41 spaces for the area authorized by SUP No. 2105.

According to the Certificates of Occupancy (COs) issued since 2006, the overall floor area of this suite is 4,000 square feet and the notes on the COs say that 40 spaces are required and provided within the overall shopping center.

Police Reports:

The following three lists (crime, arrests, and calls) were obtained by staff from the Dallas Police Department.

Crime, Jan 1 2016 - Sep 20 2017				
Incident No.	Date	Time	UCR Offense	Address
107940-2017	5/14/2017	2:00	Assault	2415 W Northwest Hwy
028641-2017	2/5/2017	22:00	Assault	2415 W Northwest Hwy
182305-2016	7/29/2016	21:00	Miscellaneous	2415 W Northwest Hwy
168769-2017	7/22/2017	22:30	Theft/Bmv	2415 W Northwest Hwy
162478-2017	7/15/2017	0:15	Other Thefts	2415 W Northwest Hwy
131767-2017	6/10/2017	23:30	Theft/Bmv	2415 W Northwest Hwy
071804-2017	3/31/2017	1:30	Uumv	2415 W Northwest Hwy
057429-2017	3/12/2017	1:45	Theft/Bmv	2415 W Northwest Hwy
041986-2017	2/22/2017	3:00	Burglary-Business	2415 W Northwest Hwy
035113-2017	2/13/2017	3:30	Robbery-Individual	2415 W Northwest Hwy
010555-2017	1/14/2017	2:30	Robbery-Individual	2415 W Northwest Hwy
282226-2016	11/26/2016	3:00	Robbery-Individual	2415 W Northwest Hwy
212139-2016	9/3/2016	1:30	Robbery-Individual	2415 W Northwest Hwy

Arrests, Jan 1 2016 - Sep 20 2017					
Incident No.	Arrest No. ID	Date	Time	Charge Description	Address
097258-2017	0017722-2017	5/1/2017	0:00	Evading Arrest Detention	2415 W Northwest Hwy
097258-2017	0017722-2017	5/1/2017	0:00	Unlawful Carrying Weapon	2415 W Northwest Hwy
097258-2017	0017722-2017	5/1/2017	0:00	Warrant Hold (Outside Agency)	2415 W Northwest Hwy

Calls, Jan 1 2016 - Sep 20 2017					
Master Incident No.	Date	Time	Problem	Priority Description	Address
17-1062829	6/4/2017	22:29	07 - Minor Accident	3 - General Service	2415 W Northwest Hwy
17-0617527	4/2/2017	2:48	6XEA - Disturbance Emerg Amb	1 - Emergency	2415 W Northwest Hwy
17-0606594	3/31/2017	17:27	09V - UUMV	4 - Non Critical	2415 W Northwest Hwy
17-0349803	2/22/2017	10:28	11B - Burg of Bus	3 - General Service	2415 W Northwest Hwy
17-1633434	8/27/2017	3:25	25 - Criminal Assault	2 - Urgent	2415 W Northwest Hwy

Bhagat Holdings, LTD
List of Officers/Partners/Principals

- 1) Shanali "Shawn" Bhagat, Officer
 - a. Bhagat Holdings, LTD
2415 W. Northwest Highway, Suite 105
Dallas, Texas 75220
- 2) Bhagat Legacy Trust 99%
- 3) Bhagat Asset Management 1%

Proposed Amendments to SUP No. 2105

1. USE: The only use authorized by this specific use permit is an alcoholic beverage establishment limited to a bar, lounge, or tavern.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on **two years [September 24, 2017]**.
4. FLOOR AREA: Maximum floor area for the alcoholic beverage establishment limited to a bar, lounge, or tavern is 4,087 square feet in Building 2 as shown on the attached site plan.

Staff recommended:

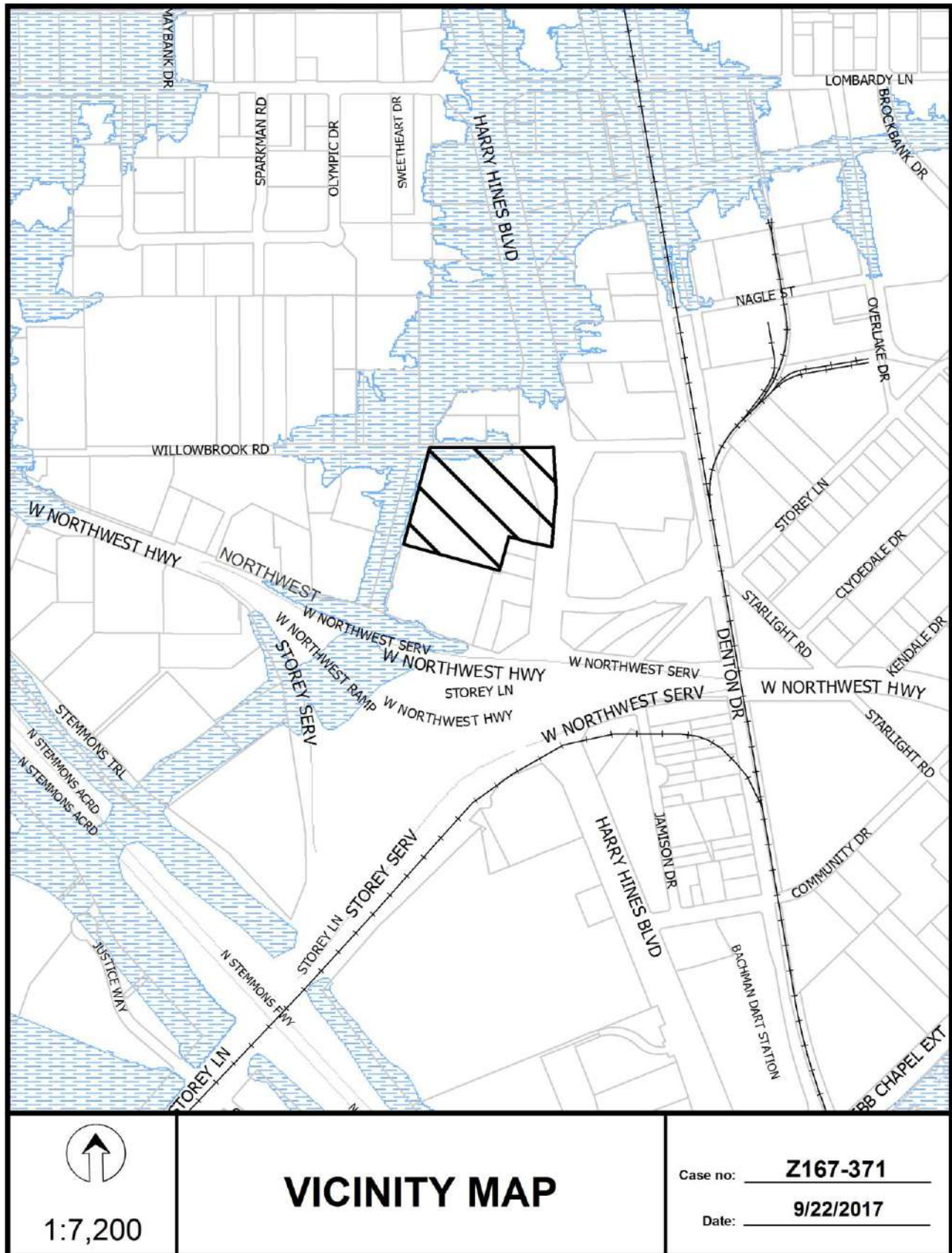
No change.

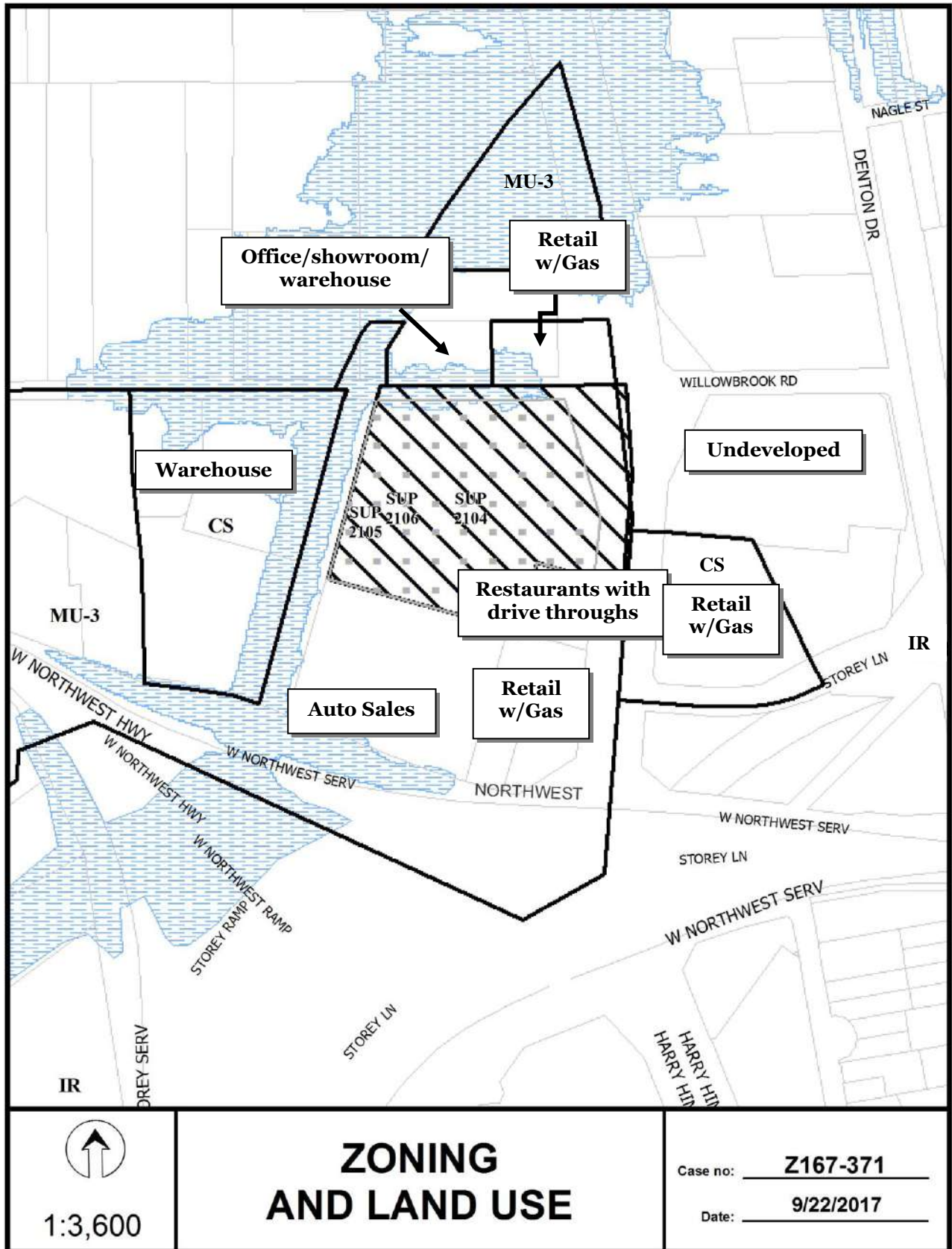
5. HOURS OF OPERATION: The alcoholic beverage establishment limited to a bar, lounge, or tavern may only operate between 6:00 p.m. and 2:00 a.m. (the next day), Monday through Sunday.

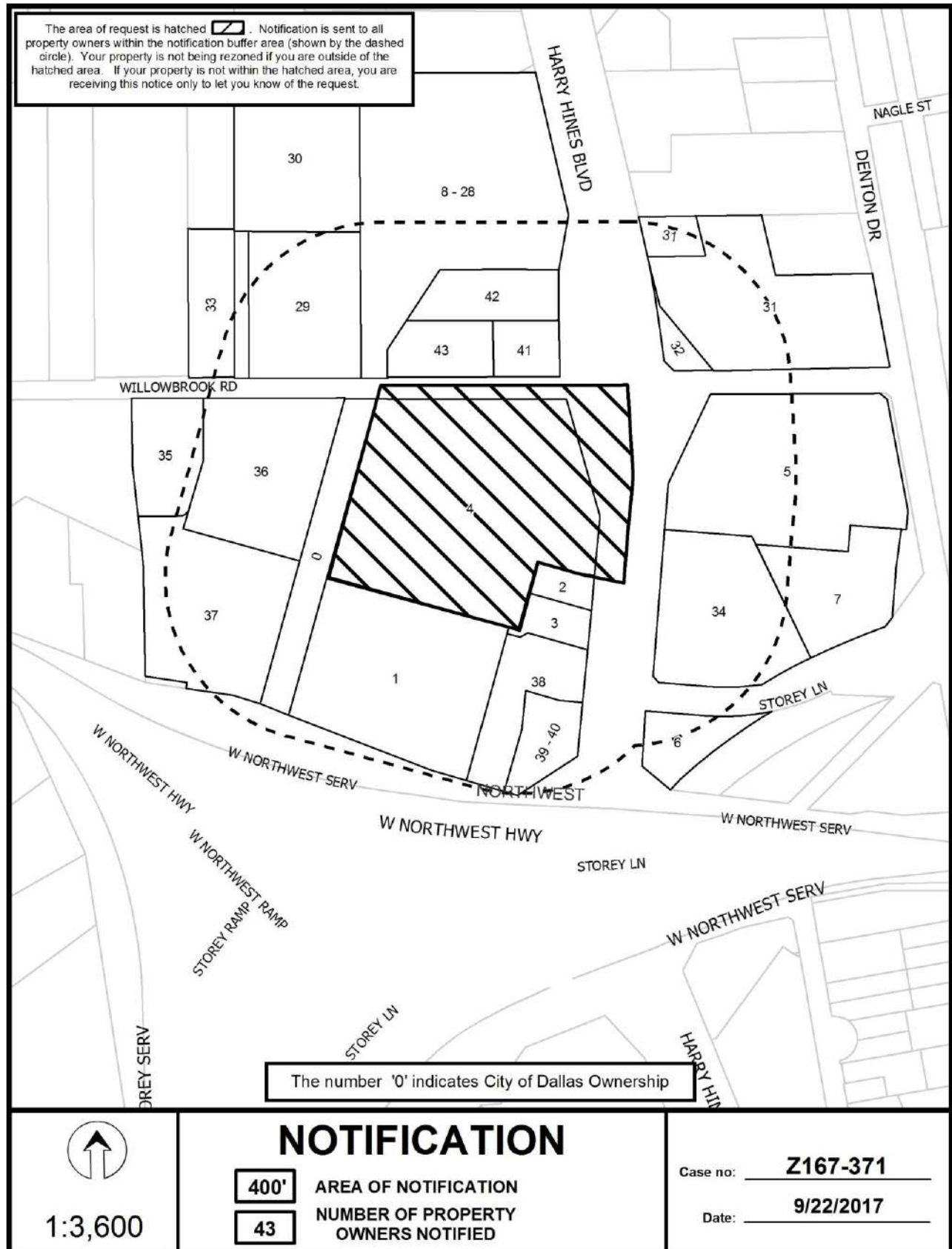
Applicant requested:

5. HOURS OF OPERATION: The alcoholic beverage establishment limited to a bar, lounge, or tavern may only operate between **8:00 a.m. [6:00 p.m.]** and 2:00 a.m. (the next day), Monday through Sunday.
6. INGRESS-EGRESS: Ingress and egress must be provided in the location shown on the attached site plan. No other ingress or egress is permitted.
7. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
8. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.









09/22/2017

Notification List of Property Owners***Z167-371******43 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	2425 W NORTHWEST HWY	NWH LAND LP
2	10091 HARRY HINES BLVD	EPCM REALTY INC
3	10065 HARRY HINES BLVD	EL TACASO INC
4	2415 W NORTHWEST HWY	BHAGAT HOLDINGS LTD
5	10120 HARRY HINES BLVD	TEXAS FOREST PROP INC
6	10002 HARRY HINES BLVD	NORTH TEXAS STORES CORP
7	2711 STOREY LN	2223 LOMBARDY WAREHOUSE LLC
8	10251 HARRY HINES BLVD	RIVERA FAMILY LTD PS THE
9	10251 HARRY HINES BLVD	RIVERA BLANCA LEONARA
10	10251 HARRY HINES BLVD	RIVERA BLANCA
11	10251 HARRY HINES BLVD	RIVERA BLANCA
12	10251 HARRY HINES BLVD	GONZALEZ JOSE ANTONIO & GENOVEVA
13	10251 HARRY HINES BLVD	GONZALEZ JOSE
14	10251 HARRY HINES BLVD	RAMIREZ GUSTAVO & HERLINDA
15	10251 HARRY HINES BLVD	FLORENXIO ZUNIGA
16	10251 HARRY HINES BLVD	EMANUEL MARTINEZ
17	10251 HARRY HINES BLVD	RIVERA FAMILY LTD PS THE
18	10251 HARRY HINES BLVD	CARLOS GARCIA
19	10251 HARRY HINES BLVD	LORENZO ANTONIO
20	10251 HARRY HINES BLVD	LOPEZ JOSE
21	10251 HARRY HINES BLVD	HERNANDEZ JOSE
22	10251 HARRY HINES BLVD	PEREZ ELOY
23	10251 HARRY HINES BLVD	CASTRO OSVALDO
24	10251 HARRY HINES BLVD	BALDERAS TOBIAS
25	10251 HARRY HINES BLVD	MENDEZ RAFIEL
26	10251 HARRY HINES BLVD	GARCIA-GUZMAN JOSE ELIAS

09/22/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	10251 HARRY HINES BLVD	RIVERA ISSAC
28	10251 HARRY HINES BLVD	CLEMENTINA ROJAS
29	2621 WILLOWBROOK RD	ALLMAN COMPANY DALLAS LLC
30	2617 WILLOWBROOK RD	HBSS REAL ESTATE LLC
31	10222 HARRY HINES BLVD	10220 HARRY HINES LLC
32	10220 HARRY HINES BLVD	10220 HARRY HINES LLC
33	2615 WILLOWBROOK RD	BARN CEMENT LLC
34	10110 HARRY HINES BLVD	SIKKA INVESTMENTS LLC
35	2616 WILLOWBROOK RD	MOUSSA GEORGE STANLEY TR
36	2626 WILLOWBROOK RD	WAREHOUSE DEVELOPMENT LTD
37	2401 W NORTHWEST HWY	WAREHOUSE DEVELOPMENT
38	10045 HARRY HINES BLVD	KELLER JACQUELYN
39	10025 HARRY HINES BLVD	HANDSOME FELLOW LC
40	10025 HARRY HINES BLVD	BENDA INVESTMENTS
41	2635 WILLOWBROOK RD	SOUTHLAND CORP
42	10217 HARRY HINES BLVD	PENA JOSE
43	2631 WILLOWBROOK RD	LOMBARDY LANE LTD

FILE NUMBER: Z167-338(JM)

DATE FILED: June 27, 2017

LOCATION: East side of Manderville Lane, north and south of Midtown Boulevard

COUNCIL DISTRICT: 13

MAPSCO: 26-F

SIZE OF REQUEST: Approx. 16.81 acres

CENSUS TRACT: 78.06

APPLICANT/OWNER: The Legacy Senior Communities, LLC; Freedom Hospitality LLC; and, Brazos Texas Land Development LLC

REPRESENTATIVE: Baldwin Associates, Rob Baldwin

REQUEST: An application for an amendment to, and an expansion of, the Subarea D portion on property zoned Subareas C and D within Planned Development District No. 745.

SUMMARY: The purpose of this request is to remove approximately four acres from Subarea C and add them to Subarea D. Amended conditions for the enlarged Subarea D include; **1)** increasing the minimum front yard setback from eight feet to 15 feet; **2)** removing the maximum front yard setback; **3)** allowing landscape walls and features in all setback areas; **4)** increasing the maximum allowable height from 56 feet to 130 feet (or decreasing from 240 feet to 130 feet for the four acres coming from Subarea C); **5)** removing the façade location requirement; and, **6)** removing the entrance spacing standard for convalescent and nursing homes, hospice care, and related institutions and retirement housing uses.

STAFF RECOMMENDATION: Denial

BACKGROUND INFORMATION:

- On June 14, 2006, City Council approved PD No. 745 for mixed uses, containing approximately 77 acres. Subsequent amendments have created a total of six subareas.
- The subject site is largely undeveloped, with a hotel in the portion of Subarea C which will remain Subarea C.
- The purpose of this request is to reduce Subarea C, enlarge Subarea D, and amend conditions for Subarea D. Amended conditions include:
 - Increasing the minimum front yard setback from eight feet to 15 feet;
 - Removing the maximum front yard setback;
 - Exempting landscape walls and features from setback requirements;
 - Increasing the maximum allowable height from 56 feet to 130 feet;
 - Removing the façade location requirement; and,
 - Removing the entrance spacing standard for convalescent and nursing homes, hospice care, and related institutions and retirement housing uses.

Zoning History: There have been eight zoning change requests in the area within the last five years.

1. **Z167-282:** On August 9, 2017, the City Council approved an amendment to PD No. 790 to increase the allowable square footage within Area C on property located on the west corner of Royal Lane and Greenville Avenue.
2. **Z167-237:** On June 28, 2017, the City Council approved an amendment to the Subarea B portion of PD No. 745 on property bounded by the west line of Manderville Lane and the north line Midtown Boulevard.
3. **Z167-103:** On Wednesday, February 8, 2017, the City Council approved an MU-3 Mixed Use District with volunteered deed restrictions located on the east line of North Central Expressway, north of Meadow Road.
4. **Z145-204:** On August 12, 2015, the City Council approved an amendment to Subareas C & D PD No. 745 on property bounded by the west line of Manderville Lane and the north line Midtown Boulevard.
5. **Z145-153:** On June 17, 2015, the City Council approved an amendment to the Subarea B portion of PD No. 745 on property bounded by the west line of Manderville Lane and the north line Midtown Boulevard.
6. **Z134-171:** On October 8, 2014, the City Council approved PD No. 927 for mixed uses on property zoned an MF-2(A) Multifamily District and a GO(A) General Office District on the north and south sides of Meadow Road, west of Manderville Lane.

7. **Z123-212:** On August 28, 2013, the City Council approved PD No. 895 for mixed uses on property zoned a GO(A) General Office District on the southeast corner of North Central Expressway and Midtown Boulevard.
8. **Z123-148:** On March 26, 2014, the City Council approved PD No. 904 for non-residential uses on property zoned a GO(A) General Office District.

Thoroughfares/Streets:

Thoroughfares/Street	Type	Existing ROW	Proposed ROW
Manderville Lane	Local	Variable	None
Midtown Boulevard	Local	Variable	None

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the proposed amendment will not have a negative impact on the surrounding street system.

Exhibit B for the PD is an equivalency chart to help keep uses in-line with the previously approved traffic impact analysis. This exhibit references the *ITE Trip Generation* manual for all other uses. An assessment made by the city engineer determined that the convalescent and nursing homes, hospice care, and related institutions use would generate an equivalency of two beds to one multifamily unit. Page 2 of the development plan includes the equivalency charts for the PD, which are updated with each request. The applicant has used the ratio determined by the city engineer using the *ITE Trip Generation* manual to generate the numbers and added a note to reflect the meaning.

Surrounding Land Uses:

	Zoning	Land Use
Site	PD No. 745, Subareas C & D	Hotel & Undeveloped
North	PD No. 745, Subarea F	Undeveloped
East	CR, PD No. 790, SUP No. 701	Electrical Substation, DART ROW, Country Club
South	PD No. 745, Subarea C & PD No. 895	Undeveloped
West	PD No. 745, Subareas E & F, GO(A), PD No. 895	Multifamily

STAFF ANALYSIS:

Comprehensive Plan:

The forwardDallas! Comprehensive Plan was adopted by the City Council in June 2006. The forwardDallas! Comprehensive Plan outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The Plan identifies the subject site as being located within an *Urban Mixed-Use Building Block*, which provides residents with a vibrant blend of opportunities to live, work, shop and play within a closely defined area. Buildings range from high-rise residential or midrise commercial towers to townhomes and small corner shops. Good access to transit is a critical element. People on foot or bike can enjoy interesting storefronts at ground level with benches, public art, on-street parking and wide sidewalks, creating an appealing streetscape.

Additionally, the Plan has identified the site as within a *Transit Center* which supports a compact mix of employment, retail, cultural facilities and housing.

ECONOMIC ELEMENT

GOAL 2.5 FOSTER A CITY OF GREAT NEIGHBORHOODS

Policy 2.5.1 Promote strong and distinctive neighborhoods to enhance Dallas' quality of life.

Implementation Measure 2.5.1.2 Support efforts to maintain distinctive identities of existing neighborhoods and ensure high-quality development of new neighborhoods.

URBAN DESIGN

GOAL 5.1 PROMOTE A SENSE OF PLACE, SAFETY AND WALKABILITY

Policy 5.1.3 Encourage complementary building height, scale, design and character.

Implementation Measure 5.1.3.2 Amend the Dallas zoning regulations to establish urban design standards that reflect quality design and good land use principles through regulations which address height, scale, bulk and massing of new development. Standards will also address the impact of parking lots and structures to minimize spillover to adjacent neighborhoods, mitigate any negative effects and eliminate visual intrusion or incompatibility with the adjacent residential neighborhoods, historic or conservation districts.

GOAL 5.2 STRENGTHEN COMMUNITY AND NEIGHBORHOOD IDENTITY

Policy 5.2.1 Maintain neighborhood scale and character.

NEIGHBORHOOD PLUS

Policy 4.3 Enhance neighborhood desirability by improving infrastructure, housing stock, recreation and safety.

The current request to remove established urban design criteria for Subarea D does not support the above-referenced goals of the comprehensive plan. The minimum and maximum setback requirements to bring buildings up to the street, and façade and entrance requirements of the existing PD, allow for a more vibrant and urban street-level experience for pedestrians and drivers. Development in the area has progressed according to the requirements of the PD creating a unique neighborhood experience. The applicant has not adequately explained how relocating parking to the rear of the site to comply with existing urban design requirements would be a detriment to the proposed retirement housing and convalescent and nursing homes, hospice care, and related institutions uses.

Land Use Compatibility:

The property contains a hotel within Subarea C (section remaining in Subarea C) and undeveloped land within the remainder, including all of Subarea D. While undeveloped land surrounds the site to the north and south, a large new multifamily development (395 units) exists to the west. A DART line and electrical substation exist to the east and separates the subject site from The Royal Oaks Country Club (PD 790).

The area is poised for continued development characteristic of an urban neighborhood. PD No. 745 created subareas with varying degrees of height, setback, and urban design elements. The following analysis contemplates the existing zoning of Subareas C & D. However, it is imperative to consider the new multifamily development to the west, as well. That development is located within Subarea F, which follows the existing development standards for Subarea D.

The applicant proposes six amendments with this request, as outlined below. The proposed changes would apply to the proposed Subarea D, with four acres taken from Subarea C for a total of 11 acres.

- 1) To increase the minimum front yard setback from eight feet to 15 feet.

	Existing Subarea C	Existing Subarea D	Proposed Subarea D
Minimum Front Yard Setback	10 feet	8 feet	15 feet

A reduced minimum front yard setback provides for a more urban feeling, pulling building frontages up to the street to create a livelier experience. The proposed increase would nearly double the minimum standard, matching the MU-3 Mixed Use District requirement. It is important to note that when PD No. 745 was created, it established a base zoning of MU-3, while choosing to modify the subareas to allow for an improved urban experience—to set the PD area apart.

2) To remove the maximum front yard setback.

	Existing Subarea C	Existing Subarea D	Proposed Subarea D
Maximum Front Yard Setback	14 feet	14 feet	None

While the minimum front yard setback ensures free space from the property line into the site, the maximum front yard setback guarantees that the front yard will not exceed a certain point, possibly negating the urban experience intended. In this case, the PD established a 14-foot maximum, setting a range of flexibility from 8 feet to 14 feet for the building façade. Removing this requirement means that there will be no guarantee of having buildings pulled-up to the street. The lively nature wanted for the urban neighborhood would lack protection. A more traditional type of development would be allowed, as suggested by the applicant, with surface parking lots as the main vantage from the sidewalk and street.

3) To allow landscape walls and features in all setback areas.

As anything taller than six inches is considered a structure, the applicant has chosen to exempt landscaping walls and features from the front, side, and rear setback requirements to allow greater flexibility in site design. Staff does not have concerns over this request, as long as visibility obstruction regulations are taken into consideration.

4) To increase the maximum allowable height from 56 feet to 130 feet (or decrease from 240 feet to 130 feet for the four acres coming from Subarea C).

	Existing Subarea C	Existing Subarea D	Proposed Subarea D
Maximum Height	240 feet	56 feet	130 feet

Subarea C is currently south of Midtown Boulevard. The Manderville Lane section of the development faces Subarea F, with regulations matching the existing Subarea D. The MU-3 District allows 270 feet in height. The creation of the PD chose to reduce the allowable height in this area to 56 feet. The new multifamily development along the west side of Manderville Lane, and within Subarea F, has adhered to the 56-foot height

standard, yet the applicant has requested a significant increase in height. One difference between the two sides of Manderville Lane is the proximity to the DART right-of-way. The subject site offers immediate proximity to the rail line along the east boundary of the property. Additionally, the land further east, across the DART right-of-way, is zoned Subarea B and allows up to 240 feet in height, which matches the remainder of Subarea C to the southwest. However, with development of the PD area well underway and capable of further adherence, staff cannot support an increase in height which could cause a stark difference in development across Manderville Lane, a local road with 40-60 feet of variable right-of-way. PD No. 745 chose to scale structures along the north and west end of the PD at a maximum of 56 feet. That choice was made 10 years ago. Half of the area is developed with structures that are aligned with the reduced scale sought. Staff believes the subject site could be designed in a manner to comply with the PD standards.

5) To remove the façade location requirement.

The existing façade location requirement for both subareas is 503 percent within the minimum/maximum front yard established. Removing this requirement is a second attempt to pull the proposed structures further into the property, away from the street, making way for the proposed parking lots to line the street frontage. Essentially, this echoes the removal of the front yard maximum setback, encouraging a typical development style with surface parking lots being the main vantage point from the street, thereby reducing the activity and compromising the lively nature sought with the establishment of the design criteria.

6) To remove the entrance spacing standard for convalescent and nursing homes, hospice care, and related institutions and retirement housing uses. All other uses would maintain the required 100-to-150-foot entrance spacing requirements that exist in the PD.

Another element of creating a lively urban streetscape is requiring entry spacing at a maximum of 100-to-150-feet. Requiring frequent entryways into structures creates a more active atmosphere when combined with bringing the building façade up to the property line/street. The applicant has stated that pushing entrances far behind the surface parking lots and limiting entrances is an operational requirement for the proposed convalescent and nursing homes, hospice care, and related institutions and retirement housing uses, without providing evidence to support the claim.

Parking:

The parking requirement set forth in Sec.51P-745.112 is not proposed to change. PD No. 745 refers back to Division 51A-4.200 for specific off-street parking and loading requirements for each use. The parking requirement for a retirement housing use is one off-street parking space per dwelling unit. Additionally, the convalescent and nursing homes, hospice care, and related institutions use demands 0.3 parking spaces per bed provided at the facility.

The proposed development plan identifies 180 retirement housing dwelling units and 190 beds for the convalescent and nursing homes, hospice care, and related institutions use. Overall, 237 parking spaces are required and 372 parking spaces have been provided.

Landscaping:

Landscaping must be provided in accordance Sec.51P-745.114. A landscape plan will be required. The applicant chose not to submit one with this request. A landscape plan will have to be presented to, and approved by the City Plan Commission, before issuance of a building permit to authorize work in this district.

List of Officers

The Legacy Senior Communities, LLC

Alan Postel, Director
Andrea Statman, Director
Anita Chanon, Director
Barrett Stern, Director
Bill Silverman, Director
Bruce Bernbaum, Director
Buddy Rosenthal, Director
Candi Haas, Director
Carey Rossel, Director
Carmen Michael, PhD., Director
Carol Aaron, Director
Cheryl Moore, Director
Gary Weinstein, Director
Genie Weitzman, Director
George Tobolowsky, Director
Gerald Ray, Director
Glenn Geller, Director
Howard Wolf, Director
Irvin Levy, Director
Irwin Grossman, Director
Jerry Rasansky, Director
John Raphael, Director
Larry Golman, Director
Linda Garner, Director
Marc Stanley, Director
Michael Ellentuck, CEO and President
Michael Friedman, Director
Michael Glazer, Director
Mike Ablon, Director
Milton Levy Jr., Director
Randy Colen, Director
Robert Miller, Director
Robert Pollock, Director
Ron Fiedelman, Secretary
Ruthie Pack, Director
Sandy Donsky, Director
Sandy Kaufman, Director
Sanford Fagadau, Ph.D., Director
Sara Efune, Director
Stuart Morse, Director
Todd Shapiro, Director
Todd Teiber, Treasurer

Freedom Hospitality LLC

Zabir Ismail, Managing Director
Salim M. Ismail, Managing Member
Shireen S. Ismail, Managing Member

Brazos Texas Land Development LLC

Zabir Ismail, Managing Director
Salim M. Ismail, Managing Member
Shireen S. Ismail, Managing Member

PROPOSED PD CONDITIONS

ARTICLE 745.

PD 745.

SEC. 51P-745.101. LEGISLATIVE HISTORY.

PD 745 was established by Ordinance No. 26372, passed by the Dallas City Council on June 14, 2006. (Ord. 26372)

SEC. 51P-745.102. PROPERTY LOCATION AND SIZE.

PD 745 is established on property located on both sides of Manderville Lane, north of Blair Road and south of Royal Lane. The size of PD 745 is approximately 77.028 acres. (Ord. No. 26372; 27713)

SEC. 51P-745.103. CREATION OF SUBAREAS.

This district is divided into Subareas A, B, C, D, E, and F as shown on the conceptual plan (Exhibit 745A). (Ord. Nos. 26372; 29804)

SEC. 51P-745.104. DEFINITIONS AND INTERPRETATIONS.

(a) Unless otherwise stated, the definitions and interpretations in Chapter 51A apply to this article.

(b) Unless otherwise stated, all references to articles, divisions, or sections in this article are to articles, divisions, or sections in Chapter 51A.

(c) In this district, the following definitions apply:

(1) A-FRAME SIGN means a portable detached premise sign that is hinged at the top and is made of durable, rigid materials such as wood, plastic, or metal.

(2) INTERIOR SIDE YARD means a side yard that is not adjacent to a street.

(2.1) LANDSCAPE WALLS mean a retaining wall or decorative wall.

(2.2) LANDSCAPE WALL AREA FEATURES means retaining or decorative walls, rails, steps, or foundations. A landscape wall area feature is not considered a blank wall.

(3) MEWS STREET means a multimodal street for pedestrians or low-speed vehicular traffic.

(4) OPEN SPACE means an area that is unobstructed to the sky, and that contains no structures except for ordinary projections of window sills, bay windows, belt courses, cornices, eaves, unenclosed

balconies, unenclosed patios, stoops, and other architectural features. A required yard on a lot with a structure is not open space.

(5) PRIMARY STREET means the principal frontage for a building site, as designated on the development plan.

(5.1) PRIVATE PERMEABLE AREA means an area open and available to residents.

(6) PROPERTY means Subareas A, B, C, and D collectively.

(7) ROADWAY ZONE means the zone for public use that includes the right-of-way, a portion of the sidewalk and utility easements, and landscape areas including pavers, concrete sidewalks, landscaping, trees, and decorative lighting, as shown on the roadway cross sections.

(8) SECONDARY STREET means the frontage for a building site that is not a primary street, as designated on the development plan.

(9) SETBACK means the minimum distance a building may be erected from a roadway zone or lot line.

(10) STOOP means a small porch leading to the entrance of a residence.

(11) TANDEM PARKING means one parking space in front of another parking space.

(d) This district is considered to be a nonresidential zoning district. (Ord. Nos. 26372; 27713; 29786; 29801)

SEC. 51P-745.104.1. EXHIBITS.

The following exhibits are incorporated into this article:

(1) Exhibit 745A: conceptual plan.

(2) Exhibit 745B: equivalency chart.

(3) Exhibit 745C: mixed use development parking chart.

(4) Exhibit 745D: tree survey.

(5) Exhibit 745E: roadway cross sections.

(6) Exhibit 745F: private permeable area plan.

(7) Exhibit 745G: Subarea E and F development plan.

(8) Exhibit 745H: Subarea E and F landscape plan. (Ord. Nos. 27713; 29786; 29804)

SEC. 51P-745.105. CONCEPTUAL PLAN.

Development and use of the Property must comply with the conceptual plan. In the event of a conflict between the text of this article and the conceptual plan, the text of this article controls. Minor adjustments to final street alignments and locations are permitted at the time of platting without requiring an amendment to the conceptual plan. (Ord. 26372)

SEC. 51P-745.106. DEVELOPMENT PLAN.

(a) Prior to the issuance of a building permit for work other than repair of existing structures, demolition and grading, the installation of fencing or other structures for security purposes, work associated with permitted temporary uses, or work intended to provide for the irrigation or maintenance of landscaping, a development plan and landscape plan must be approved by the city plan commission. In the event of a conflict between the text of this article and the development plan, the text of this article controls.

(b) In addition to the requirements set forth in Section 51A-4.702, the submittal of a development plan must also include the following:

(1) Cumulative floor area, number of dwelling units, number of multifamily dwelling units, and open space totals by use category for:

- (A) the building site;
- (B) the subarea in which the building site is located; and
- (C) the Property.

(2) Sufficient information to verify compliance with the maximum floor area and floor area ratio requirements of this article.

(3) Ingress and egress locations.

(4) Landscape plan including a tree survey and special amenities.

(5) Dwelling unit density and floor area calculations for the Property must be referenced in accordance with the equivalency chart (Exhibit 745B).

(6) Roadway zone delineations referenced on the roadway cross sections.

(7) Designation of primary streets and secondary streets.

(c) For single family uses, a recorded plat may suffice as a development plan, provided it contains all of the required elements for a development plan.

(d) The portion of Section 51A-4.702(c) requiring submission of a development plan within six months of the city council's approval of this district does not apply.

(e) Signs are not required to be shown on a development plan.

(f) A development plan, landscape plan, and tree survey are not required to reflect the entire Property and may include only a portion of the Property.

(g) In Subareas E and F, use and development of the Property must comply with the Subarea E and F development plan (Exhibit 745G). If there is a conflict between the text of this article and the Subarea E and F development plan, the text of this article controls. (Ord. Nos.26372; 27713; 29804)

SEC. 51P-745.107. MAIN USES PERMITTED.

(a) Except as provided in this section, the only main uses permitted in this district are those main uses permitted in the MU-3 Mixed Use District, subject to the same conditions applicable in the MU-3 Mixed Use District, as set out in Chapter 51A. For example, a use permitted in the MU-3 Mixed Use District only by specific use permit (SUP) is permitted in this district only by SUP; a use subject to development impact review (DIR) in the MU-3 Mixed Use District is subject to DIR in this district; etc.

(b) Residential adjacency review (RAR) is not required for uses in this district.

(c) In this district, the following main uses are also permitted:

(1) Residential uses.

- Single family.
- Handicapped group dwelling unit.

(2) Retail and personal service uses.

- Ambulance service.
- Home improvement center, lumber, brick, or building materials sales yard. *[Limited to 15,000 square feet.]*
- Surface parking.

(3) Transportation uses.

- Private street or alley.

(d) In this district, the following main uses are prohibited:

(1) Agricultural uses.

- Crop production.

(2) Institutional and community service uses.

- Cemetery or mausoleum.
- Halfway house.

(3) Lodging uses.

- Overnight general purpose shelter.

- (4) Miscellaneous uses.
 - Carnival or circus (temporary).
- (5) Residential uses.
 - College dormitory, fraternity or sorority house.
- (6) Retail and personal service uses.
 - Auto service center.
 - Car wash.
 - Commercial amusement (inside).
 - Commercial amusement (outside).
 - Swap or buy shop.
- (7) Transportation uses.
 - Heliport.
 - Helistop.
 - Railroad passenger station.
- (8) Utility and public service uses.
 - Electrical substation.

(Ord. 26372)

SEC. 51P-745.108. ACCESSORY USES.

(a) As a general rule, an accessory use is permitted in any district in which the main use is permitted. Some specific accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51A-4.217. For more information regarding accessory uses, consult Section 51A-4.217.

- (b) In this district, the following accessory use is not permitted:
 - Private stable.
- (c) In this district, the following accessory uses are permitted by SUP only:
 - Accessory medical/infectious waste incinerator.
 - Accessory pathological waste incinerator.
- (d) In Subarea B, the following additional accessory use is permitted:
 - Accessory community center (private).

(Ord. Nos. 26372; 29786)

SEC. 51P-745.109.

YARD, LOT, AND SPACE REGULATIONS.

(Note: The yard, lot, and space regulations in this section must be read together with the yard, lot, and space regulations in Division 51A-4.400. In the event of a conflict between this section and Division 51A-4.400, this section controls.)

(a) Except as provided in this section, the yard, lot, and space regulations for the MU-3 Mixed Use District apply in this district.

(b) Window sills, bay windows, belt courses, cornices, other architectural features, and fireplace chimneys may project up to three feet into a required front, side, or rear yard.

(c) Unenclosed balconies, unenclosed patios, and stoops may project up to six feet into a required front, side, or rear yard, provided that the width of the encroachment is not greater than 12 feet.

(d) The residential proximity slope provisions of Section 51A-4.125(f)(4)(E)(i) apply only if the site of origination is property outside this district that is zoned as an R or R(A) Single Family District and is developed with a single family use on June 14, 2006.

(e) That portion of the lot or building site designated as open space is not included in lot coverage.

(f) Subarea A.

OMITTED FOR BREVITY

(g) Subarea B.

OMITTED FOR BREVITY

(h) Subareas C and E.

(1) Front yard.

(A) Minimum.

(i) Except as provided in this subparagraph, minimum front yard is 10 feet.

(ii) For lots fronting on a mews street, no minimum front yard is required.

(B) Maximum.

(i) Except as provided in this subparagraph, maximum front yard is 14 feet.

(ii) For lots fronting on a mews street, maximum front yard is five feet.

(C) Facade location.

(i) Except as provided in Provision (ii), a portion of the front facade equal to at least 50 percent of the length of the lot, excluding pedestrian and vehicular ingress and egress points, must be located within the area between the minimum and maximum front yard setback. The remainder of the front facade (less than 50 percent of the length of the lot) must comply only with the minimum front yard setback.

(ii) For lots fronting a mews street, a portion of the front facade equal to at least 50 percent of the length of the lot, excluding pedestrian and vehicular ingress and egress points, must be located within the area between the front property line and the maximum front yard setback. The remainder of the front facade (less than 50 percent of the length of the lot) is not required to comply with the maximum front yard setback.

(D) Landscape wall area features. In Subarea E, landscape wall area features may be located in the front yard, in accordance with the visibility obstruction regulations in Section 51P-745.111.

(2) Side and rear yard.

(A) Minimum side and rear yard is six feet, except that for lots with single family uses, no minimum interior side yard is required.

(B) In Subarea E, landscape wall area features may be located in the side and rear yard, in accordance with the visibility obstruction regulations in Section 51P-745.111.

(3) Dwelling unit density. Maximum dwelling unit density is 120 units per acre. See Section 51P-745.110 for additional provisions on density.

(4) Floor area ratio. Maximum floor area ratio is 2.85. See Section 51P-745.110 for additional provisions on floor area.

(5) Height. Unless further restricted under Subsection (d), maximum structure height is 240 feet.

(6) Lot coverage. Maximum lot coverage is 90 percent. Aboveground parking structures are included in lot coverage calculations; surface parking lots and underground parking structures are not.

(7) Lot size. No minimum lot size.

(8) Open space. Minimum open space is .25 acres.

(i) Subarea D.

(1) Front yard.

(A) Minimum front yard is 15 feet.

(B) Landscape wall area features may be located in the front yard, in accordance with the visibility obstruction regulations in Section 51P-745.111.

(2) Side and rear yard.

(A) Except as provided in the subparagraph, minimum side and rear yard is six feet. For lots with single family uses, no minimum interior side yard is required.

(B) Landscape wall area features may be located in the side and rear yards, in accordance with the visibility obstruction regulations in Section 51P-745.111.

(3) Dwelling unit density. Maximum dwelling unit density is 100 units per acre. See Section 51P-745.110 for additional provisions on density.

(4) Floor area ratio. Maximum floor area ratio is 2.25. See Section 51P-745.110 for additional provisions on floor area.

(5) Height. Unless further restricted under Subsection (d), maximum structure height is 130 feet.

(6) Lot coverage. Maximum lot coverage is 90 percent. Aboveground parking structures are included in lot coverage calculations; surface parking lots and underground parking structures are not.

(7) Lot size. No minimum lot size.

(8) Open space. Minimum open space is 1.5 acres.

(i) Subareas ~~D~~ and F.

(1) Front yard.

(A) Minimum.

(i) Except as provided in this subparagraph, minimum front yard is eight feet.

(ii) For lots fronting on a mews street, no minimum front yard is required.

(B) Maximum.

(i) Except as provided in this subparagraph, maximum front yard is 14 feet.

(ii) For lots fronting on a mews street, maximum front yard is five feet.

(C) Facade location.

(i) Except as provided in Provision (ii), a portion of the front facade equal to at least 50 percent of the length of the lot, excluding pedestrian and vehicular ingress and egress points, must be located within the area between the minimum and maximum front yard setback. The remainder of the front facade (less than 50 percent of the length of the lot) must comply only with the minimum front yard setback.

(D) Landscape wall area features. In Subarea F, landscape wall area features may be located in the front yard, in accordance with the visibility obstruction regulations in Section 51P-745.111.

(ii) For lots fronting a mews street, a portion of the front facade equal to at least 50 percent of the length of the lot, excluding pedestrian and vehicular ingress and egress points, must be located within the area between the front property line and the maximum front yard setback. The remainder of the front facade (less than 50 percent of the length of the lot) is not required to comply with the maximum front yard setback.

(2) Side and rear yard.

(A) Minimum side and rear yard is six feet, except that for lots with single family uses, no minimum interior side yard is required.

(B) In Subarea F, landscape wall area features may be located in the side and rear yard, in accordance with the visibility obstruction regulations in Section 51P-745.111.

(3) Dwelling unit density. Maximum dwelling unit density is 100 units per acre. See Section 51P-745.110 for additional provisions on density.

(4) Floor area ratio. Maximum floor area ratio is 2.25. See Section 51P-745.110 for additional provisions on floor area.

(5) Height. Unless further restricted under Subsection (d), maximum structure height is 56 feet.

(6) Lot coverage. Maximum lot coverage is 90 percent. Aboveground parking structures are included in lot coverage calculations; surface parking lots and underground parking structures are not.

(7) Lot size. No minimum lot size.

(8) Open space. Minimum open space is 1.5 acres.

SEC. 51P-745.110.

MAXIMUM DENSITY, FLOOR AREA, AND EQUIVALENCIES.

(a) Except as provided in this section, the maximum number of multifamily dwelling units in this district is 3,800, and the maximum floor area (exclusive of service areas, elevator cores, and similar common areas) is 930,000 square feet of office uses; and 90,000 square feet of retail and personal service uses.

(b) The maximums set forth above may be adjusted by using the equivalency table. (Exhibit 745B). For example, one guest room in a lodging use could replace one multifamily dwelling unit, or

3,700 multifamily units could be provided in combination with a maximum of 972,000 (930,000+42,000) square feet of office and 90,000 square feet of retail and personal service. All uses permitted in this district not listed in the equivalency table must be converted to equivalencies in the manner set forth in the equivalency table notes, and are subject to the limits set forth in Subsection (a).

(c) Notwithstanding the provisions of Subsection (b), office uses (not equivalencies thereof) may not exceed 1,250,000 square feet, and retail and personal service uses (not equivalencies thereof) may not exceed 500,000 square feet in this district, and the number of multifamily dwelling units may not exceed 3800 units in this district. (Ord. 26372)

SEC. 51P-745.111. VISUAL OBSTRUCTION REGULATIONS.

(a) Except as provided in this section, the visual obstruction regulations in Section 51A-4.602(d) apply.

(b) In this district VISIBILITY TRIANGLE means the portion of a corner lot within a triangular area formed by connecting together the point of intersection of adjacent street curb lines (or, if there are no street curbs, what would be the normal street curb lines) and points on each of the street curb lines 30 feet from the intersection.

(c) Landscape walls exceeding 18 inches in height may not be located in a visibility triangle. (Ord. Nos. 26372; 27713; 29785)

SEC. 51P-745.112. OFF-STREET PARKING AND LOADING.

(a) In general. Except as provided in this section, consult the use regulations in Division 51A-4.200 for the specific off-street parking and loading requirements for each use.

(b) Multifamily. A minimum of one space per unit is required for units with one bedroom or fewer, and a minimum of 1.5 spaces per unit is required for units with two bedrooms or more.

(c) Parking reductions for proximity to DART light rail stations.

(1) Parking for all uses, except residential uses, which are located within ¼ mile of a Dallas Area Rapid Transit (DART) light rail station may be reduced by 20 percent.

(2) Parking for all uses, except residential uses, which are located more than ¼ mile but ½ mile or less from a DART light rail station may be reduced by 20 percent provided there is a minimum six-foot-wide pedestrian connection on the east side of Manderville Lane from Subareas C and D to the closest DART light rail station. Pedestrian connections must be illuminated such that a minimum maintained average illumination level of 1.5 footcandles is provided.

(3) Measurements to a light rail station may be calculated as a radial measurement from the nearest point of the light rail station to the nearest point of the lot containing the use.

(d) Screening of off-street loading spaces and service areas.

(1) Off-street loading spaces and service areas must be screened from all public streets, and from all adjoining property whether abutting or directly across a street or alley.

(2) The screening must be at least six feet in height measured from the horizontal plane passing through the nearest point of the off-street loading space and may be provided by using any of the methods for providing screening described in Section 51A-4.602(b)(3), except that screening around service areas for trash collection must be screened by a masonry wall.

(e) Parking structures. Below-grade parking structures may project to the lot line.

(f) Compact parking. No more than 35 percent of the required parking spaces for any use may be provided by compact (7.5-foot-wide) stalls.

(g) On-street parking credit. Required parking for non-residential and multifamily uses may be reduced by one space for every parking space in the street right-of-way abutting the use. To receive credit, parking spaces must be marked per city regulations.

(1) An on-street parking space may not be used to reduce the required parking for more than one use (i.e. it cannot be counted more than once as a space for a use), except that an on-street parking space may be used to reduce the combined total parking requirement of a mixed-use project.

(2) An on-street parking space that is not available to the public at all times of the day may only be counted as a partial parking space in proportion to the amount of time that it is available. For example, a parking space that is available to the public only eight hours per day will be counted as one-third of a parking space ($8 \div 24 = \text{one-third}$). The total of the limited availability parking spaces will be counted to the nearest whole number, with one-half counted as an additional space.

(h) Tandem parking. Tandem parking is permitted for single family uses.

(i) Mixed use development parking reduction.

(1) In general.

(A) The off-street parking requirement for a mixed use development may be reduced in accordance with the mixed use development (MUD) parking chart (Exhibit 745C).

(B) For purposes of this section, mixed use development means a subarea with more than one main use.

(C) This reduction may be used in combination with other parking reductions, except that the standard requirement for a mixed use development may not be reduced by more than 30 percent.

(2) Calculation of adjusted standard off-street parking requirement. The adjusted off-street parking requirement for a mixed use development is calculated as follows:

(A) First, the standard parking requirements for each of the uses in the mixed use development must be ascertained.

(B) Next, the parking demand for each use is determined for each of the five times of day shown in the MUD parking chart by multiplying the standard off-street parking requirement for each use by the percentage in the chart assigned to the category of use. If a use in the development

does not fall within one of the categories shown in the MUD parking chart, the percentage assigned to that use is 100 percent for all five times of day.

(C) Finally, the “time of day” columns are totaled to produce sums that represent the aggregate parking demand for the development at each time of day. The largest of these five sums is the adjusted off-street parking requirement for the development.

(3) Minimum parking requirement. If one or more of the main uses in a mixed use development is a retail or personal service use, the minimum parking requirement for the mixed use development cannot be reduced to a number of spaces that is less than the sum of the standard parking spaces required for each of the retail and personal service uses in the mixed use development.

(j) Parking setback. Except for below-grade parking, parking is prohibited in a required front yard. (Ord. 26372)

SEC. 51P-745.113. ENVIRONMENTAL PERFORMANCE STANDARDS.

See Article VI. (Ord. 26372)

SEC. 51P-745.114. LANDSCAPING.

(a) Landscape plan.

(1) Except as provided in this section, a landscape plan must be submitted with the development plan and approved by the city plan commission before issuance of a building permit to authorize work in this district. The landscape plan must include any relevant parkway area and roadway zones. For Subarea B, a landscape plan must be submitted for each area of a shared access development before the issuance of a building permit to authorize work in each area.

(2) A landscape plan submission must consist of two blue line or black line prints. The plan must have a scale of one inch equals 50 feet or larger (e.g. one inch equals 40 feet, one inch equals 30 feet, etc.) and be on a standard drawing sheet of a size not to exceed 36 inches by 48 inches. A plan which cannot be drawn in its entirety on a 36 inch by 48 inch sheet must be drawn with appropriate match lines on two or more sheets.

(3) A landscape plan must contain the following information:

(A) Date, scale, north point, and the names, addresses, and telephone numbers of both the property owner and the person preparing the plan.

(B) Location of existing boundary lines and dimensions of the lot, the zoning classification of the lot, and the subarea classification of adjacent properties. A vicinity map should also be attached to or made a part of the plan.

(C) Approximate centerlines of existing water courses and the location of the 100-year flood plain, the escarpment zone, and geologically similar areas, if applicable; the approximate location of significant drainage features; and the location and size of existing and proposed streets and alleys, utility easements, driveways, and sidewalks on or adjacent to the lot.

(D) Project name, street address, and lot and block description.

(E) Location, height, and material of proposed screening and fencing (with berms to be delineated by one-foot contours).

(F) Locations and dimensions of proposed landscape buffer strips.

(G) Complete description of plant materials shown on the plan, including names (common and botanical name), locations, quantities, container or caliper sizes at installation, heights, spread, and spacing. The location and type of all existing trees on the lot over six inches in caliper must be specifically indicated.

(H) Complete description of landscaping and screening to be provided in or near off street parking and loading areas, including information as to the amount (in square feet) of landscape area to be provided interior to parking areas and the number and location of required off-street parking and loading spaces.

(I) An indication of how existing healthy trees proposed to be retained will be protected from damage during construction.

(J) Size, height, location, and material of proposed seating, lighting, planters, sculptures, and water features.

(K) A description of proposed watering methods.

(L) Location of visibility triangles on the lot (if applicable).

(M) Tabulation of points earned by the plan (See Subsection (f)).

(4) Landscape plan review.

(A) The city plan commission shall review each landscape plan submitted to determine whether or not it complies with the requirements of this section. All landscape plans must comply with the mandatory provisions in Subsection (e). In addition, all landscape plans must earn a minimum of 20 points. Points are awarded for specified landscape features and elements based on their relative value or merit.

(B) The alternatives from which an applicant may select to achieve the minimum point score needed for approval are referred to in this section as design standards and are set forth in Subsection (f).

(5) In Subareas E and F, landscaping must comply with the Subarea E and F landscape plan (Exhibit 745H). If there is a conflict between the text of this article and the landscape plan, the text of this article controls.

(b) Application of section. Except as otherwise provided, this section applies when an application for a building permit for work is made, unless the application is for:

(1) the repair of existing structures, demolition and grading, the installation of fencing or other structures for security purposes, work associated with permitted temporary uses, or work intended to provide for the irrigation or maintenance of landscaping; or

(2) restoration of a building that has been damaged or destroyed by fire, explosion, flood, tornado, riot, act of a public enemy, or accident of any kind. For purposes of this subsection, “restoration” means

- (A) the act of putting back into a former or original state; or
- (B) construction work that does not increase:
 - (i) the number of buildings on the lot;
 - (ii) the number of stories in a building on the lot;
 - (iii) the floor area of a building on the lot by more than 10 percent or 10,000 square feet, whichever is less; or
 - (iv) the nonpermeable coverage of the lot by more than 2,000 square feet.

(3) Notwithstanding the provisions of this subsection, tree mitigation requirements must be met in accordance with the provisions of this article.

(c) Consistency. The city council shall, at a minimum, impose landscaping requirements consistent with the standards and purposes of this section as a part of all ordinances establishing or amending any subarea.

(d) Special exception. The board of adjustment may grant a special exception to the landscaping requirements of this section upon making a finding from the evidence presented that strict compliance with the requirements of this section will result in substantial financial hardship or inequity to the applicant without sufficient corresponding benefit to the city and its citizens in accomplishing the objectives and purposes of this section.

(e) Mandatory provisions.

(1) Trees.

(A) Tree planting zone. For purposes of this section, the tree planting zone is that area parallel to and between two-and-one-half and four feet from the back of the projected street curb. (The tree planting zone is in the parkway. Note that the property owner must apply for a parkway landscape permit before any required trees may be planted in the parkway. See Paragraph (3) for more details regarding the parkway landscape permit.)

(B) Number, location, and type of trees required. Each lot must have one or more trees whose trunks are located wholly within the tree planting zone. The number of required trees is determined by dividing the number of feet of lot frontage by 25. Fractions are rounded to the nearest whole number, with .5 being rounded up to the next higher whole number. All required trees must be recommended for local area use by the director of parks and recreation. If a property owner cannot obtain a parkway landscape permit to locate a required tree in the parkway, the property owner shall locate the tree in the required front yard as near as practicable to the front lot line. If a lot has no front yard requirement and the property owner cannot obtain a parkway landscape permit to locate the required tree in the parkway, the property owner need not provide that required tree.

(C) Minimum tree height and trunk caliper. Required trees must have a minimum height of 14 feet and a minimum trunk caliper of three-and-one-half inches measured at a point 12 inches above the root ball.

(D) Tree spacing requirements. Required trees must be spaced as uniformly as practicable. The trunk of a required tree must be within 50 feet of another required tree.

(2) Private license granted.

(A) The city council hereby grants a revocable, non-exclusive license to the owners, or with the written consent of the owner, to the tenants or designated property owners association (“property owner”) of all Property in this district for the exclusive purpose of complying with Subsection (e). A property owner is not required to pay an initial or annual fee for this license, although a fee may be charged for issuance of a parkway landscape permit in accordance with the Dallas Building Code, or Paragraph (3). This private license shall not terminate at the end of any specific time period, however, the city council reserves and has the absolute right to terminate this license at will, by resolution passed by the city council, any time such termination becomes necessary. The determination by the city of the necessity for such termination shall be final and binding and the city shall become entitled to possession of the premises without giving any notice and without the necessity of legal proceedings to obtain possession whenever in its judgment the purpose or use of this license is inconsistent with the public use of the right-of-way or when the purpose or use of this license is likely to become a nuisance or a public safety issue. Upon termination of the license by the city council, each property owner shall remove all improvements and installations in the public rights-of-way in a manner satisfactory to the director of public works and transportation.

(B) Upon the installation of landscaping and related amenities, such as irrigation systems, in the public rights-of-way, the property owner shall procure, pay for and keep in full force and effect commercial general liability insurance coverage with an insurance company authorized to do business in the State of Texas and otherwise acceptable to the city, covering, but not limited to, the liability assumed under the license granted herein, with combined single limits of liability for bodily injury and property damage of not less than \$1,000,000 for each occurrence, \$2,000,000 annual aggregate. Coverage under this liability policy shall be on an “occurrence” basis and the city shall be named as additional insured. Proof of such insurance shall be sent to: Office of Risk Management, City of Dallas, 1500 Marilla, 1/C/North, Dallas, Texas 75201 and the policy shall provide for 30 days prior written notice to the office of risk management of cancellation, expiration, non-renewal or material change in coverage. All subrogation rights for loss or damage against the city are hereby waived to the extent it is covered by this liability insurance policy.

(C) Each property owner shall be responsible for maintaining the landscaping and related amenities in good repair and condition and to keep the premises safe and from deteriorating in value or condition, at no expense to the city, and the city shall be absolutely exempt from any requirements to make repairs or to maintain the landscaping and related amenities. The granting of a license for landscaping and related amenities under this section does not release the property owner from liability in the installation or maintenance of trees, landscaping, and related amenities in the public right-of-way.

(3) Parkway landscape permit.

(A) It is the responsibility of the property owner to apply for and obtain a parkway landscape permit before locating street trees, landscaping, sidewalks, or related amenities in the parkway. An application for a parkway landscape permit must be made to the director of public works

and transportation before an application for a building permit is made for work on the lot. The application must be in writing on a form approved by the director and accompanied by plans or drawings showing the area of the parkway affected and the planting or other amenities proposed.

(B) Upon receipt of the application and any required fees, the director shall circulate it to all affected city departments and utilities for review and comment. If, after receiving comments from affected city departments and utilities, the director determines that the construction and planting or other amenities proposed will not be inconsistent with and will not unreasonably impair the public use of the right-of-way, the director shall issue a parkway landscape permit to the property owner; otherwise, the director shall deny the permit.

(C) A property owner is not required to comply with any parkway landscaping requirement of this section if compliance is made impossible due to the director of public works and transportation's denial of a parkway landscape permit

(D) A parkway landscape permit issued by the director is subject to immediate revocation upon written notice if at any time the director determines that the use of the parkway authorized by the permit is inconsistent with or unreasonably impairs the public use of the right-of-way. The property owner is not required to comply with any parkway landscaping requirement of this section if compliance is made impossible due to the director's revocation of a parkway landscape permit.

(E) The issuance of a parkway landscape permit under this section does not excuse the property owner, his agents, or employees from liability in the installation or maintenance of trees or other amenities in the public right-of-way.

(4) Acceptable landscape materials.

(A) No artificial plant materials may be used to satisfy the requirements of this section.

(B) Plant materials used to satisfy the requirements of this section must comply with the following minimum size requirements at the time of installation:

(i) Large trees must have a minimum caliper of three inches, or a minimum height of twelve feet, depending on the standard measuring technique for the species.

(ii) Small trees must have a minimum height of six feet.

(iii) Large shrubs must have a minimum height of three feet.

(C) For purposes of Subparagraph (4)(B), "height" is measured from the top of the root ball or, if the plant is in a container, from the soil level in the container.

(D) In satisfying the landscaping requirements of this section, the use of high quality, hardy, and drought tolerant plant materials is recommended and encouraged.

(5) Soil requirements.

(A) Except as otherwise provided in this paragraph, landscape planting areas in general must have the following soil depths and dimensions:

(i) For each large shrub or small tree installation, a minimum of 24 inches of soil depth and 16 square feet of surface area (total of 32 cubic feet).

(ii) For each large tree installation, a minimum of 36 inches of soil depth and 25 square feet of surface area (total of 75 cubic feet).

(B) Landscape planting areas located above underground buildings or structures must have the following soil depths and dimensions:

(i) For each large shrub or small tree installation, a minimum of 30 inches of soil depth and 25 square feet of surface area (total of 62.5 cubic feet).

(ii) For each large tree installation, a minimum of 40 inches of soil depth and 36 square feet of surface area (total of 120 cubic feet).

(C) The building official may waive the minimum soil requirements if a landscape architect certifies that the proposed alternative soil depths and dimensions are sufficient to support the healthy and vigorous growth of the plant materials affected.

(6) Protection of landscape areas. Required landscape areas must be protected from vehicular traffic through the use of concrete curbs, wheel stops, or other permanent barriers.

(7) Irrigation requirements. Required plant materials must be located within 100 feet of a verifiable water supply. Proposed watering methods (irrigation or otherwise) must be:

(A) indicated on the landscape plan; and

(B) adequate to maintain the plant materials in a healthy, growing condition at all times.

(8) Pedestrian scale lighting. Pedestrian scale lighting that provides a minimum maintained average illumination level of 1.5 footcandles along all sidewalks on or adjacent to the lot and adjacent to a public street must be provided. PEDESTRIAN SCALE LIGHTING means that the light emanates from a source that is no more than 15 feet above the grade of the sidewalk. The design and placement of both the standards and fixtures must be approved by the director of public works and transportation. Unless otherwise provided for, each property owner is responsible for the cost of installation, operation and maintenance of the lighting on their property or in the public right-of-way adjacent to their property.

(9) Sidewalks. Except as provided in this paragraph, a minimum six-foot-wide sidewalk must be provided in an area parallel to and between four and 12 feet from the back of the projected street curb. If necessary to protect an existing tree, the building official may allow a sidewalk to be provided in another location. If the sidewalk is to be located in the front yard, the property owner must dedicate a sidewalk easement to the city to assure its availability to the public as a permanent pedestrian way.

(f) Design standards. To earn points under this subsection, landscape areas must be placed in the front yard of a building site. For purposes of this subsection, a front yard may include those areas of the public right-of-way or roadway zone located behind the curb that are used for streetscape.

(1) Percentage of front yard area. One point is awarded for each three percent of the total front yard area provided as landscape area to a maximum of 15 points if the landscape area:

- (A) is at least 50 square feet;
- (B) is covered with grass or other plant material as ground cover; and
- (C) for every 100 square feet of landscape area, or fraction thereof has a minimum of:

(i) one large canopy tree (See Paragraph (3) regarding credit for retention or relocation of existing trees);

(ii) three small trees;

(iii) two small trees and one large shrub;

(iv) one small tree and two large shrubs; or

(v) three large shrubs.

(2) Parking concealment. Five points are awarded for providing all required parking in structures which:

(A) have all facades covered with the same material as the main building; or

(B) are totally underground.

(3) Existing tree credits. Existing healthy trees are categorized in accordance with the definitions of this section and credited toward meeting design standards as follows:

(A) For each tree retained or relocated to the front yard of the building site or to the parkway, having a caliper equal to or greater than four inches but less than six inches, a credit of one required large tree is allowed.

(B) For each tree retained or relocated to the front yard of the building site or to the parkway, having a caliper equal to or greater than six inches but less than 12 inches, a credit of two required large trees is allowed.

(C) For each tree retained or relocated to the front yard of the building site, to the parkway, or within any of the subareas having a caliper equal to or greater than 12 inches, a credit of three required large trees is allowed.

(4) Special amenities.

(A) Enhanced pavement material.

(i) Three points are awarded when at least 50 percent of all outdoor vehicular pavement area in the front yard(s) of a lot consists of enhanced pavement. (Note: All vehicular pavement must comply with the construction and maintenance provisions for off-street parking in the Dallas Development Code, as amended.)

(ii) Three points are awarded when at least 50 percent of all outdoor pedestrian pavement area consists of enhanced pavement. (Note: All pedestrian pavement material and design must be approved by the director of public works and transportation.)

(B) Pedestrian facilities. One point is awarded for each one percent increment of lot area covered by publicly accessible special pedestrian facilities and features such as plazas, covered walkways, fountains, lakes and ponds, seating areas, bicycle racks, and outdoor recreation facilities, up to a maximum of five points.

(g) Tree preservation, removal, and replacement. A property owner may follow the provisions of Division 51A-10.130 or the following:

(1) This subsection applies to all Property within this district except for lots smaller than two acres in size that contain single family (including duplex and townhouse) uses.

(2) The tree survey (Exhibit 745D) shall serve as the basis for tree preservation, removal, and replacement activity.

(3) Tree preservation may be accomplished by planting replacement trees anywhere within this district.

(4) Trees which are preserved in or relocated to a park, a conservation easement, designated open space, or area shown on a development plan shall receive a 2:1 caliper inch credit which may be applied toward meeting the requirement of this subsection.

(5) The city arborist must approve all tree preservation, removal, and replacement activity.

(6) Tree replacement is required within 12 months after issuance of a final certificate of occupancy for structure in the area identified on an approved development plan. Subject to the provisions of this section regarding tree credits, the total caliper inches of replacement trees must equal or exceed the total caliper inches of protected trees removed, including those protected trees removed prior to demolition activity.

(h) When landscaping must be completed.

(1) Except as otherwise provided in Paragraph (2), all landscaping must be completed in accordance with the approved landscape plan before a certificate of occupancy may be issued for any building on the lot.

(2) If the property owner provides the building official with documented assurance that the landscaping will be completed within six months, the building official may issue one six-month temporary certificate of occupancy and permit the property owner to complete his landscaping during the six-month period.

(A) For purposes of this subsection, DOCUMENTED ASSURANCE means a copy of a valid contract to install the landscaping in accordance with the landscape plan within the six-month period; or a set of deed restrictions containing a covenant to install the landscaping in accordance with the landscape plan within the six-month period.

(B) The deed restrictions must:

- (i) expressly provide that they may be enforced by the city;
- (ii) be approved as to form by the city attorney; and
- (iii) be filed in the deed records of the county in which the land is located.

(i) General maintenance. Required landscaping must be maintained in a healthy, growing condition at all times. The property owner is responsible for regular weeding, mowing of grass, irrigating, fertilizing, pruning, and other maintenance of all plantings as needed. Any plant that dies must be replaced with another living plant that complies with the approved landscape plan within 90 days after notification by the city.

(j) Subarea B.

(1) Single family uses. Single family uses must comply with the following requirements:

(A) A minimum of 20 percent of the aggregate land area of all shared access developments in Subarea B must be designated as landscape area. Designated landscape area must consist of all areas within a shared access development except for platted residential lots and driving surfaces. For purposes of this subsection, consolidated open space, pedestrian way open space, mid-block open space, and modified mid-block open space located as shown on the private permeable area plan (Exhibit 745F) are considered landscape area.

(B) One site tree must be provided for every 4,000 square feet within a shared access development. Every site tree must have a planting area of at least 25 square feet. The trunk of any site tree must be located at least two-and-one-half feet from any pavement. Site trees must be species listed in Section 51A-10.134.

(C) In addition to any site trees, one tree must be provided for every 40 feet of street frontage, excluding shared access points, with a minimum of two street trees required. Street trees may be located within the front yard or parkway if all private licensing requirements of the city code and charter are met. In this paragraph, PARKWAY means the portion of a street right-of-way between the projected street curb and the front lot line or corner side lot line. If the director determines that a tree would interfere with utility lines, a substitute street tree from a species listed in Section 51A-10.134 may be provided.

(D) Required street trees may be located anywhere in Subarea B.

(2) Private permeable area plan for a shared access development.

(A) For a shared access development, consolidated open space, pedestrian way open space, mid-block open space, and modified mid-block open space must be provided as shown on the private permeable area plan (Exhibit 745F).

(B) Dimensional revisions to consolidated open space areas 1 through 8 may be considered if requested revisions provide for no reduction in land area for each area, using the director

procedure in Section 51A-4.702(h)(2)(A). For purposes of this subparagraph, Section 51A-4.702(h)(2)(A)(ii)(aa) does not apply.

(C) Dimensional revisions to a pedestrian way open space may be considered if requested revisions provide for not less than 18 feet of width for each area, using the director procedure in Section 51A-4.702(h)(2)(A). For purposes of this subparagraph, Section 51A-4.702(h)(2)(A)(ii)(aa) does not apply.

(D) Dimensional revisions to a mid-block open space may be considered if requested revisions provide for not less than 10 feet of width for each area, using the director procedure in Section 51A-4.702(h)(2)(A). For purposes of this subparagraph, Section 51A-4.702(h)(2)(A)(ii)(aa) does not apply.

(E) Roof eaves may project into a pedestrian way open space and mid-block open space up to two feet, with a minimum clearance of 10 feet above grade.

(F) Each pedestrian way open space area, as shown on the private permeable area plan (Exhibit 745F), must be 100 percent permeable except sidewalks no more than four feet in width, steps, stoops, retaining walls, and landscape walls.

(G) Each mid-block open space, as shown on the private permeable area plan, must contain a minimum width of 10 feet and must be 90 percent permeable. For purposes of this subparagraph, brick pavers or similarly small dimensioned material are considered permeable. Nonpermeable sidewalk construction is prohibited.

(H) Each modified mid-block open space, as shown on the private permeable area plan, must be 90 percent permeable. For purposes of this subparagraph, brick pavers or similarly small dimensioned material are considered permeable. Nonpermeable sidewalk construction is prohibited.

(I) If consolidated open space area 3 is developed with a swimming pool and associated structures and improvements, a minimum of 45 percent of the land area must be covered by natural grass, ground cover, or other natural plant materials (excluding screening).

(3) Tree preservation, removal, and replacement for single family uses. Tree preservation, removal and replacement must comply with Division 51A-10.130.

(4) Mitigation calculations. Within five years after issuance of a grading permit, the Property owner shall present to the building official the total mitigation calculation including mitigation amount less trees planted. This term may be extended by two one-year extensions to be mutually agreed by the building official and Property owner. (Ord. No. 26372; 27713; 29785; 29804)

SEC. 51P-745.115.

BUILDING ELEMENTS AND DESIGN STANDARDS.

(a) In general.

(1) Applicability.

(A) Except as provided in this section, building elements and design standards apply to all buildings within the district.

(B) Single family uses in Subarea B are not subject to this section.

(2) Purpose. Building elements and design standards are intended to:

(A) ensure that new development enhances and is compatible with surrounding neighborhoods; and

(B) enhance the character and environment for pedestrians.

(3) Building elements and facade for Subareas A, C, and D.

(A) Street-level transparency. (*Measured between 0 and 10 feet above adjacent sidewalk.*)

(i) Primary street facade: Minimum 40 percent.

(ii) Secondary street facade: Minimum 20 percent.

(B) Upper-story transparency. (*Measured from floor to floor.*)

(i) Primary street facade: Minimum 40 percent.

(ii) Secondary street facade: Minimum 20 percent.

(C) Entrance.

(i) Primary street facade: Required.

(ii) Entrance spacing: (*Maximum linear feet.*)

(aa) Except as provided in Provision (bb) and (cc): 100.

(bb) For hospital, medical or scientific laboratory, and all office uses: 150.

(cc) For convalescent and nursing homes, hospice care, and related institutions and retirement housing, no maximum entrance spacing is required.

(iii) Secondary facade: Allowed.

(4) Building elements and facade for Subarea B.

(A) Street-level transparency. (*Measured for first finished floor above adjacent sidewalk.*)

(i) Primary street facade:

(aa) Except as provided in Provision (bb): Minimum 40 percent.

(bb) For multifamily uses: Minimum 30 percent.

- (ii) Secondary street facade: Minimum 20 percent.
- (B) Upper-story transparency. (*Measured from floor to floor.*)
 - (i) Primary street facade:
 - (aa) Except as provided in Provision (bb): Minimum 40 percent.
 - (bb) For multifamily uses: Minimum 30 percent.
 - (ii) Secondary street facade: Minimum 20 percent.
- (C) Entrance.
 - (i) Primary street facade: Required.
 - (ii) Entrance spacing (*Maximum linear feet.*): 150.
 - (iii) Secondary facade: Allowed.
- (5) Blank wall. A blank wall may not face a primary street for more than 20 linear feet.
- (6) Street-level retail use front windows. A minimum of 60 percent of a street-fronting street-level window must allow views into the street-level retail use for a depth of at least four feet, measured from the edge of the sidewalk closest to the window. Windows must be clear, unpainted, or translucent. Spandrel glass or back-painted glass is not permitted.
- (b) Off-street parking structures.
 - (1) Except as provided in this subsection, all permanent parking structures must be either underground, or concealed in a building with a facade that is similar in appearance to the facade of either the main non-parking building to which the parking is accessory or the adjacent structure's architecture. At least 10 percent of the parking structure facade must be covered with the same material used predominantly on the first 50 feet of height of the main non-parking building. (The facade area is calculated by including openings, if any.) Openings in the parking structure facade must not exceed 52 percent of the total facade area.
 - (2) Parking structures in Subarea B that are not adjacent to public right-of-way are not subject to the requirements of Paragraph (1).
- (c) Highly reflective glass prohibited. Highly reflective glass may not be used as an exterior building material on any building or structure in this district. For purposes of this subsection, HIGHLY REFLECTIVE GLASS means glass with exterior visible reflectance percentages in excess of 27 percent. Visible reflectance is the percentage of available visible light energy reflected away from the exterior surface of the glass. (The higher the percentage, the more visible light reflected and the more mirror-like the surface will appear.)
- (d) Multifamily structures. The facade of multifamily dwelling units, exclusive of trim, doors, soffets, and shutters, must consist of no more than 15 percent wood or products that appear to be

wood (such as Hardi-plank), with the remainder of the facade to be constructed of glass or masonry that does not have the appearance of wood.”
(Ord. Nos. 26372; 27713; 29785)

SEC. 51P-745.116. SIGNS.

(a) In general. Except as otherwise provided in this section, signs must comply with the provisions for business zoning districts in Article VII.

(b) A-frame signs. A-frame signs are permitted to identify a business in accordance with the following provisions:

- (1) The maximum size of the sign is 32 inches wide and 36 inches tall.
 - (2) The maximum effective area per side is 1,200 square inches.
 - (3) A-frame signs may only be displayed when the business that it is identifying is open.
 - (4) A-frame signs may be located on the sidewalk or in the front yard of the business that it is identifying, provided a minimum of four feet of unobstructed sidewalk area is provided, and all necessary licenses and permits have been obtained.
 - (5) Only one A-frame sign is permitted per business.
 - (6) A-frame signs must be separated by a minimum of 50 feet.
 - (7) A-frame signs may not be located closer than 25 feet to a street intersection.
- (Ord. Nos. 26372; 27713)

SEC. 51P-745.117. ADDITIONAL PROVISIONS.

(a) In Subarea B, platting must comply with Article VIII. No more than 350 lots may be platted as a shared access development subject to a final plat providing for no dead end streets. For purposes of this subsection, a cul-de-sac or a shared access area containing a maximum linear distance of 150 feet are not considered dead end streets.

(b) Before the final inspection of the first single family dwelling unit, an eight inch water main must be provided to serve the shared access development, with final design and construction approved by Dallas Water Utilities.

(c) The Property must be properly maintained in a state of good repair and neat appearance.

(d) Development and use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the city.
(Ord. Nos. 26372; 29875)

SEC. 51P-745.118.

COMPLIANCE WITH CONDITIONS.

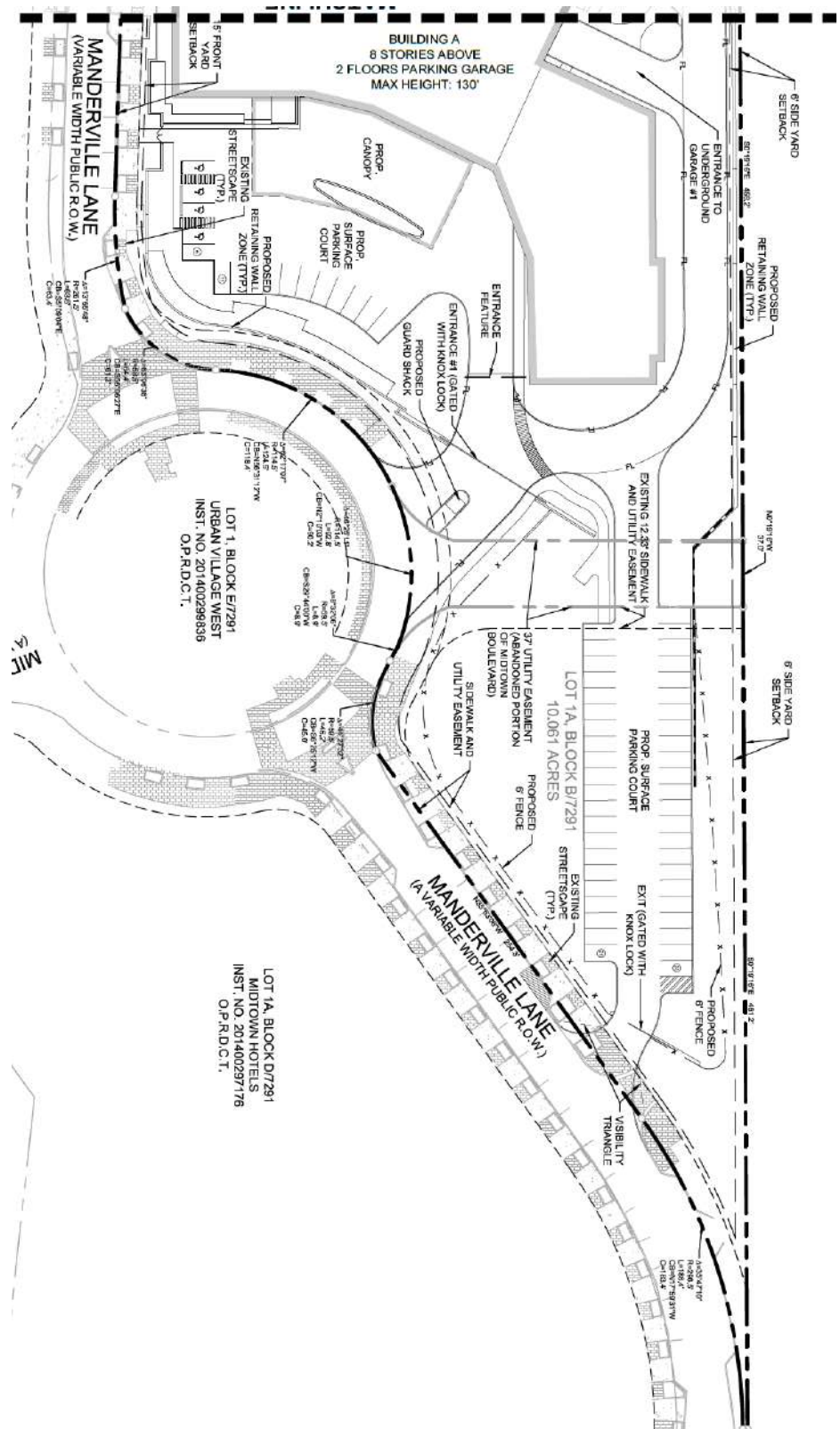
(a) All paved areas, permanent drives, streets, and drainage structures, if any, must be constructed in accordance with standard city specifications, and completed to the satisfaction of the director of public works and transportation.

(b) The building official shall not issue a building permit to authorize work, or a certificate of occupancy to authorize the operation of a use, in this subdistrict until there has been full compliance with this division, the Dallas Development Code, the construction codes, and all other ordinances, rules, and regulations of the city. (Ord. 26372)

The site plan for Lot 1A, Block A/7291, illustrates the layout of four buildings (A, B, C, and D) and their associated parking and access features. Building A is a 2-story parking garage with a maximum height of 100 feet. Building B is a 3-story structure with a maximum height of 36 feet. Building C is also a 3-story structure with a maximum height of 36 feet. Building D is an 8-story building above a parking garage, with a maximum height of 100 feet. The plan includes various parking areas, including a 2-floor parking garage (A), a 2-floor parking garage (B), a 2-floor parking garage (C), and a 2-floor parking garage (D). It also shows several parking lots, including a 10,061-acre lot (B/7291), a 10,061-acre lot (C/7291), and a 10,061-acre lot (D/7291). The plan includes numerous labels for specific features, such as 'ENTRANCE TO BUILDING A', 'ENTRANCE TO BUILDING B', 'ENTRANCE TO BUILDING C', 'ENTRANCE TO BUILDING D', 'ENTRANCE TO PARKING GARAGE A', 'ENTRANCE TO PARKING GARAGE B', 'ENTRANCE TO PARKING GARAGE C', 'ENTRANCE TO PARKING GARAGE D', 'ENTRANCE TO PARKING LOT A', 'ENTRANCE TO PARKING LOT B', 'ENTRANCE TO PARKING LOT C', 'ENTRANCE TO PARKING LOT D', 'ENTRANCE TO PARKING LOT E', 'ENTRANCE TO PARKING LOT F', 'ENTRANCE TO PARKING LOT G', 'ENTRANCE TO PARKING LOT H', 'ENTRANCE TO PARKING LOT I', 'ENTRANCE TO PARKING LOT J', 'ENTRANCE TO PARKING LOT K', 'ENTRANCE TO PARKING LOT L', 'ENTRANCE TO PARKING LOT M', 'ENTRANCE TO PARKING LOT N', 'ENTRANCE TO PARKING LOT O', 'ENTRANCE TO PARKING LOT P', 'ENTRANCE TO PARKING LOT Q', 'ENTRANCE TO PARKING LOT R', 'ENTRANCE TO PARKING LOT S', 'ENTRANCE TO PARKING LOT T', 'ENTRANCE TO PARKING LOT U', 'ENTRANCE TO PARKING LOT V', 'ENTRANCE TO PARKING LOT W', 'ENTRANCE TO PARKING LOT X', 'ENTRANCE TO PARKING LOT Y', 'ENTRANCE TO PARKING LOT Z'. The plan also shows various streets, including Manderbiddle Lane, Manderbiddle Lane (A/Roads North of Manderbiddle Lane), and Manderbiddle Lane (B/Roads North of Manderbiddle Lane). The plan includes a north arrow and a scale bar.



Proposed "Subarea D" Development Plan Enlarged



**Proposed “Subarea D” Development Plan
Enlarged**

SITE DATA	
SITE TOTAL	(438,257 S.F.) 10.06 AC.
TOTAL BUILDING FOOTPRINT AREA	(154,970 S.F.) 3.56 AC.
TOTAL BUILDING FLOOR AREA	560,000 S.F.
LOT COVERAGE RATIO (MAX. 90%)	154,970 S.F. / 438,257 S.F. = 35%
FLOOR AREA RATIO (MAX. 2.25)	1.28
OPEN SPACE (MIN: 1.5 AC.)	2.50 AC.
UNIT DENSITY (MAX. 100 UNITS/ACRE)	37 UNITS PER ACRE
BUILDING HEIGHT	BUILDING A - 130' MAX BUILDING B - 56' MAX BUILDING C - 56' MAX

UNIT DATA	
RETIREMENT HOUSING (INDEPENDENT LIVING)	180 UNITS
CONVALESCENT/ NURSING HOME (2 BEDS = 1 UNIT)	95 UNITS (190 BEDS)
TOTAL UNIT COUNT	275 UNITS

PARKING DATA	
PARKING REQUIRED	
RETIREMENT HOUSING (INDEPENDENT LIVING) 1 SPACE PER UNIT	180 SPACES
CONVALESCENT/ NURSING HOME 0.3 SPACES PER BED	57 SPACES
TOTAL PARKING REQUIRED	237 SPACES (4 LOADING SPACES)
PARKING PROVIDED	
UNDERGROUND GARAGE PARKING	178 SPACES
SURFACE PARKING	175 SPACES
ON-STREET PARKING	19 SPACES
TOTAL PARKING PROVIDED	372 SPACES (4 LOADING SPACES)

SUBAREA D
DEVELOPMENT PLAN
(LOT 1A, BLOCK B7291)
8182 MANDERVILLE LANE
PLANNED DEVELOPMENT
DISTRICT NO. 745

14-39

Existing Conceptual Plan

VICINITY MAP
N.T.S.

Sub-District A (10.939 Acres)		
Issue	Minimum	Maximum
Height (ft)	None	270'
Commercial/Residential FAR	None	4.00
Residential Density (Dwelling Units/Acre)	None	8
Lot Coverage	None	90%
Front Yard Setback (ft. from "Roadway Zone")	10'	20'
Rear/Side Yard Setback (ft. from Property Line)*	5'	None

* - Except for news footage

Sub-District B (32.952 Acres)		
Issue	Minimum	Maximum
Height (ft)	None	240'
Commercial/Residential FAR	None	4.00
Residential Density (Dwelling Units/Acre)	None	120
Lot Coverage	None	90%
Front Yard Setback (ft. from "Roadway Zone")	10'	15'
Rear/Side Yard Setback (ft. from Property Line)*	5'	None

* - Except for news footage

Sub-District C (9.915 Acres)		
Issue	Minimum	Maximum
Height (ft)	None	240'
Commercial/Residential FAR	None	2.85
Residential Density (Dwelling Units/Acre)	None	120
Lot Coverage	None	90%
Front Yard Setback (ft. from "Roadway Zone")	10'	14'
Rear/Side Yard Setback (ft. from Property Line)*	5'	None

* - Except for news footage

Sub-District D (6.896 Acres)		
Issue	Minimum	Maximum
Height (ft)	None	58'
Commercial/Residential FAR	None	2.25
Residential Density (Dwelling Units/Acre)	None	100
Lot Coverage	None	90%
Front Yard Setback (ft. from "Roadway Zone")	5'	14'
Rear/Side Yard Setback (ft. from Property Line)*	5'	None

* - Except for news footage

Sub-District E (3.095 Acres)		
Issue	Minimum	Maximum
Height (ft)	None	240'
Commercial/Residential FAR	None	2.85
Residential Density (Dwelling Units/Acre)	None	120
Lot Coverage	None	90%
Front Yard Setback (ft. from "Roadway Zone")	10'	14'
Rear/Side Yard Setback (ft. from Property Line)*	5'	None

* - Except for news footage

Sub-District F (14.086 Acres)		
Issue	Minimum	Maximum
Height (ft)	None	58'
Commercial/Residential FAR	None	2.25
Residential Density (Dwelling Units/Acre)	None	100
Lot Coverage	None	90%
Front Yard Setback (ft. from "Roadway Zone")	5'	14'
Rear/Side Yard Setback (ft. from Property Line)*	5'	None

* - Except for news footage

Planned Developme
District
No. 745

Conce

Existing Exhibit B Equivalency Table

0616

26372

EXHIBIT 745B
Equivalency Table

1. Modifications to the land uses within this planned development district are allowed, provided that the floor area or equivalents of the uses originally studied in the Valencia Assemblage traffic impact analysis (TIA) dated January 24, 2006 are not exceeded.
2. Development in this planned development district must not exceed the sum of the following land uses, or equivalents as calculated in accordance with this section:

Land Use	Amount	Unit
Multifamily	3,800	Dwelling Unit
Retail and Personal Services	90,000	Square Feet
Office	930,000	Square Feet

3. The following equivalency table must be used to calculate maximum permitted floor areas for uses identified in Section 2.

One (1.0) Multifamily Dwelling Unit (ITE Land Use 220)	is considered equivalent to	Quantity	Use (ITE Land Use Code)
		0.6 DU	Single-Family Detached Housing (210)
		1.2 DU	Single-Family Attached Housing (230)
		1.0 Guest Room	Lodging uses (310)
		420 SF	Office (710)
		140 SF	Medical Clinic or Ambulatory Surgical Center (720)
		165 SF	Retail and Personal Services (other than Restaurant) (820)
		60 SF	Restaurant (932)

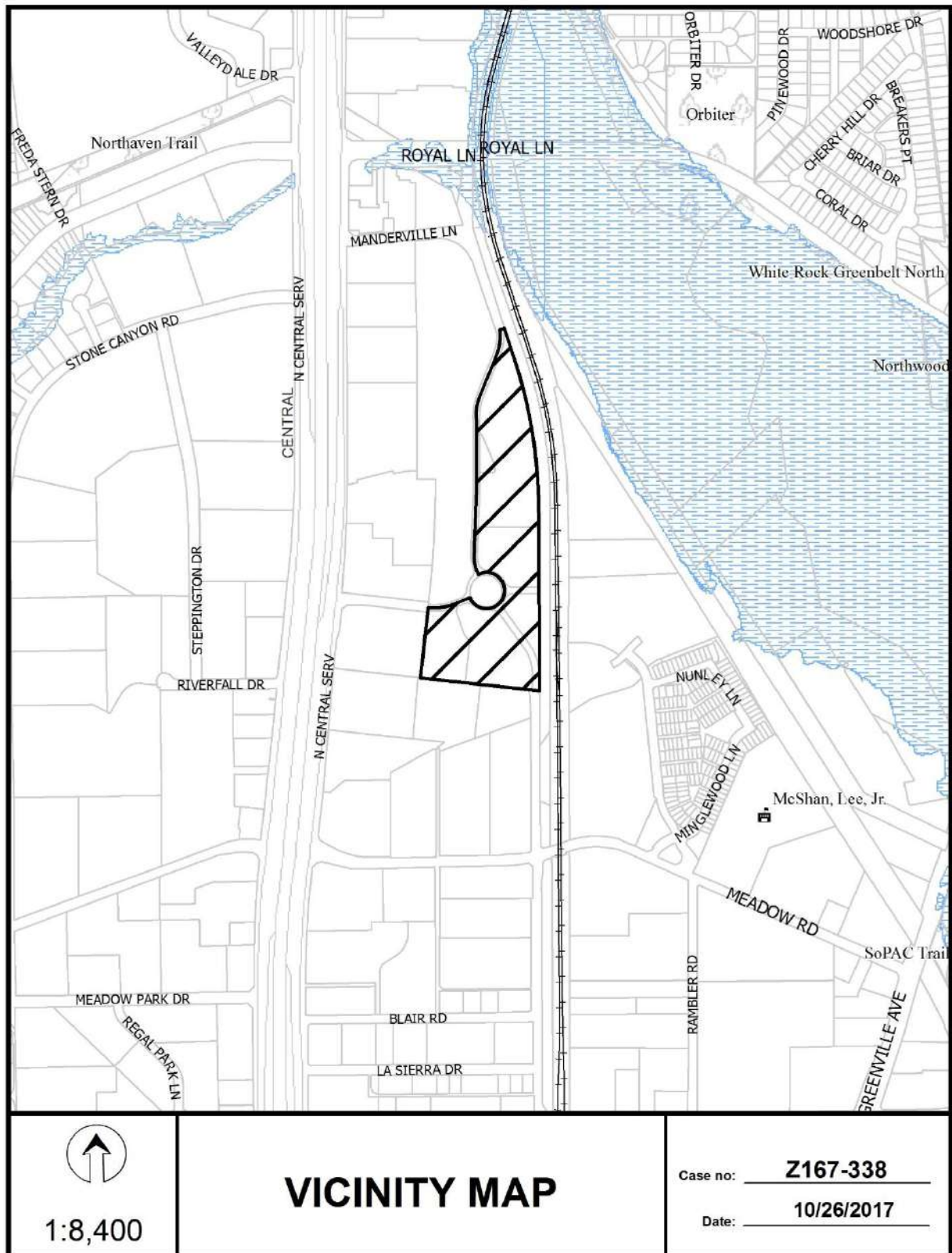
4. In no instance shall office uses exceed 1,250,000 square feet of floor area in this district.
5. In no instance shall retail and personal service uses exceed 500,000 square feet of floor area in this district.
6. In no instance shall multifamily dwelling units exceed 3,800 units in this district.

Example: 100 multifamily DU is equivalent to 42,000 SF of office floor area, or 6,000 SF of restaurant floor area.

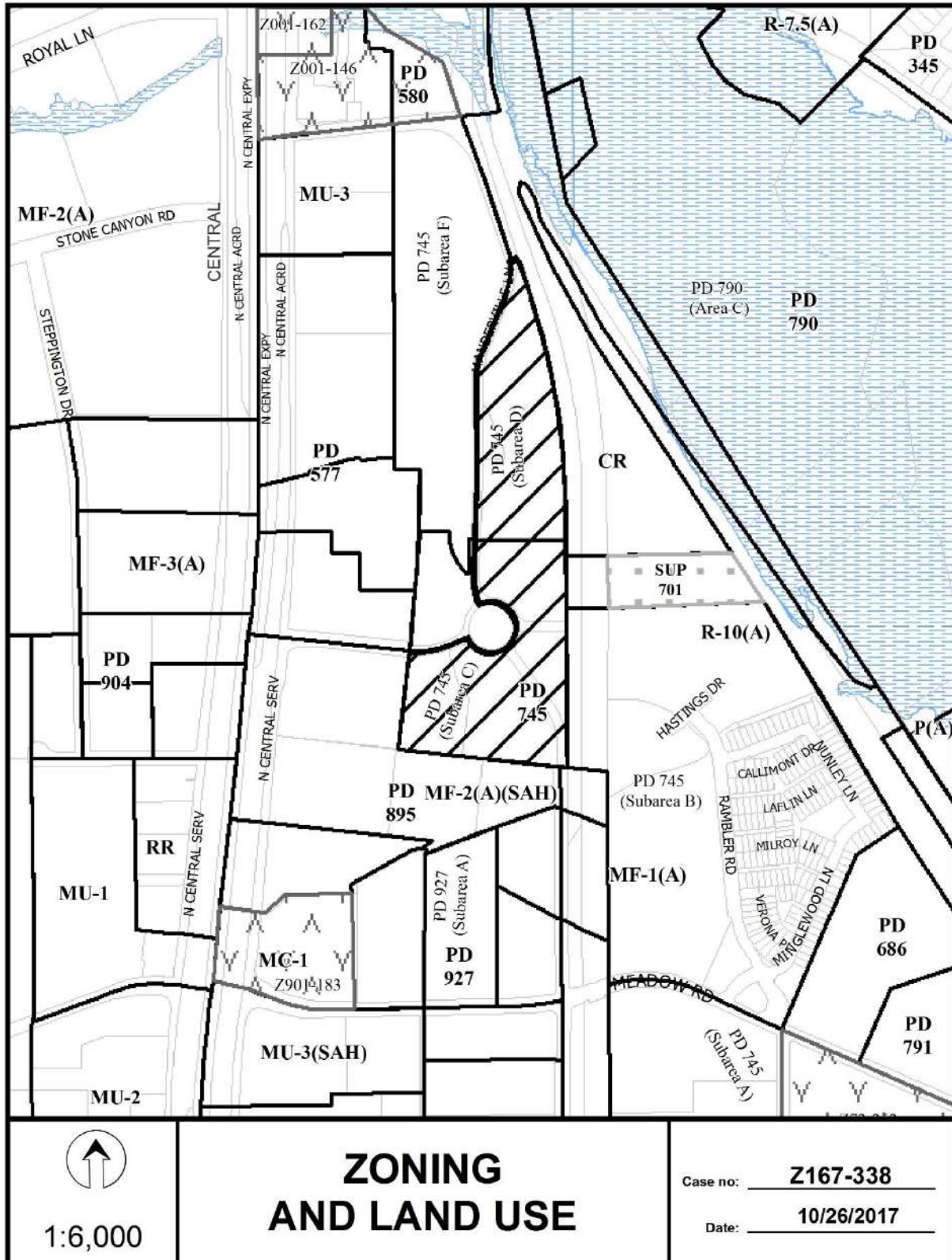
The equivalency table may be used to convert between any of the land uses listed.

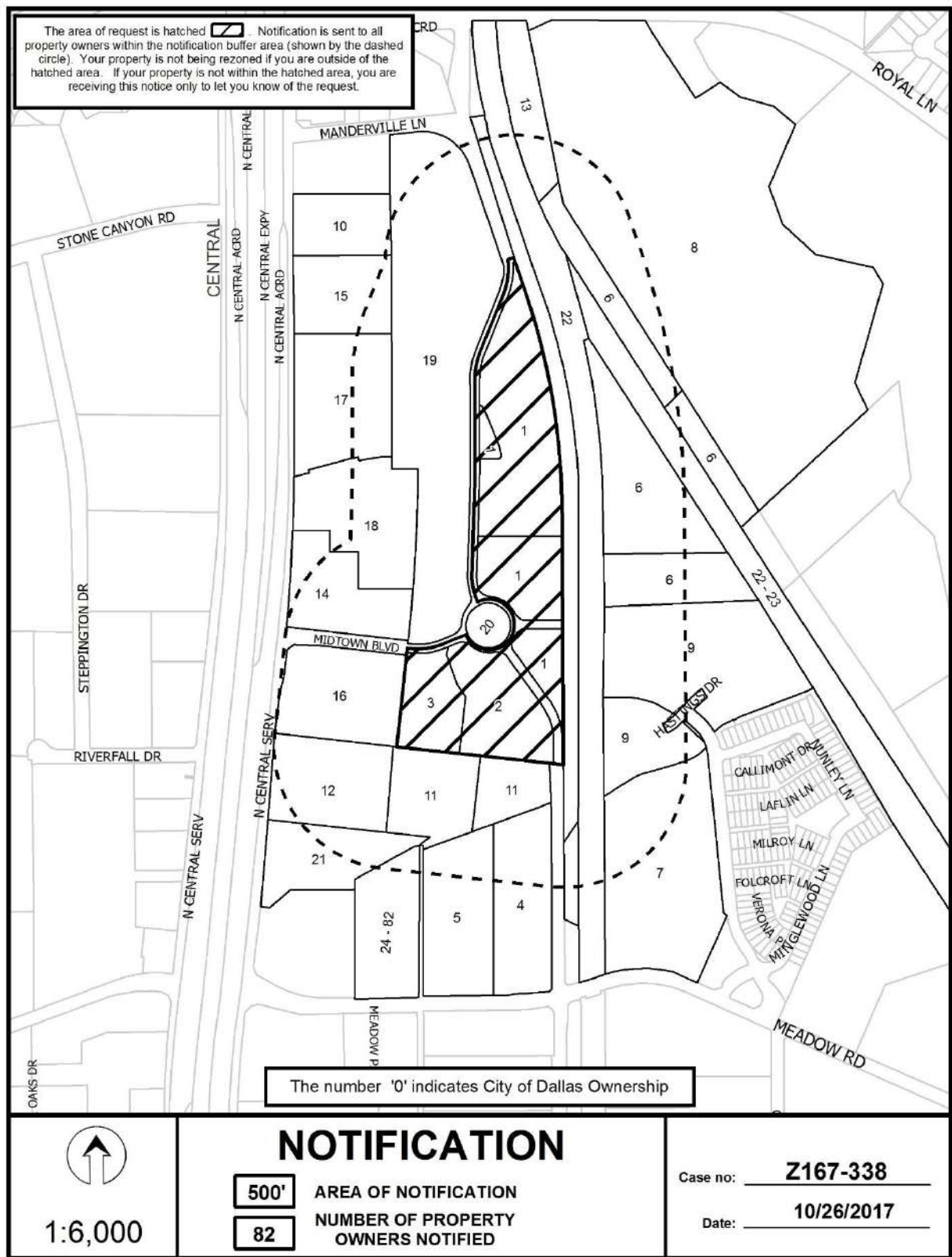
Example: 1,000 SF of office floor area is equivalent to 393 SF of retail floor area, or 143 SF of restaurant floor area, or 2.4 multifamily DU.

The above table was developed by comparing the average PM peak hour trip generation for each use, using data from the Institute of Transportation Engineers (ITE) *Trip Generation*, 7th Edition. Equivalencies for other land uses not reflected in the table may be made by citing the data in *Trip Generation*, 7th or newer Edition.









10/26/2017

Notification List of Property Owners***Z167-338******82 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	8182 MANDERVILLE LN	LEGACY AT MIDTOWN PARK INC
2	8190 MIDTOWN BLVD	BRAZOS TEXAS LAND DEVELOPMENT LLC
3	8180 MIDTOWN BLVD	FREEDOM HOSPITALITY LLC
4	8175 MEADOW RD	MEADOWS REDEVELOPMENT LTD
5	8111 MEADOW RD	FIRST BAPTIST REALTY LLC
6	8200 MANDERVILLE LN	TEXAS UTILITIES ELEC CO
7	8232 MEADOW RD	TKG VALENCIA MIDTOWN LLC
8	7800 GREENVILLE AVE	ROYAL OAKS COUNTRY CLUB
9	8200 RAMBLER RD	HT MIDTOWN LP
10	10830 N CENTRAL EXPY	SHOAL CREEK NO 1 LC
11	8109 MANDERVILLE LN	COMMODORE PARTNERS LTD
12	10550 N CENTRAL EXPY	MIDTOWN MARK LLC
13	8409 MANDERVILLE LN	TEXAS UTILITIES ELEC CO
14	10670 N CENTRAL EXPY	BVP NCE LLC
15	10824 N CENTRAL EXPY	DALLAS SSA LP
16	10650 N CENTRAL EXPY	COMMODORE PTNRS LTD
17	10740 N CENTRAL EXPY	FAEC HOLDINGS LLC
18	10720 N CENTRAL EXPY	SK23 NORTH DALLAS LTD
19	8401 MANDERVILLE LN	DOMAIN AT MIDTOWN PARK LTD
20	1 MANDERVILLE LN	DOMAIN AT MIDTOWN PARK LTD
21	10440 N CENTRAL EXPY	SCG CP MEADOW PARK
22	401 S BUCKNER BLVD	DART
23	401 S BUCKNER BLVD	DART
24	8059 MEADOW RD	MESSEYE ABEIR
25	8059 MEADOW RD	TODORA TONY
26	8057 MEADOW RD	MEADOWS NORTH INVESTMENTS LLC

10/26/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	8057 MEADOW RD	8057 MEADOW ROAD #201 LAND TRUST
28	8057 MEADOW RD	NEWAY ZEKARIAS
29	8057 MEADOW RD	ABEBE ZUFAN
30	8055 MEADOW RD	COOMER JEFFREY
31	8055 MEADOW RD	CUNNINGHAM SHEREICE
32	8057 MEADOW RD	CUNNINGHAM SHEREICE
33	8055 MEADOW RD	MEADOWS NORTH REALTY LLC
34	8055 MEADOW RD	KEBEDE TAFESECH
35	8065 MEADOW RD	MALLARD WARREN L
36	8065 MEADOW RD	HUEY JOSEPH D & LORI A
37	8067 MEADOW RD	CHILDRESS CAROLYN H
38	8065 MEADOW RD	YEMANE SOLOMON
39	8065 MEADOW RD	JORDAN JAMES C &
40	8067 MEADOW RD	SHARP ABRAHAM E & SUSAN A
41	8069 MEADOW RD	BENAVIDES OSCAR
42	8069 MEADOW RD	HARTGROVE GRACE T
43	8069 MEADOW RD	ASKY MAZYAR
44	8069 MEADOW RD	PEREYDA MIRANDA
45	8071 MEADOW RD	GARCIA CYNTHIA
46	8071 MEADOW RD	WOLTER DIANE
47	8071 MEADOW RD	MESSEYE ABIER
48	8071 MEADOW RD	YANACEK CANDACE L
49	8075 MEADOW RD	PINNEBOG INVESTMENTS LLC
50	8075 MEADOW RD	NGUYEN LAM P
51	8075 MEADOW RD	SINGLETON PAULA K
52	8075 MEADOW RD	MEDINA JUANA
53	8081 MEADOW RD	MISGINA HAIMANOT BERAK
54	8081 MEADOW RD	SALCEDO DANNIEL E
55	8081 MEADOW RD	SOLOMON YEMANE KIFLU
56	8081 MEADOW RD	VILLAFUERTE ARMANDO
57	8083 MEADOW RD	MAYO HEDWIG J

10/26/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	8083 MEADOW RD	VALDEZ FEDERICO C &
59	8083 MEADOW RD	ARMSTRONG YENY A
60	8083 MEADOW RD	LARUMBE ZULEMA
61	8085 MEADOW RD	KELSO JOSHUA & TERRY D
62	8085 MEADOW RD	MEADOW 8085#226 LAND TRUST
63	8085 MEADOW RD	MITCHELL LAURENCE
64	8087 MEADOW RD	KIRK CHARLES GLEN
65	8087 MEADOW RD	HOLAN ANTHONY N &
66	8087 MEADOW RD	HOLCOMB JAMES RUSSELL III
67	8089 MEADOW RD	GLO NITE INC
68	8089 MEADOW RD	JOHNSTON HILLARY
69	8089 MEADOW RD	HAILE TESHOME S
70	8091 MEADOW RD	BENAVIDES OSCAR R JR
71	8091 MEADOW RD	ALEMU HULUMSEW ABEBE
72	8093 MEADOW RD	KIDANE MULU HABITE &
73	8093 MEADOW RD	BENEVIDES OSCAR
74	8091 MEADOW RD	CHOU AMY &
75	8093 MEADOW RD	ABRAHA SELAMAWIT
76	8095 MEADOW RD	MIZU KASSAHUN
77	8095 MEADOW RD	TAN JINI L
78	8095 MEADOW RD	SHEPHERD MARGARET
79	8095 MEADOW RD	SEUBERT SALLY A
80	8095 MEADOW RD	STOKES CATRIONA
81	8095 MEADOW RD	FOSTER CORRIE LEE
82	8079 MEADOW RD	MEADOWS NORTH REALTY LLC

FILE NUMBER: Z167-400(JM)

DATE FILED: September 25, 2017

LOCATION: Northeast corner of Maple Avenue and Vagas Street

COUNCIL DISTRICT: 2

MAPSCO: 34-Z

SIZE OF REQUEST: ±0.532 acres

CENSUS TRACT: 4.05

OWNER: Johnny P. Harvey

**APPLICANT/
REPRESENTATIVE:** Santos Martinez, Masterplan

REQUEST: An application for a Planned Development Subdistrict for GR General Retail Subdistrict uses and auto painting or body rebuilding shop (inside) use by right, and an accessory motor vehicle storage outside use on property zoned a GR General Retail Subdistrict within Planned Development District No. 193, the Oak Lawn Special Purpose District.

SUMMARY: The purpose of this request is to allow an auto painting or body rebuilding shop (inside) use by right. The use is not allowed in current zoning of GR Subdistrict. Harvey's Paint and Body shop has been in operation since the 1960s. The applicant would like to expand the nonconforming use into the neighboring suite. The current request is to rezone to achieve conformity for the use and site. Additionally, outdoor storage of vehicles under repair would be allowed, as depicted on the proposed development/landscape plan.

STAFF RECOMMENDATION: Denial.

BACKGROUND INFORMATION:

- On February 8, 1985, Planned Development District No. 193, the Oak Lawn Special Purpose District, was approved by the City Council. The PD is comprised of approximately 2,593 acres, and provides standards to promote and protect the health, safety, welfare, convenience, and enjoyment of the public, and in part, to achieve the objectives outlined in the PD.
- The purpose of this request is to allow an existing auto painting or body rebuilding shop (inside) use by right. Harvey's Paint & Body shop has been in operation since the 1960s and obtained a CO for vehicle or engine repair or maintenance uses on June 23, 1992. The use was non-conforming (per POSSE) since it is not allowed in the GR Subdistrict, but existed before the PD was created and rezoned the property.
- According to DCAD records, the original structures include a 2,452 square-foot building erected in 1952, and a 5,858 square-foot building erected in 1958.
- The intent is to expand into an attached 3,224 square-foot neighboring suite erected in 1945, which requires the site to become conforming. The proposed development/landscape plan indicates the shop would now encompass 10,720 square feet with a total area of approximately 0.532 acres.
- The proposed PD subdistrict would allow the current uses under GR General Retail, as well as the auto painting or body rebuilding shop (inside) use by right, and outside accessory motor vehicle storage with additional provisions as depicted on the development/landscape plan.

Zoning History: There have been three zoning cases within the area of request in the last five years.

1. **Z156-164:** On August 10, 2016, the City Council approved an ordinance creating Planned Development Subdistrict No. 125 for MF-2 Multiple Family Subdistrict uses with office and retail uses on property zoned an MF-2 Multiple Family Subdistrict within Planned Development District No. 193, the Oak Lawn Special Purpose District, in an area bounded by the Dallas North Tollway, Fairmount Street, and Knight Street.
2. **Z156-229:** On September 14, 2016, the City Council approved the expansion of Planned Development Subdistrict No. 78 for MF-2 Multiple-Family on property zoned an MF-2 Multiple Family District within Planned Development District No. 193 the Oak Lawn Special Purpose District, in an area generally bounded by Fairmount Street to the southwest, Throckmorton Street on the northwest side, Brown Street on the northeast side (on a portion) and Reagan Street on the southeast side.
3. **Z134-351:** On January 14, 2015, the City Council denied an application for a Planned Development Subdistrict MF-2 Multiple-family Subdistrict and mini-warehouse uses on property zoned an MF-2 Multiple Family Subdistrict within Planned Development District No. 193, the Oak Lawn Special Purpose District, in an area bounded by the Dallas North Tollway, Fairmount Street, and Knight Street.

Thoroughfares/Streets:

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
Maple Avenue	Community Collector	60 feet	60 feet
Vagas Street	Local	50 feet	50 feet

Land Use:

	Zoning	Land Use
Site	PD No. 193, GR	Auto Painting or Body Rebuilding Shop (Inside) & Retail
Northwest	PD No. 193, GR	Retail Food Store
Northeast	PD No. 193, GR	Retail, Auto Service Center, & Undeveloped
Southeast	PD No. 193, GR	Auto Service Center
Southwest	PD No. 193, GR	Restaurant & Pawn Shop

Traffic:

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not have a detrimental impact on the surrounding street system.

Comprehensive Plan:

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The Plan identifies the site to be within a *Business Center or Corridor Building Block*. This Building Block represents major employment or shopping destinations outside of Downtown. Examples include the Galleria area, the NorthPark Center area, Southwest Center Mall area at I-20 and US Hwy 67 and the Stemmons Corridor. Business Centers are usually at major intersections or along highways or major arterials and rely heavily on car access. These areas typically include high-rise office towers and low- to mid-rise residential buildings for condos or apartments and may include multifamily housing. Land uses are typically separated from one another by parking lots, freeways or arterial roads. Streets in these areas emphasize efficient movement of vehicles. Bold lighting and linear landscaping features such as esplanades and tree-lined boulevards can all work to distinguish and identify these areas. Public spaces may be at key entry points and central locations. Gateway landscaping, monuments and other devices will provide

visibility from the freeway and guide visitors to destinations. Public transit may play a role in these areas and help create some pockets of transit oriented development. Business Centers and Corridors provide important concentrations of employment within Dallas that compete with suburban areas.

In general, the applicant's request is inconsistent with the following goal and policy of the Comprehensive Plan.

LAND USE ELEMENT

GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES

Policy 1.1.5.1 Recognize adopted area/neighborhood plans in guiding development and zoning decisions.

GOAL 1.2 PROMOTE DESIRED DEVELOPMENT

Policy 1.2.1 Use Vision Building Blocks as a general guide for desired development patterns.

Although the proposed development is compatible with surrounding uses with respect to scale and character, the proposed expansion of a use which became nonconforming with the adoption of the PD in 1985 is inconsistent with the objectives of the plan.

Additionally, Maple Avenue is the boundary line for the Stemmons Corridor-Southwestern Medical District Area Plan which identifies the area as a residential neighborhood. While the frontages that line Maple Avenue are commercial, directly behind them to the southwest are primarily single-family residential units. The same can be said of properties to the northeast of businesses traveling further southeast on Maple Avenue.

Land Use Compatibility:

Surrounding land uses include: retail food store to the northwest; retail, auto service center, and undeveloped to the northwest; auto service center to the southeast; and, a restaurant without drive-through and pawn shop to the southwest. The undeveloped tract to the northeast holds deed restrictions requiring affordable housing. Further southwest is a residential neighborhood.

A PD is similar to an area plan in how a vision is created with the development of the controlling document. This neighborhood offers a bevy of auto-related uses fronting on Maple Avenue. While an auto repair garage (inside) use could remain by right in the GR Subdistrict, the auto painting or body rebuilding shop (inside) use was excluded when the property was rezoned to PD 193.

An alternative could be to rezone to an existing district which allows the auto painting or body rebuilding shop (inside) use. This includes the Light Commercial, High

Commercial, central area, and industrial subdistricts. Although, staff may not support all uses allowed by rezoning to one of those districts. In example, rezoning to the LC Subdistrict would add 14 uses by right, three under specific conditions, and one by SUP with visual screening (open storage). About half of the new uses fall under the commercial uses category. Ultimately, staff cannot support the creation of a subdistrict to expand a nonconforming use.

Additionally, during a recent site visit, staff witnessed vehicles stored outside of the facility pending completion of work. Open storage is not allowed in the existing GR Subdistrict. Open storage with screening is allowed by right in central area and industrial subdistricts, and by SUP only in the LC subdistrict.

Staff offered to possibly support an LC Subdistrict with SUP for open storage with visual screening, but the applicant chose to pursue a PDS and to address the open storage by allowing outside accessory motor vehicle storage with additional provisions including:

- 1) The maximum number of vehicles that are allowed to be stored outside at any one time is six.
- 2) The vehicle storage area is limited to the area shown on the development/landscape plan.
- 3) A minimum 6-foot-tall solid screening fence is required to screen the vehicle storage area from public rights-of-way.

While the proposed provisions would help in the orderly use of the property, there would be no regulatory periodic review to protect neighbors from possible deterrence over time. Code enforcement would be the only option to pursue property maintenance. Staff cannot support the creation of a PDS to ultimately circumvent the SUP process of continuous review, up-keep, and public input.

If the current request for a PDS were approved, the request would be tied to a development/landscape plan and conditions. The development/landscape plan has been reviewed for compliance. The plan indicates the shop would now encompass 10,720 square feet with a total area of approximately 0.532 acres.

Parking:

Parking required by Sec. 51P 193.107(l)(9)(C) states that one parking space is required for each 500 square feet of floor area with a minimum of five required off-street parking spaces. In addition, a number of parking spaces equal to or greater than 20 percent of the standard off-street parking requirement for the use must be provided and designated as parking for employees of the use. Parking spaces that are used to repair motor vehicles and located in a structure are not counted in determining the required parking. If more than ten off-street parking spaces are required for this use, handicapped parking must be provided pursuant to Section 51P-193.116.

According to the development/landscape plan submitted, the site would have 10,720 square-feet of floor area requiring 21 parking spaces. A total of 28 parking spaces and two bicycle spaces are provided.

Landscaping:

With no increase to the existing building height, floor area ratio, or non-permeable coverage of the lot, the request will not trigger any additional landscaping, as required in Sec. 51P-193.126.; however, the applicant has proposed additional landscaping to improve the area. A development/landscape plan has been reviewed by the city arborist and was pending minor edits at the time of this report. Pending edits include making all text black and adding the species of trees.

Proposed PDS Conditions

Division S-_. PD Subdistrict _.

SEC. S-____. LEGISLATIVE HISTORY.

PD Subdistrict _____ was established by Ordinance No. _____, passed by the Dallas City Council on _____. (Ord. _____)

SEC. S-____. PROPERTY LOCATION AND SIZE.

PD _____ is established on property located northeast of Maple Avenue and northwest of Vagas Street. The size of PD _____ is approximately 0.532 acres. (Ord. _____)

SEC. S-____. DEFINITIONS AND INTERPRETATIONS.

(a) Unless otherwise stated, the definitions and interpretations in Chapter 51 and in Part I of this article apply to this division. If there is a conflict, this division controls. If there is a conflict between Chapter 51 and Part I of this article, Part 1 of this article controls.

(b) In this division,

(1) OUTSIDE ACCESSORY MOTOR VEHICLE STORAGE means the outdoor placement of vehicles awaiting on-site repair or maintenance.

(2) SUBDISTRICT means a subdistrict of PD 193.

(c) Unless otherwise stated, all references to articles, divisions, or sections in this article are to articles, divisions, or sections in Chapter 51.

(d) This district is considered to be a nonresidential zoning district.

SEC S-____. EXHIBITS.

The following exhibit is incorporated into this division:

Exhibit XA: development/landscape plan.

SEC S-____. DEVELOPMENT LANDSCAPE PLAN.

(a) Development and use of the Property must comply with the development/landscape plan (Exhibit A). If there is a conflict between the text of this division and the development/landscape plan, the text of this division controls.

SEC S-____. MAIN USES PERMITTED.

(a) Except as provided in this section, the only main uses permitted are those main uses permitted in the GR General Retail Subdistrict, subject to the same conditions applicable in the GR General Retail Subdistrict as set out in Part I of this article. For example, a use permitted in the GR General Retail Subdistrict only by specific use permit (SUP) is permitted in this subdistrict only by SUP; a use subject to development impact review (DIR) in the GR General Retail Subdistrict is subject to DIR in this subdistrict; etc.

(b) The following use is permitted by right:

-- Auto painting or body rebuilding shop (inside).

SEC S____. ACCESSORY USES.

(a) As a general rule, an accessory use is permitted in any subdistrict in which the main use is permitted. Some specific accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51P-193.108. For more information regarding accessory uses, consult Section 51P-193.108.

(b) Outside accessory motor vehicle storage is permitted only as accessory to an auto painting or body rebuilding shop (inside).

SEC. S-____. YARD, LOT AND SPACE PROVISIONS.

(Note: The yard, lot, and space regulations in this section must be read together with the yard, lot, and space regulations in Part I of this article. If there is a conflict between this section and Part I of this article, this section controls.)

The yard, lot, and space regulations for the GR General Retail District Subdistrict apply.

SEC. S- _____. OFF-STREET PARKING AND LOADING.

Consult Part I of this article for the specific off-street parking and loading requirements for each use.

SEC. S_____. ENVIRONMENTAL PERFORMANCE STANDARDS.

See Article VI.

SEC. S-_____. LANDSCAPING AND SCREENING.

(a) Landscaping must be provided in accordance with the development/landscape plan.

(b) Landscaping must be maintained in a healthy, growing condition.

SEC. S- ____. SIGNS.

Signs must comply with the provisions for business zoning districts in Article VII.

SEC. 51P- ____. BUILDING FACADES.

Building facades facing Maple Avenue and Vagas Street must be painted to visually tie all buildings as one cohesive facility.

SEC. 51P- ____. ADDITIONAL PROVISIONS.

(a) In general.

(1) The Property must be properly maintained in a state of good repair and neat appearance.

(2) Development and use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the city.

(3) Development and use of the Property must comply with Part I of this article.

(b) Outside accessory motor vehicle storage. is subject to the following conditions:

(1) The maximum number of vehicles that are allowed to be stored outside at any one time is six.

(2) The vehicle storage area is limited to the area shown on the development/landscape plan.

(3) A minimum 6-foot-tall solid screening fence is required to screen the vehicle storage area from public rights-of-way.

SEC. 51P- ____. COMPLIANCE WITH CONDITIONS.

(a) All new paved areas, permanent drives, streets, and drainage structures, if any, must be constructed in accordance with standard city specifications, and completed to the satisfaction of the director of public works and transportation.

(b) The building official shall not issue a building permit to authorize work, or a certificate of occupancy to authorize the operation of a use, until there has been full compliance with this article, the Dallas Development Code, the construction codes, and all other ordinances, rules, and regulations of the city.

[illegible]

SITE DEVELOPMENT

DEVELOPER: LANDSCAPE SITE PLAN
850-410 MAPLE AVENUE, DALLAS TX

SITE ZONING:
PD 16T - DR SUBDIVISIT

GROSS AREA = 17,970 S.F.
BUILDING AREA = 10,720 S.F. (4 ACRES)
PARKING LOT = 6,250 S.F.

5' SIDE SET BACK
EXISTING LOT DIMENSIONS: 140' X 121'
MAXIMUM FLOOR TO AREA RATIO = 0.3

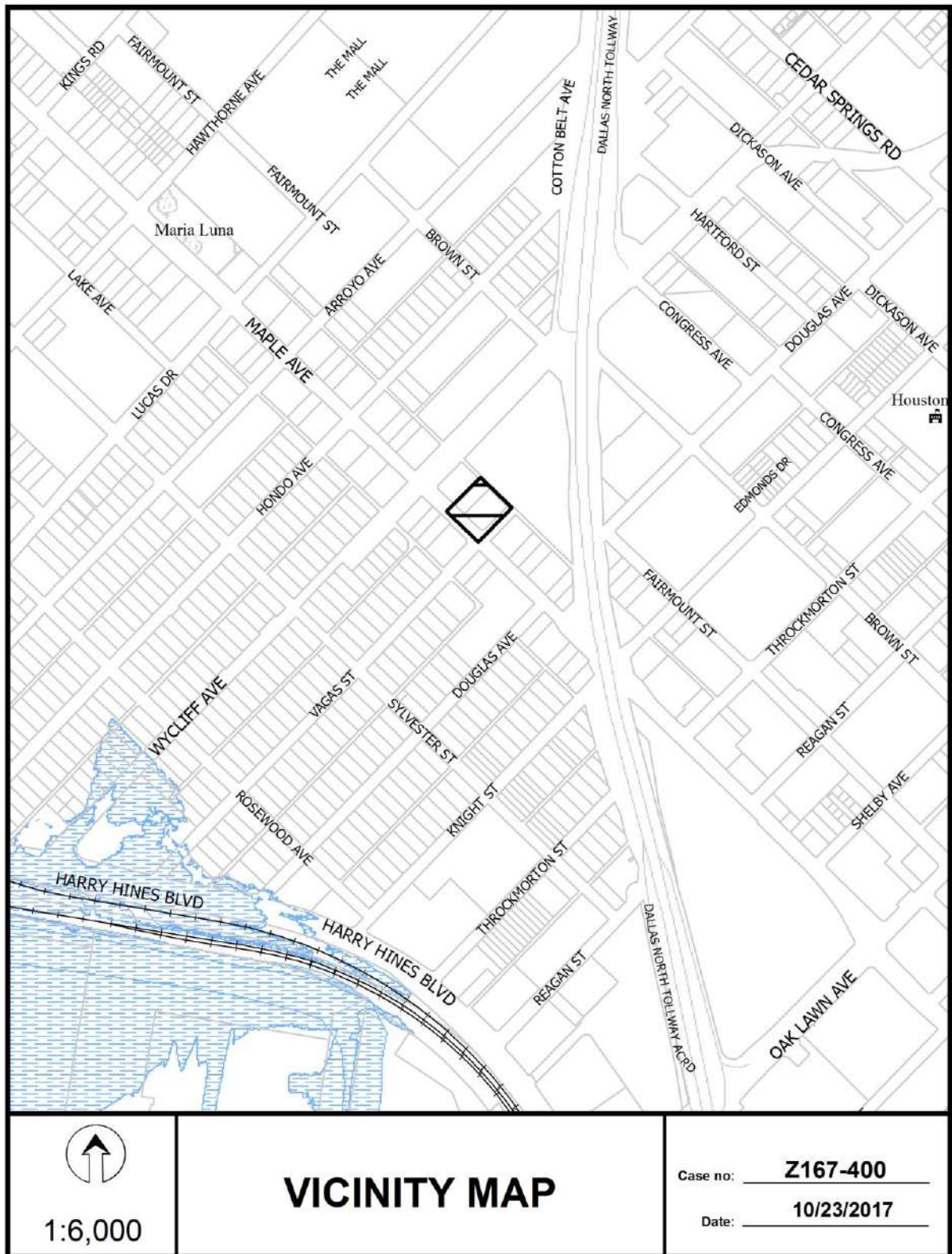
FRONT YARD SET BACK (MAPLE) = 10'-0"
FRONT YARD SET BACK (VAGAS) = 10'-0"
LEFT YARD RETRACK = 0'-0"
REAR YARD RETRACK = 0'-0"

EXISTING BUILDING OR VEHICLE SERVICE, PAINT SHOP
PROPOSED BUILDING AND VEHICLE SERVICE

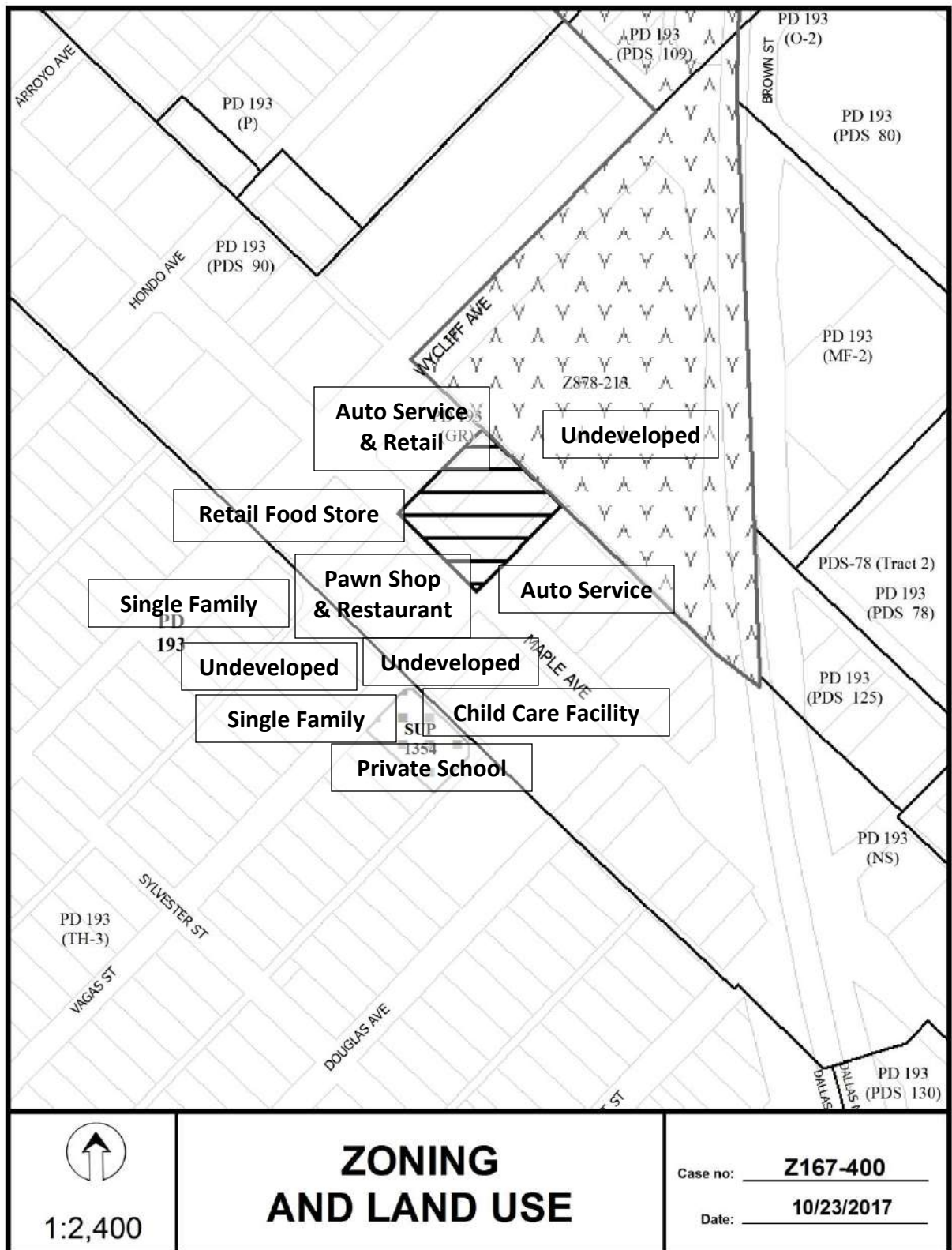
FURNISHING - 22 SPACES REQUIRED (1/3000)

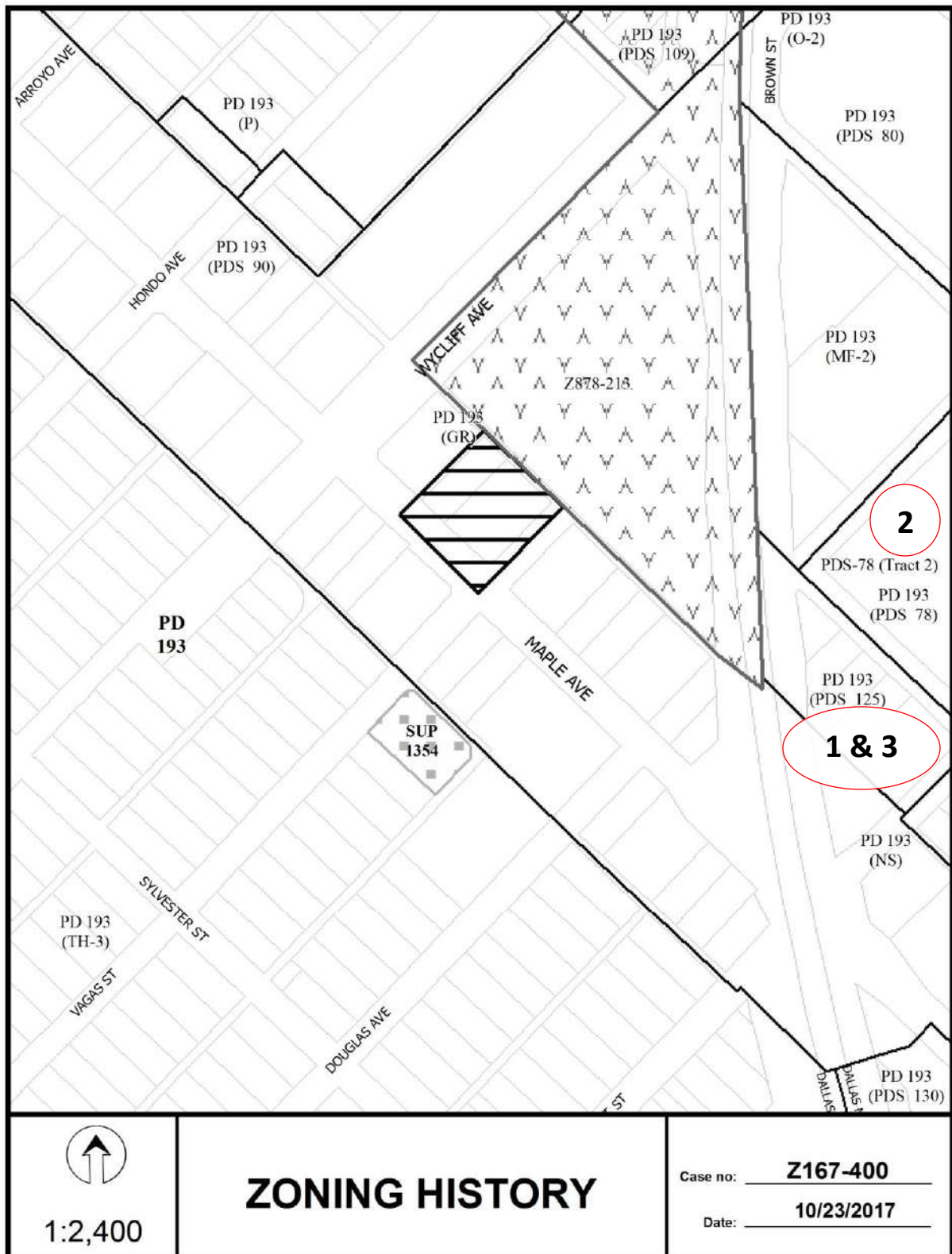
28 PARKING SPACES REQUIRED (28.0% COMPACT CARS, 1 H.C., 1 B.V.)
28 TOTAL SPACES PLUS 4 TO 14+ CARP

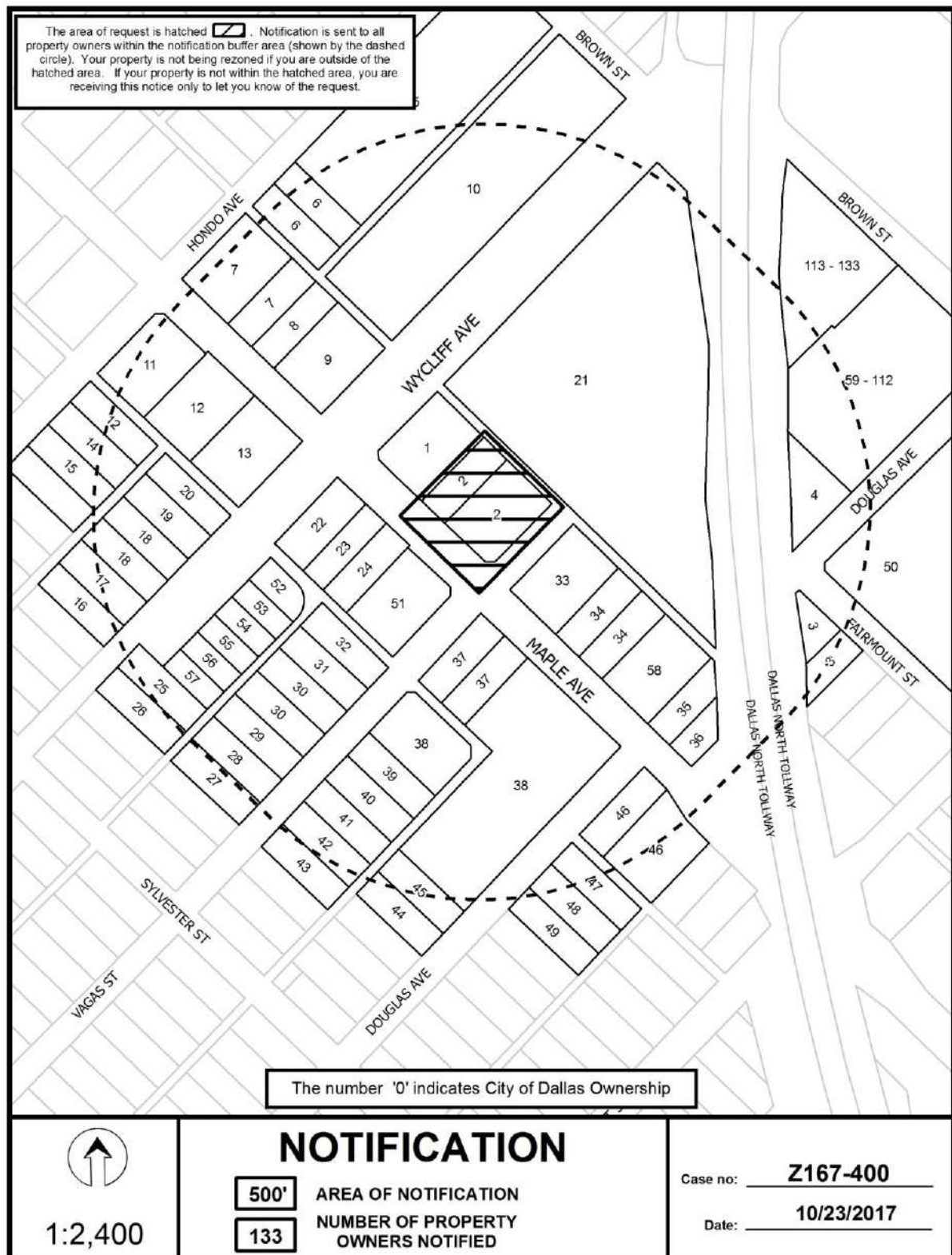
TOTAL "ON SITE" LANDSCAPE AREA = 343.5 SF
PARKWAY GRASS AREA = 1,065.5 SF











10/23/2017

Notification List of Property Owners***Z167-400******133 Property Owners Notified***

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	4316 MAPLE AVE	MIA FINANCIAL CORPORATION
2	4310 MAPLE AVE	HARVEY JOHNNY P
3	4223 FAIRMOUNT ST	FAIR KNIGHT PARTNERS LTD
4	2609 DOUGLAS AVE	MCCLAIN CAROLYN
5	2544 HONDO AVE	INKWELL GROUP LLC
6	2516 HONDO AVE	MAPLE REAL ESTATE VENTURE
7	4346 MAPLE AVE	RODRIGUEZ JESUS
8	4338 MAPLE AVE	MAPLE REAL EST VENTURES
9	4330 MAPLE AVE	MAPLE REAL EST VENTURES
10	2525 WYCLIFF AVE	WYCLIFF TOLLWAY LTD
11	4347 MAPLE AVE	MAPLE HEIGHTS INVESTMENTS LLC
12	4343 MAPLE AVE	MONTERREY ENTERPRISES INC
13	4333 MAPLE AVE	MAPLE HEIGHTS INVESTMENTS LLC
14	2434 HONDO AVE	GONZALEZ AJILEO &
15	2430 HONDO AVE	TERRONES ANTONIO
16	2417 WYCLIFF AVE	WILCHES FRANCES D
17	2423 WYCLIFF AVE	BRINGAS GABRIAL LEHI
18	2427 WYCLIFF AVE	ARROYO HONDO INVESTMENTS LLC
19	2435 WYCLIFF AVE	ERICSON LINDA
20	2439 WYCLIFF AVE	FORTNER NHU THI
21	2516 WYCLIFF AVE	TEXAS TURNPIKE AUTHORITY
22	4331 MAPLE AVE	CTO16 DALLAS LLC &
23	4323 MAPLE AVE	CTO16 DALLAS LLC &
24	4311 MAPLE AVE	CTO16 DALLAS LLC
25	2418 WYCLIFF AVE	TRAN XUAN LAN T
26	2414 WYCLIFF AVE	HERNANDEZ ESTHER H

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	2415 VAGAS ST	DANG NGHIEP
28	2419 VAGAS ST	MACIAS MARIA
29	2421 VAGAS ST	SALAZAR HUMBERTO &
30	2427 VAGAS ST	ALANIZ HERMILO G
31	2435 VAGAS ST	DTX RENTALS LP PS
32	2439 VAGAS ST	BARRON CARMEN
33	4244 MAPLE AVE	BELL WARREN H TRUSTEE
34	4242 MAPLE AVE	ANDOR PROPERTIES LLC
35	4226 MAPLE AVE	GRTP LTD
36	4222 MAPLE AVE	PRESCOTT INTERESTS LTD
37	4251 MAPLE AVE	JUREK PROPERTIES LTD
38	4231 MAPLE AVE	EBENEZER IGLESIA
39	2430 VAGAS ST	HERNANDEZ FRANCISCO &
40	2426 VAGAS ST	GARCIA GONZALO & MARLENE
41	2422 VAGAS ST	HERNANDEZ FRANCISCO &
42	2418 VAGAS ST	TRAN LOI VAN
43	2414 VAGAS ST	GELBAND SCOTT L
44	2419 DOUGLAS AVE	PORRAS NOAH J JR
45	2423 DOUGLAS AVE	MEDRANO PROPERTIES LTD
46	4211 MAPLE AVE	DALLAS COMMUNITY CENTER
47	2438 DOUGLAS AVE	MARTINEZ CONSEPCION &
48	2432 DOUGLAS AVE	GARZA CHRISTOPHER
49	2430 DOUGLAS AVE	MEDRANO PROPERTIES LTD
50	4210 FAIRMOUNT ST	PURE FAIRMOUNT APTS LLC
51	4305 MAPLE AVE	4305 MAPLE AVENUE LLC
52	2442 WYCLIFF AVE	VALVERDE AGUSTIN OSWALDO
53	2438 WYCLIFF AVE	PUENTE MARTHA PATRICIA
54	2434 WYCLIFF AVE	ROSASGOMEZ FAUSTINO
55	2430 WYCLIFF AVE	HUYNH CHU VAN &
56	2426 WYCLIFF AVE	HERNANDEZ JUAN EST OF &
57	2422 WYCLIFF AVE	MONROY JOSE HECTOR &

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	4234 MAPLE AVE	DAO SON & TRAM
59	4323 BROWN ST	PFLANZER PARTNERS LTD
60	2627 DOUGLAS AVE	HILL DANIEL
61	2627 DOUGLAS AVE	PEDRAZA JAVIER
62	2627 DOUGLAS AVE	LOPEZ STEVE
63	2627 DOUGLAS AVE	DOMINGUEZ JOSE JORGE &
64	2627 DOUGLAS AVE	ADAMS MELVIN C
65	2627 DOUGLAS AVE	HWONG SHUPING
66	2627 DOUGLAS AVE	HINSON LISA ANNE &
67	2627 DOUGLAS AVE	AKBARI LEYLA
68	2627 DOUGLAS AVE	DYNASTY PROPERTY ID 2 LLC
69	2627 DOUGLAS AVE	COLEMAN RONALD M & JULIE
70	2627 DOUGLAS AVE	PFLANZER PARTNERS LTD
71	2627 DOUGLAS AVE	MATA JOSE M
72	2627 DOUGLAS AVE	FULLER LUC GAETAN
73	2627 DOUGLAS AVE	PHILLIPS STEVEN &
74	2627 DOUGLAS AVE	CRUZ GUSTAVO
75	2627 DOUGLAS AVE	NGUYEN LE BA
76	2627 DOUGLAS AVE	FINKENBINER JONATHAN & JULIE
77	2627 DOUGLAS AVE	MCELROY HOWARD WYNNE
78	2627 DOUGLAS AVE	HENNIG GWEN
79	2627 DOUGLAS AVE	TODD ANTHONY &
80	2627 DOUGLAS AVE	BETANCOURT ADRIANA
81	2627 DOUGLAS AVE	HAVARD DOUG
82	2627 DOUGLAS AVE	TRAN LINDA VAN
83	2627 DOUGLAS AVE	SUSANTIO RUDY &
84	2627 DOUGLAS AVE	GUZMAN MARIO C
85	2627 DOUGLAS AVE	DOMINGUEZ JOSE JORGE &
86	2627 DOUGLAS AVE	PETE LEO A
87	2627 DOUGLAS AVE	HESS CRAIG
88	2627 DOUGLAS AVE	COLEMAN RONALD M

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
89	2627 DOUGLAS AVE	TRAN LINDA V
90	2627 DOUGLAS AVE	CUNNINGHAM CRAIG
91	2627 DOUGLAS AVE	MCHUGH JOHN
92	2627 DOUGLAS AVE	DEJEAN GERALD G
93	2627 DOUGLAS AVE	HUTTON JERRY B JR
94	2627 DOUGLAS AVE	LEUNG WAI KUEN &
95	2627 DOUGLAS AVE	QUINTANILLA JOE
96	2627 DOUGLAS AVE	REYARANDA LLC
97	2627 DOUGLAS AVE	GANDY JASON
98	2627 DOUGLAS AVE	COLEMAN RONALD M &
99	2627 DOUGLAS AVE	RODRIGUEZ GRACIELA
100	2627 DOUGLAS AVE	NOWAK KEITH
101	2627 DOUGLAS AVE	GOLDBERG RUTH
102	2627 DOUGLAS AVE	ZUNIGA JUAN ANTONIO & MARIA
103	2627 DOUGLAS AVE	HERRERA JUAN LOPEZ &
104	2627 DOUGLAS AVE	BANERJEE NARAYAN KRISHNA
105	2627 DOUGLAS AVE	WILLIAMS SANDIE
106	2627 DOUGLAS AVE	LACEY CATHRYN
107	2627 DOUGLAS AVE	GANDY JASON
108	2627 DOUGLAS AVE	MCHUGH JOHN
109	2627 DOUGLAS AVE	PARRIS ABIGAIL
110	2627 DOUGLAS AVE	SEVILLA MANAGEMENT LLC
111	2627 DOUGLAS AVE	CASTELLANOS BRUNELLA N & CIRO
112	2627 DOUGLAS AVE	LOPEZ ZULEMA
113	4323 BROWN ST	HERNANDEZ DANIELLA N
114	4323 BROWN ST	TILLERY JAMES WAYNE
115	4323 BROWN ST	BROWNE JOSE A
116	4323 BROWN ST	PARRA BERTHA
117	4323 BROWN ST	PFLANZER PARTNERS LTD
118	4323 BROWN ST	PFLANZER PARTNERS LTD
119	4323 BROWN ST	AGUILAR ROXANA PALACIOS &

10/23/2017

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
120	4323 BROWN ST	REYARANDA LLC
121	4323 BROWN ST	PRINCIPE SELENE A TRUST AGREEMENT
122	4323 BROWN ST	SOISSON CHRISTIAN
123	4323 BROWN ST	QUEZADA ARNOLDO & MARA BIATRIZ
124	4323 BROWN ST	SLAGLE JODY GLYN
125	4323 BROWN ST	STEPHAN JERALD M
126	4323 BROWN ST	CASTRO GEORGE L
127	4323 BROWN ST	CUMMINGS JOHN LYNN
128	4323 BROWN ST	MERCADO EDUARDO V
129	4323 BROWN ST	PARRA MARITHZA
130	4323 BROWN ST	CATHEY GARY A
131	4323 BROWN ST	SOTELO ALFREDO H &
132	4323 BROWN ST	FAUST DANNY K
133	4323 BROWN ST	BUSTAMANTE CESAR MEDINA