



CITY OF DALLAS LANDMARK COMMISSION

Tuesday, July 6, 2021

AGENDA

REVISED

BRIEFING Videoconference 10:30 a.m.

PUBLIC HEARING Videoconference 1:00 p.m.

Individuals who wish to speak in accordance with the Landmark Commission Rules of Procedure should contact the Office of Historic Preservation at phyllis.hill@dallascityhall.com by **Thursday, July 1st at 5:00 PM**. The following videoconference link is available to the public to listen to the meeting and Public Affairs and Outreach will also stream the public hearing on Spectrum Cable Channel 95 and bit.ly/cityofdallastv.

The public may listen to the meeting as an attendee at the following videoconference link:

<https://dallascityhall.webex.com/dallascityhall/onstage/g.php?MTID=eb3fcb05ce297fd8d89017b706ca5d64d>

Password: D41145Jul621

You may also request an email invitation by emailing phyllis.hill@dallascityhall.com

Murray G. Miller, Director, Office of Historic Preservation

Jennifer Anderson, Senior Planner

Liz Casso, Senior Planner

Melissa Parent, Planner

Marsha Prior, Planner

BRIEFING ITEMS

* The Landmark Commission may be briefed on any item on the agenda if it becomes necessary.

PUBLIC TESTIMONY

Minutes from June 7, 2021

Landmark Commission Agenda
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1. 2847 METROPOLITAN AVE

Wheatley Place Historic District
CE201-005(MLP)
Melissa Parent

Request

Certificate of Eligibility (CE) for a tax exemption on 100 percent of land and improvements for a period of ten years and approval of \$16,225 in expenditures already spent on rehabilitation.

Applicant: Christopher McFadden

Application Filed: 06/21/21

Staff Recommendation:

Approval of the Certificate of Eligibility and approval of \$16,225 in expenditures spent on rehabilitation prior to the issuance of the Certificate of Eligibility.

2. 3801 HERSCHEL AVE

Stephen J Hay Elementary School
CA201-486(LC)
Liz Casso

Request:

Install new metal fence.

Applicant: DISD - Coy Frazier

Application Filed: 6/3/21

Staff Recommendation:

Install new metal fence - Approve the request and images dated 7/6/21 with the finding that although a small portion of the proposed fence does not comply with the Section 3.5(c) of the preservation criteria which states that the existing fence located west of 4005 Herschel Avenue can be rebuilt with wood, brick, stone, or chain link, it otherwise complies with Sections 3.5 (a) and (b) for fences, and meets the criteria for Landmark Commission approval of work that does not strictly comply with the preservation criteria under City Code Section 51A-4.501(g)(6)(B), because the proposed work is appropriate and compatible with the district.

Task Force Recommendation:

Install new metal fence – Approved as submitted with the following comments/conditions: 1) that the Task Force interprets preservation criteria Section 3.5(a) to mean that fences are not permitted in the front lawn area bound by Herschel Ave, Gilbert Ave, and the front facade of the structure, but are permitted adjacent to the side facades not to exceed 4ft where existing fencing is located; and 2) a wrought iron fence (or aluminum fence that appears like wrought iron) is considered an appropriate material and may follow the existing chain link fence line.

3. 1505 COLISEUM DR

Fair Park Historic District
CA201-491(JKA)
Jennifer Anderson

Request:

Midway: Install concrete plinth and seating area.

Applicant: State Fair of Texas

Application Filed: 6/3/21

Staff Recommendation:

Midway: Install concrete plinth and seating area - Approve drawings and image dated 7/6/21 with the finding that the work is consistent with preservation criteria Sections 6.2 and 9.1 through 9.5 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Midway: Install concrete plinth and seating area - Approve with Conditions. Request additional images showing the view of the install from vantage points along Coliseum Drive and straight on from directly in front of the Coliseum, both during the Fair and when the Midway has been secured to understand the visual impact.

4. 2008 COMMERCE ST

Harwood Historic District
CA201-475(LC)
Liz Casso

Request:

Install brick veneer over existing bulkheads.

Applicant: DP Designs and Development LLC - Daniel Parrish

Application Filed: 6/3/21

Staff Recommendation:

Install brick veneer over existing bulkheads - Approve drawings and specifications dated 7/6/21 with the condition that the bulkheads must remain recessed from the building edge and existing wood storefront frames, with the finding the proposed work is consistent with preservation criteria Section 3.1(b) for facades, and meets the contributing standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Install brick veneer over existing bulkheads - Deny with prejudice because the proposed design is too contemporary and would have an adverse impact on the historic structures and district.

(Note: This application was significantly modified to comply with the preservation criteria after the Task Force meeting based on their comments.)

5. 2012 COMMERCE ST

Harwood Historic District
CA201-476(LC)
Liz Casso

Request:

Modify storefront openings and install brick veneer over existing bulkheads on north facade.

Applicant: DP Designs and Development LLC - Daniel Parrish

Application Filed: 6/3/21

Staff Recommendation:

Modify storefront openings and install brick veneer over existing bulkheads on north facade - Approve drawings and specifications dated 7/6/21 with the condition that the bulkheads must remain recessed from the building edge and existing wood storefront frames, with the finding the proposed work is consistent with preservation criteria Section 3.1(b) for facades, Sections 3.2(a) and (b) for fenestration and openings, and meets the contributing standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Modify storefront openings and install brick veneer over existing bulkheads on north facade - Deny with prejudice because the proposed design is too contemporary and would have an adverse impact on the historic structures and district.

(Note: This application was significantly modified to comply with the preservation criteria after the Task Force meeting based on their comments.)

6. 5807 REIGER AVE

Junius Heights Historic District
CA201-496(JKA)
Jennifer Anderson

Request:

Construct accessory structure.

Applicant: Conklin, Katie

Application Filed: 6/3/21

Staff Recommendation:

Construct accessory structure – Approve with Conditions – Approve drawings dated 7/6/2021 with the finding that the work is consistent with preservation criteria Sections 9.1 through 9.9 and meets the standards in City Code section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Construct accessory structure – Approve with Conditions – Approve with Conditions of 1) need pitch of roof 2) need measurements of height of eaves 3) wall rafter trim to match that on house.

7. 519 E 6TH ST

Lake Cliff Historic District
CA201-479(MLP)
Melissa Parent

Request:

Replace ribbon driveway with new concrete driveway.

Applicant: Arellano, Ana

Application Filed: 6/3/21

Staff Recommendation:

Replace ribbon driveway with new concrete driveway - Approve drawings dated 7/6/2021 with the condition that the ribbon driveway be maintained from the

sidewalk to the front building wall of the structure before transitioning to a solid concrete driveway, with the finding the proposed work is consistent with preservation criteria Section 3.3 for driveway materials, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Replace ribbon driveway with new concrete driveway –
Approve with conditions - Provide concrete ribbon driveway to front facade of house, past this point a solid concrete driveway is acceptable.

Request:

Demolish rear accessory structure under standard "Imminent threat to public health and safety."

Applicant: Wright, Laurel

Application Filed: 6/3/21

Staff Recommendation:

Demolish rear accessory structure under standard "Imminent threat to public health and safety" - Approve photos dated 7/6/2021 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Demolish rear accessory structure under standard "Imminent threat to public health and safety" - Approve demolition of existing structure.

Request:

Replace non-historic aluminum dormer windows with salvaged wood windows on main structure.

Applicant: Mailey, Zak

Application Filed: 6/3/21

Staff Recommendation:

Replace non-historic aluminum dormer windows with salvaged wood windows on main structure - Approve specifications dated 6/7/2021 with the condition that Option C be used, with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Replace non-historic aluminum dormer windows with salvaged wood windows on main structure - Approve with the recommendation that proposal C be used.

Request:

Install sculpture/artwork in rear yard.

8. 5006 JUNIUS ST

Munger Place Historic District
CD201-014(MLP)

Melissa Parent

9. 4907 TREMONT ST

Munger Place Historic District
CA201-482(MLP)

Melissa Parent

10. 5500 SWISS AVE

Swiss Avenue Historic District

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CA201-485(MLP)
Melissa Parent

Applicant: Hebler, RuLan

Application Filed: 6/3/21

Staff Recommendation:

Install sculpture/artwork in rear yard -Approve drawings and specifications dated 6/7/2021 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Install sculpture/artwork in rear yard - Approve as submitted.

11. 5731 SWISS AVE

Swiss Avenue Historic District
CA201-483(MLP)
Melissa Parent

Request:

Construct new rear porch on main structure.

Applicant: Nepveux, Leslie

Application Filed: 6/3/21

Staff Recommendation:

Construct new rear porch on main structure - Approve drawings and specifications dated 6/7/2021 with the finding the proposed work is consistent with the criteria for windows and doors in the preservation criteria Section 51P-63.116(1)(B) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Construct new rear porch on main structure - Approve with the condition that additional details are provided that would illustrate how the balustrade, deck, and balcony structure join together.

12. 6020 SWISS AVE

Swiss Avenue Historic District
CA201-484(MLP)
Melissa Parent

Request:

Construct rear addition on main structure.

Applicant: Scripps, Andy & Jennifer

Application Filed: 6/3/21

Staff Recommendation:

Construct rear addition on main structure - Approve drawings and specifications dated 6/7/2021 with the finding the proposed work is consistent with the criteria for windows and doors in the preservation criteria Section 51P-63.116(1)(B) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Construct rear addition on main structure - Approve as submitted.

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13. 130 N MONTCLAIR AVE

Winnetka Heights Historic District
CA201-478(MLP)
Melissa Parent

Request:

Paint main and accessory structures. Brand: Sherwin Williams. Main: SW0032 "Needlepoint Navy." Trim: SW2832 "Colonial Revival Gray." Accent: SW7674 "Peppercorn."

Applicant: Dodds, Lucinda

Application Filed: 6/3/21

Staff Recommendation:

Paint main and accessory structures. Brand: Sherwin Williams. Main: SW0032 "Needlepoint Navy." Trim: SW2832 "Colonial Revival Gray." Accent: SW7674 "Peppercorn" - Approve photos and specifications dated 6/7/2021 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section 51P-87.111(a)(8)(C) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Paint main and accessory structures. Brand: Sherwin Williams. Main: SW0032 "Needlepoint Navy." Trim: SW2832 "Colonial Revival Gray." Accent: SW7674 "Peppercorn" - Colors approved as submitted. Provide clarity on color locations, provide key notes and legend. Provide photos of surrounding neighbor house color schemes.

DISCUSSION ITEMS:

1. 5833 COLUMBIA AVE

Junius Heights Historic District
CA201-493(JKA)
Jennifer Anderson

Request:

Construct main and accessory structure.

Applicant: Steel Toe Stiletto - Tam Pham

Application Filed: 6/3/21

Staff Recommendation:

Construct main and accessory structure – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Sections 8.3(d), 8.4, and 9.5.

Task Force Recommendation:

Construct main and accessory structure – None.

2. 5603 REIGER AVE

Junius Heights Historic District
CA201-492(JKA)
Jennifer Anderson

Request:

Install 8' cedar fence in the side and rear yard. Work completed without a Certificate of Appropriateness.

Applicant: Ryan Casse

Application Filed: 6/3/21

Staff Recommendation:

Install 8' cedar fence in the side and rear yard. Work completed without a Certificate of Appropriateness – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) because it is not compatible with the historic overlay district.

Task Force Recommendation:

Install 8' cedar fence in the side and rear yard. Work completed without a Certificate of Appropriateness – Deny without Prejudice – Request is not compatible with the Junius Heights Historic District. Applicant to resubmit drawing with correct measurements.

Request:

1. Construct horizontal addition.
2. Construct dormers on west and east elevations.

Applicant: Nepveux, Leslie

Application Filed: 6/3/21

Staff Recommendation:

1. Construct horizontal addition – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) since it is not consistent with preservation criteria Sections 4.2, 8.5, or 8.14 and because the proposed work would have an adverse impact on the setting of the structure and the character and appearance of the district.
2. Construct dormers on west and east elevations – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) since it is not consistent with preservation criteria Sections 4.2, 8.5, or 8.14 and because the proposed work would have an adverse impact on the setting of the structure and the character and appearance of the district.

Task Force Recommendation:

1. Construct horizontal addition – Measurements on the front 50% of the protected facade are incorrect (they are the same as what was incorrectly submitted last month). Height of adjacent structures and proposed addition to structure not documented. No delineation exists between existing and proposed addition. Task force also requested to see how the new addition would look from the perspective of somebody standing in the middle of the street in front of the house.
2. Construct dormers on west and east elevations – Comments same as request #2.

3. 5527 WORTH ST

Junius Heights Historic District
CA201-494(JKA)
Jennifer Anderson

4. 4827 GASTON AVE

Peak's Suburban Addition Neighborhood Historic District
CA201-497(MP)
Marsha Prior

Request:

Install sign on front elevation.

Applicant: Perez, Melissa

Application Filed: 6/3/21

Staff Recommendation:

Install sign on front elevation – Deny without prejudice because the proposed work does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(ii) due to the historically inappropriate material and placement of signage that would obscure part of a window, and thus, have an adverse effect on the historic overlay district, and the failure to meet Sign Code requirements for hanging signs.

Task Force Recommendation:

Install sign on front elevation – Denial without prejudice of the plastic sign as submitted. Recommend a painted wood sign to be located within the fascia board above window.

5. 201 LANDIS ST

Tenth Street Neighborhood Historic District
CA201-391(MP)
Marsha Prior

Request:

1. Replace 100 percent of non-historic siding with wood #117 siding.
2. Install wood Craftsman style front door.
3. Replace windows with wood one-over-one windows.
4. Install one-over-one wood window on rear elevation.
5. Rebuild front porch deck, add railing, and repair concrete steps.

Applicant: Kelley, Heather

Application Filed: 6/3/21

Staff Recommendation:

1. Replace 100 percent of non-historic siding with wood #117 siding – Approve drawings dated 7/6/2021 with the condition that all facades be clad in #117 wood siding and that the original frieze board trim be added back into the design with the finding the work is consistent with preservation criteria Sections 2.2 and 2.6 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Install wood Craftsman style front door – Deny without prejudice the proposed work because it does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) due to its inconsistency with preservation criteria Section 2.11 for doors, and thus, would have an adverse effect on the historic overlay district.
3. Replace windows with wood one-over-one windows – Approve elevation drawing and window specifications dated 7/6/2021 with the condition that the window frames match that of previously existing frames and that it is recess-mounted with the finding the work is

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consistent with preservation criteria Section 2.11 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

4. Install one-over-one wood window on rear elevation – Approve elevation drawing and window specifications dated 7/6/2021 with the condition that the window frame matches that of previously existing frames and that it is recess-mounted with the finding the work is consistent with preservation criteria Section 2.11 for windows, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
5. Rebuild front porch deck, add railing, and repair concrete steps – Deny without prejudice because the work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) and is inconsistent with preservation criteria Section 2.24 due to the footprint not matching the original footprint, and thus, having an adverse effect on the historic structure and historic overlay district.

Task Force Recommendation:

1. Replace 100% of non-historic siding with wood #117 siding – We recommend changing the paint color to a lighter color that matches the context of the neighborhood; we recommend changing the siding profile back to the original profile before the illegal renovation.
2. Install wood Craftsman style front door – No recommendation.
3. Replace windows with wood one-over-one windows – We recommend ensuring that an exterior casing frames the window that matches the original.
4. Install one-over-one wood window on rear elevation – No recommendation.
5. Rebuild front porch deck, add railing, and repair concrete steps – No recommendation.

Request:

Reconstruct and repave 10th Street including, modifications to street width, curbs, and sidewalks.

Applicant: COD Public Works - Gbenro Oyekanmi

Application Filed: 6/3/21

Staff Recommendation:

Reconstruct and repave 10th Street including, modifications to street width, curbs, and sidewalks – Approve plans dated 7/6/2021 with the finding the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

6. 100 N MOORE ST

Tenth Street Neighborhood Historic District
CA201-473(MP)
Marsha Prior

Reconstruct and repave 10th Street including, modifications to street width, curbs, and sidewalks – Deny without Prejudice - The design is not compatible with the period of significance of the district.

7. 215 N WILLOMET AVE

Winnetka Heights Historic District
CA201-480(MLP)
Melissa Parent

Request:

1. Paint main structure. Brand: Behr. Main: "Jojoba." Trim: "Polar Bear." Accent: "Filter Moon."
2. Install new wood fencing in rear yard.

Applicant: Correa, Alfonso & Ginnette

Application Filed: 6/3/21

Staff Recommendation:

1. Paint main structure. Brand: Behr. Main: "Jojoba." Trim: "Polar Bear." Accent: "Filter Moon" - Approve proposed work with the finding the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
2. Install new wood fencing in rear yard - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) on the basis that the proposed work will have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

Task Force Recommendation:

1. Paint main structure. Brand: Behr. Main: "Jojoba." Trim: "Polar Bear." Accent: "Filter Moon" - Colors approved as submitted. Provide photos of surrounding neighbor house color schemes.
2. Install new wood fencing in rear yard - Provide another option showing vertical board fence design with finish side to the outside (visible to street/alley). Option A Vertical has been provided and approved as submitted, Option B Horizontal owner wants to submit isn't allowed per ordinance.

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8. 410 N WINNETKA AVE

Winnetka Heights Historic District
CA201-477(MLP)
Melissa Parent

Request:

1. Paint main and accessory structure. Brand: Sherwin Williams. Main: SW9178 "In The Navy." Gable shakes: SW6349 "Pennywise." Accent: SW7652 "Mineral Deposit." Trim: SW7007 "Ceiling Bright White."
2. Replace existing front doors with new craftsman wood doors and aluminum storm doors.
3. Install brick veneer pavers on concrete patio.

Applicant: Haynes, Suzanne

Application Filed: 6/3/21

Staff Recommendation:

1. Paint main and accessory structure. Brand: Sherwin Williams. Main: SW9178 "In The Navy." Gable shakes: SW6349 "Pennywise." Accent: SW7652 "Mineral Deposit." Trim: SW7007 "Ceiling Bright White" – Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with the preservation criteria for color in Section 51P-87.111(a)(8)(C) that states "All structures must have a dominant color and no more than two trim colors. The colors of a structure must be complementary of each other and the overall characteristic of the district."
2. Replace existing front doors with new craftsman wood doors and aluminum storm doors - Approve drawings and specifications dated 6/7/2021 with the finding the proposed work is consistent with the criteria for windows and doors in the preservation criteria Section 51P-87.111(a)(17)(F)(iii) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
3. Install brick veneer pavers on concrete patio – Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with the preservation criteria for front entrances and porches in Section 51P-87.111(a)(11)(E) that states "Each main building must have a front porch or entry treatment with a shape, roof form, materials, and colors that are typical of the style and period of the building. A front entrance or porch must reflect the dominant horizontal or vertical characteristics of the main building."

Task Force Recommendation:

1. Paint main and accessory structure. Brand: Sherwin Williams. Main: SW9178 "In The Navy." Gable shakes: SW6349 "Pennywise." Accent: SW7652 "Mineral Deposit." Trim: SW7007 "Ceiling Bright White" – Deny

without prejudice - Provide 3 colors, (1 Body, 2 Accent, 3 Trim). Provide Window color of Trim and Sash, Consider not using the Pennywise for the gable this color seems like a heavy orange color that will weight heavy on the blue body, unless if this color is attempting to replicate a natural wood shake color, if so present actual paint to confirm this matches a natural shake color) Clarify colors selections.

2. Replace existing front doors with new craftsman wood doors and aluminum storm doors - Door is approved as submittal.
3. Install brick veneer pavers on concrete patio – deny without prejudice - Brick Veneer not approved, clarify location, if this is the front then this is not approved for not being historically appropriate and not in character to the neighborhood.

OTHER BUSINESS ITEMS:

- Approval of Minutes – June 7, 2021
- Approval of Swiss/Munger District Task Force Member
- Approval of request for a three-year extension on a Certificate of Eligibility - CE178-013(MD)

DESIGNATION COMMITTEE:

Note: The official Designation Committee Agenda will be posted in the City Secretary's Office and City Website at www.ci.dallas.tx.us/cso/boardcal.shtml. Please review the official agenda for location and time.

EXECUTIVE SESSION NOTICE

A closed executive session may be held if the discussion of any of the above agenda items concerns one of the following:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the City Council under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex Govt. Code §551.087]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critical infrastructure, or security devices. [Tex. Govt. Code §551.09]



LANDMARK COMMISSION

7/5/2021

FILE NUMBER: CA201-005(MLP)

PLANNER: Melissa Parent

LOCATION: 2847 Metropolitan Avenue

DATE FILED: 6/21/2021

COUNCIL DISTRICT: 7

DISTRICT: Wheatley Place

SIZE OF REQUEST: 1,344

MAPSCO: 46-U

APPLICANT: Christopher McFadden

OWNER: MCFADDEN CHRISTOPHER J

REQUEST: A Certificate of Eligibility (CE) for a tax exemption on 100 percent of land and improvements for a period of ten years and approval of \$16,225 in expenditures already spent on rehabilitation.

SUMMARY: This is a single-family house that was built in 1930 and is a contributing structure in the historic district.

The historic preservation tax incentive program has four different categories of districts: Urban, Revitalizing, Endangered Districts, and Citywide. The categories of districts are based on the location of the property, and they determine what exemptions are available to the property.

Typically, because the City's Citywide Historic Districts are considered to be more stable and are outside the city's core, property owners in these districts are only eligible for a tax freeze on their property values.

In 2007, however, when the historic preservation tax incentive program was renewed, the City added a category of exemption to the Citywide district specifically for properties that require more rehabilitation and for which it was far more feasible to demolish a property than it was to restore it. This exemption is intended for properties that are endangered for one reason or another.

For this Endangered Property exemption, property owners are eligible to receive an exemption based on rehabilitation on 100 percent of the land and improvement value on the city portion of the property taxes for a period of 10 years. This exemption requires that rehabilitation completed on the property must be a minimum of 25 percent of the pre-rehabilitation improvement value.

Improvements Value (2020):	\$49,320
Land Value:	\$18,000
Required Expenditures:	\$12,330
Estimated Expenditures:	\$16,000
Estimated Total Exemption:	\$5,229

Notes on the estimated exemptions:

** The estimated value after rehabilitation does not account for any increase in value due to appreciation.*

*** Tax estimates are based on the new city tax rate of 0.7767%. Properties with homestead exemptions are assumed to increase in taxable value at the capped rate of 10% until they reach the "estimated new value after rehabilitation".*

The applicant has completed rehabilitation on the property, which includes foundation, window repair, and water drainage systems. The Landmark Commission may approve expenditures made up to three years prior to the Landmark Commission's approval of a Certificate of Eligibility. A default completion date will be 7/5/2024, by which a certificate of occupancy must also be obtained, unless the property is a single family residence. The Certificate of Eligibility shall expire if the rehabilitation work has not been completed by that time.

TASK FORCE RECOMMENDATION: None.

STAFF RECOMMENDATION: Approval of the Certificate of Eligibility and approval of \$16,225 in expenditures spent on rehabilitation prior to the issuance of the Certificate of Eligibility.



Historic Preservation Tax Incentive Program

Step 1 Application to the Landmark Commission

(Properties where part of the rehabilitation work has
been previously completed)

Address: 2847 Metropolitan Ave Dallas Texas 75215

Applicant: Christopher Jordan McFadden

Contact info: (214) 939-9763



Application Requirements

- ☒ Completed Step 1 Application..... All requested information must be provided, and where necessary forms should be signed and notarized
- ☒ List of expenditures to date..... Please provide a chart, as shown later in this packet, listing the receipts and expenditure documentation submitted. Copies of the receipts should be submitted as backup documentation with this chart. A blank chart is attached to this form for your convenience.
- ☒ Backup documentation of expenditures spent to date..... Receipts or other documentation, such as pay affidavits or schedules of value provided by a licensed architect or engineer proving that the required expenditure on rehabilitation has actually been made. Please do not provide original documents, copies only.
- ☒ Estimated costs of rehabilitation yet to be completed List of applicable expenses. Eligible expenses are listed in the General Information packet.
- ☒ Statement of Understanding Signed and notarized by the property owner; use the form included in this packet.
- ☒ DCAD Account Information Go to www.dallascad.org then search for appraisals, search by address, search for the address of the property in question, and attached a copy of the account information to this application.
- ☒ Photographs of existing conditions..... Pictures taken of the structure prior to rehabilitation. Be sure to document the areas that will be rehabilitated.

Additional Requirements

I can email, I have a CA and it has been approved. I can email the Pictures

Check all statements that apply and please provide the information shown to the right for those items.

- ☒ Does the rehabilitation include any exterior work?..... Provide a copy of the front page of the Certificate of Appropriateness for the rehabilitation.
- ☒ Has the property has received any previous tax relief? Provide the documentation explaining the duration and amount of all previous tax relief.

Additional Requirements (cont).

- N/A** ☒ Is the property in a TIF district? Documentation of any additional tax incentives the property is set to receive, such as tax credits from the county, National Trust, grants, Texas Historic Commission or other entities. If you are unsure if the property is in a TIF district, locate your property on the DCAD website's map and turn on the Tax Increment Zone layer.
- N/A** ☒ Is this an Urban Historic District exemption? Provide a breakdown of the square footage for residential, retail, commercial, and other nonresidential uses, number of jobs created, and residential units created in the proposed project.
- N/A** ☒ Has the property had past code violations? Contact the Code Compliance Department at 214-670-5708 if the property has had past code violations. An email from their department stating that the violations have been resolved will suffice.
- ☒ Is the owner not listed as the owner in DCAD records Provide a copy of the property deed.
- N/A** ☐ Is the lot is a divided lot or split between several lots? Provide a copy of the property deed.
- ☐ Is the property unplatted (no lot or block number)? Provide a copy of the property deed.
- ↓** ☐ Is it is owned by a partnership, LLC, or other entity? Provide a copy of the property deed or documentation that the signatory has the authority to sign on behalf of the entity.

Historic Tax Exemption Application

Step 1 – Application for a Certificate of Eligibility

Property Information

Property Address: 2847 Metropolitan Ave Dallas Texas 75215
Legal description: Lot 12 Block C/1969, of Oakland Ave
Provide a metes and bounds attachment if no lot and block can be determined.
Building name (if applicable): N/A
Historic district or pending historic district: Wheatley
Year the historic structure was built: 1933
Is this a contributing structure? Yes

Owner Information

Please list all of the property owner(s): Christopher Jordan McFadden
Mailing address: 2847 Metropolitan Ave
City, state and zip code: Dallas, Texas, 75215
Phone number: (214) 939-9763 Fax number: N/A
Email: mr.cmcfadden@yahoo.com

Applicant Information (if different from the property owner)

Applicant name: N/A
Mailing address: _____
City, state and zip code: _____
Phone number: _____ Fax number: _____
Email: _____

Rehabilitation Information

Estimated Rehabilitation Investment: \$25K
Current Use: Primary Residence Proposed Use: Primary Residence
For any exterior work, has a Certificate of Appropriateness (CA) been approved yet? Yes
If not, when will the application for a CA be considered? _____
Projected Construction Time and Estimated Date of Completion: 2022

Lien Holder Information (if applicable)Primary mortgage company: Guild MortgageContact person: Melissa CondenssaCorrespondence address: 10925 Estate Ln Ste W305 Dallas, TX 75238

Secondary mortgage company: _____

Contact person: _____

Correspondence address: _____

Other lienholder: _____

Contact person: _____

Correspondence address: _____

Financial Information

The following information can be obtained from the Dallas Central Appraisal District website (www.dallascad.org and click search for appraisals). The City of Dallas will use the tax values for the year prior to the application beings made.

The date this application is submitted to the city: 6/5/2021Improvement Value: \$49,320Land Value: \$18,000Has the Property Received Any Previous Tax Relief? If so, Please Explain: NOIs this in a TIF District? NO

** Please attach a copy of the dallascad.org account information for the property to this application **

If Applying for an Urban Historic District Conversion Exemption

Total Building Square Footage: _____

Retail Square Footage: _____

Office Square Footage: _____

Residential Square Footage: _____

Number of Jobs Created: _____



**DALLAS CENTRAL APPRAISAL DISTRICT
NOTICE OF APPRAISED VALUE - RESIDENTIAL
TAX YEAR 2020**

Mailing Address:
Residential Division
PO Box 560348
Dallas, TX 75356-0348

www.dallascad.org (214) 905-9402



Account Number: 00000190027000000

Ownership:

AVILA MARIA G
3090 OUTLET PKWY #205
GRAND PRAIRIE, TX 75052-7241

Property Address:
2847 METROPOLITAN AVE
DALLAS

Legal Description:
OAKLAND AVE
BLK C/1969 LOT 12
METROPOLITAN AVE

Dear Property Owner:

This letter is your official notice of the **2020** proposed property tax appraisal for the account listed above. The Dallas Central Appraisal District (DCAD) appraises all of the property in Dallas County for property tax purposes. State law requires that appraisal districts appraise all taxable property at its fair market value. Your county, city, school district and other local governments use the appraisal in calculating your property taxes. Property taxes support critical services such as schools, police and fire protection, street maintenance and many others.

As of January 1, 2020, the DCAD appraised your real property at:

2020 Market Value:	\$67,320
2020 Appraised Value:	\$67,320
2020 Estimated Taxes (using last year's tax rates):	\$1,839

DO NOT PAY FROM THIS NOTICE. THIS IS NOT A TAX BILL.

Your current year exemptions are: No Exemptions

The Texas legislature does not set the amount of your local taxes. Your property tax burden is decided by your locally elected officials and all inquiries should be directed to those officials.

The governing body of each taxing jurisdiction decides whether or not taxes on your property will increase. The DCAD only determines the value of the property in accordance with the Texas Constitution and Statutes.

The percentage difference between the 2015 appraised value of \$23,330 and the proposed 2020 appraised value is an increase of 188.56% over a 5-year period.

To **PROTEST** the proposed 2020 value or other issues, you must file a protest with the Appraisal Review Board (ARB) by using the online **uFile** system (**preferred method**) or by submitting a written protest (form enclosed).

If you agree with the proposed value, no further action is required.

Deadline for filing a protest: June 15, 2020

Location of ARB hearings: 2949 N. Stemmons Fwy, Dallas, TX 75247

More information about your appraisal and the protest process is on the back of this notice and on the inserts enclosed.

Homestead "Capped" Limitation: The Texas Constitution provides that property with a homestead exemption may not be increased in value more than 10% per year, excluding any new improvements made. This provision takes effect the first year following the year the owner qualified for a homestead. Because of this constitutional limitation, if you received a homestead exemption on this property in the previous year, it will be "**capped**" at the appropriate limit.

CURRENT YEAR 2020	County and School Equalization	City	School	Hospital	College	Special District	Canceled/Reduced Exemption
Jurisdictions	Dallas County	City of Dallas	Dallas ISD	Parkland Hospital	Dallas Co Community College		
Market Value - Land	\$ 18,000	\$ 18,000	\$ 18,000	\$ 18,000	\$ 18,000		
Market Value - Structure(s)	\$ 49,320	\$ 49,320	\$ 49,320	\$ 49,320	\$ 49,320		
Market Value	\$ 67,320	\$ 67,320	\$ 67,320	\$ 67,320	\$ 67,320		
Less Deductions							
Homestead Capped Limitation							
Ag-use Value							
Absolute Exemption							
Appraised Value	\$ 67,320	\$ 67,320	\$ 67,320	\$ 67,320	\$ 67,320		
Exemption Amount Subtotal							
Estimated Taxable Value	\$ 67,320	\$ 67,320	\$ 67,320	\$ 67,320	\$ 67,320		Total
Last Year's Tax Rate	0.253100	0.776600	1.310385	0.269500	0.124000		2.733585
Estimated Taxes Due*	\$ 170	\$ 523	\$ 882	\$ 181	\$ 83		\$ 1,339

PRIOR YEAR 2019	County and School Equalization	City	School	Hospital	College	Special District
Jurisdictions	Dallas County	City of Dallas	Dallas ISD	Parkland Hospital	Dallas Co Community College	
Market Value - Land	\$ 12,000	\$ 12,000	\$ 12,000	\$ 12,000	\$ 12,000	
Market Value - Structure(s)	\$ 42,190	\$ 42,190	\$ 42,190	\$ 42,190	\$ 42,190	
Market Value	\$ 54,190	\$ 54,190	\$ 54,190	\$ 54,190	\$ 54,190	
Less Deductions						
Homestead Capped Limitation						
Ag-use Value						
Absolute Exemption						
Appraised Value	\$ 54,190	\$ 54,190	\$ 54,190	\$ 54,190	\$ 54,190	
Exemption Amount Subtotal						
Estimated Taxable Value	\$ 54,190	\$ 54,190	\$ 54,190	\$ 54,190	\$ 54,190	

Tax Ceiling: If you received the Age 65 or Older or the Disabled Person homestead exemption, your school, county, and certain city taxes for this year will not be any higher than they were for the year in which you first received the exemption, unless you have made new improvements to your home. If you improved your property by remodeling or adding an addition, your school, county, and certain city taxes may increase for new improvements. If you are the surviving spouse of a person who was age 65 or older or disabled at death and you were age 55 or older at the time of death, you may retain the school, county, and certain city tax ceilings.



APPRAISAL REVIEW BOARD OF DALLAS COUNTY
NOTICE OF PROTEST - RESIDENTIAL
TAX YEAR 2020

www.dallascad.org (214) 905-9402

Account Number: 00000190027000000



AVILA MARIA G
3090 OUTLET PKWY #205
GRAND PRAIRIE, TX 75052-7241

Property Address:
2847 METROPOLITAN AVE
DALLAS

Legal Description:
OAKLAND AVE
BLK C/1969 LOT 12
METROPOLITAN AVE

Proposed Value: \$67,320

Deed Transfer Date: 1/8/2020

CHANGE OF ADDRESS: _____

It is my desire to file a protest based on the issue(s) checked below. Also, I understand that the Appraisal Review Board (ARB) must notify me of any hearing not later than the 15th day before the date of the hearing pursuant to §41.46 of the Texas Property Tax Code. At the time your account is scheduled for an ARB hearing, the evidence that the Chief Appraiser will introduce at your hearing will be available on the DCAD website. You may access this evidence on the website by using the property account number and PIN located on your notice of appraised value and hearing notice.

It is my desire to protest based on the following issue(s) and I have checked the applicable boxes:

- | | |
|----------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Value is over market value | <input type="checkbox"/> Ag-Use: Change in use of land appraised as agricultural use, open-space, etc. |
| <input type="checkbox"/> Value is unequal compared with other properties | <input type="checkbox"/> Ag-Use: Open-Space or other special appraisal denied or cancelled |
| <input type="checkbox"/> Property not located in district | <input type="checkbox"/> Property should not be taxed in district or in one or more taxing units |
| <input type="checkbox"/> Exemption was denied or cancelled (Specify _____) | <input type="checkbox"/> Other: (Specify _____) |
| <input type="checkbox"/> Ownership is incorrect (Specify _____) | |

Additional Requests: _____

Opinion of Value: _____

If you wish to expedite your hearing by waiving the required deadline date under Section 41.46 of the Texas Property Tax Code, please check the following box: ☐

Signature of Owner (or Agent)

Date Filed

(Agent Registration No., if applicable)

Printed Name

Daytime/Cell Phone No.

E-Mail Address

DEADLINE FOR FILING A PROTEST: June 15, 2020

GENERAL INSTRUCTIONS: Pursuant to §41.41 of the Texas Property Tax Code, a property owner has the right to protest certain actions taken by the appraisal district. There are two options to file a protest, 1) use the online uFile system, or 2) mail a protest form.

uFile ONLINE PROTEST & SETTLEMENT SYSTEM: The preferred method of protesting your property is to use the online uFile Protest & Settlement System. You may access the system by searching your account on our website at www.dallascad.org and select the link "Online Protest System". For easy access, you may request your individual PIN through this system or use the PIN located at the top left-side of your Notice of Appraised Value. Once you utilize the uFile system to protest your property, you may also be eligible to use the settlement program and settle your protest online. **If you file a protest using the online uFile system, please do not file a written or duplicate protest.**

uFile is the preferred method of filing a protest in order to expedite and insure timely delivery of your protest.

PROTEST FORM: This form is for use by a property owner or designated agent who would like the ARB to hear and decide a protest. If you are leasing the property, you are subject to the limitations set forth in Texas Property Tax Code §41.413. Please review the ownership and property information provided on this protest form and make any necessary corrections.

If you wish to mail your protest and supporting documents, the envelope must be postmarked by U.S. Postal Service on or before the deadline.

Appraisal Review Board of Dallas County
Residential Division
PO Box 560348
Dallas, TX 75356-0348

HOW TO SETTLE THE VALUE OF YOUR PROPERTY

Informal Hearing Process: Due to the COVID-19 Pandemic the DCAD will not be holding face to face informal hearings. Please read the insert titled Health Alert: Dallas Central Appraisal District Operations / uFile Online Protest and Settlement System. If you are unable to use DCAD's uFile system then please mail in your protest form with your supporting documentation. You can also drop off your protest form and documentation at DCAD's office but you will not be able to discuss your issues with an appraiser in person. You may call the number listed on the Notice of Appraised Value and speak to an appraiser about an individual property. Please understand that we mail thousands of notices at this time. Our phone lines will be very busy. Keep trying. You have several weeks to respond before the deadline noted on the Notice of Appraised Value. You may also write our office at 2949 N. Stemmons Freeway, Dallas, TX 75247-6195, or inquire on our website at www.dallascad.org. If you provide supporting documentation with your protest, DCAD will make every effort to have an appraiser contact you prior to your scheduled ARB Hearing. Please make sure you provide an e-mail address and/or daytime phone number on your protest form.

UFILE - PREFERRED METHOD

uFile Online Protest & Settlement System: The preferred method of protesting your property is to use the online uFile Protest & Settlement System. You may access the system by searching for your account on our website at www.dallascad.org and select the link "Online Protest System". For easy access, you may request your individual PIN through this system or use the PIN located at the top left-side of your Notice of Appraised Value. Requesting a PIN does not constitute filing a uFile protest. You must complete the uFile protest process. Once you utilize the uFile system to protest your property, you may also be eligible to use the settlement program and settle your protest online. All uFile protests will eventually be scheduled for an ARB Hearing if the protest issue(s) remain unresolved. Once scheduled for an ARB Hearing, DCAD will post the ARB Hearing Date and Time on your account on our website. The ARB will also mail you an ARB Hearing Notification. **If you file a protest using the online uFile system, please do not file a written or duplicate protest.**

WRITTEN PROTEST

Protest Form: If you choose not to use the uFile online system, you may use the protest form provided. You should attach to your protest form any documentation that supports your opinion of value or any other protested issue (reference the Standards of Documentation). **If you are protesting more than one account, be sure to staple or bundle together all protest forms and documents to avoid receiving multiple dates and times for your accounts.**

Useful Information: If you have purchased your property within the last three years, please include, with your protest form, a copy of your closing statement or other official record that validates the purchase price.

Filing Deadlines: While June 15 is the deadline to file a residence homestead protest, a different deadline will apply to you if 1) your notice of appraised value was mailed to you after May 15; 2) your protest concerns a change in use of agricultural, open-space, or timber land; 3) the Appraisal Review Board (ARB) made a change to the appraisal records that adversely affects you and you received notice of the change; 4) the DCAD or the ARB was required by law to send a notice about your property and did not; or 5) you had good cause for missing the June 15 protest filing deadline. Contact the DCAD for questions about your specific protest filing deadline.

Weekends and Holidays: If your deadline falls on a Saturday, Sunday, or legal holiday, it is postponed until midnight of the next business day.

Appraisal Review Board (ARB): Members of the ARB are not employees of the DCAD. They serve as jurors to arbitrate issues brought before them. The Texas Property Tax Code outlines specific duties for the ARB to follow. The goal of the ARB is to ensure that each property owner is given a fair and impartial hearing in the most efficient and timely manner.

Hearing Process and Delivery of Requested Information: Once the Appraisal Review Board (ARB) receives and processes your protest your account will be scheduled for an ARB hearing. Once scheduled for an ARB Hearing, your hearing date and time will be posted on the DCAD website. You will also receive an ARB hearing notice by first class mail with your hearing date, time, and location to appear before the ARB. If you do not receive an ARB hearing notice then please call the DCAD to inquire about your ARB hearing date or check your account on the DCAD website. You may request in writing that your ARB hearing notice be sent to you by certified mail but you may be charged for this request. You can also request your ARB hearing notice to be e-mailed to you if you provide an e-mail address on the protest form and request this in writing. If you would like for the ARB to send your hearing notice by certified mail or you want your hearing notice sent to your e-mail address then please indicate so on the attached Protest Form under Additional Requests. If you do not want your ARB Hearing conducted with only one ARB member please indicate so under additional requests. Prior to your ARB hearing, you may request a copy of the evidence DCAD plans to introduce at the hearing to establish any matter at issue. Before an ARB hearing on a protest or immediately after the hearing begins, you or your agent and the CAD are required to provide each other with a copy of any materials (evidence) intended to be offered or submitted to the ARB at the hearing. Evidence may be submitted for any ARB hearing type either in paper or on a small portable device (such as a CD, USB flash drive or thumb drive) which will be kept by the ARB. Do NOT bring evidence by smart phone. At the time your account is scheduled for an ARB hearing, evidence that the Appraisal District will introduce at your hearing will be available on the DCAD website. You may access this evidence on DCAD's website by using the property account number and PIN located on your notice of appraised value and hearing notice. You may also request this information at the DCAD office.

Telephone Hearings: Due to the COVID-19 Pandemic, the Appraisal Review Board (ARB) will be conducting all protest hearings by telephone. You will be notified of the date and time of your hearing, and will be called by the ARB at the time of your scheduled hearing. Please make sure you provide a daytime phone number on your protest form so the ARB can contact you to start your ARB Hearing.

Hearing Postponements: As a property owner, you are entitled to one postponement of the hearing without showing good cause. You are also entitled to postpone your hearing if you or your agent shows reasonable cause for postponement. You must request this postponement to the ARB before the hearing date. The ARB will determine if good cause exists for missing your hearing.

Residence Homestead Exemptions: If the property is your home and you occupy it as your principal place of residence, you may qualify for one or more residence homestead exemptions, which will reduce the amount of taxes imposed on the property. If you are single or a married couple filing together, you may be eligible to **apply online** for the **Homestead Exemption** at www.dallascad.org. If you are filing for the Age 65 or Older or Disabled Person exemption or the property is owned by multiple owners, you are *not* eligible to file online. However, you may select the link "Print Homestead Exemption Form" from the DCAD website or you may call 214-631-0910.

Special Service Accommodations: The DCAD offices are wheelchair accessible and parking spaces for the disabled are provided. The DCAD will provide sign interpretation services for the hearing impaired at any scheduled hearing or meeting if at least 72 hours advance notice is given. The hearing impaired can call TDD at (214) 819-2368.

If you desire any special assistance during the hearing process to accommodate any disability you have, please specify:

Additionally, to arrange for any special service to accommodate a disability, you may contact the Assistant Director of Administration at (214) 631-0520, extension 1107.

Type of Exemption that is being applied for:

Category		Type	Required Expenditures (% of pre-rehab value of structure only)	Amount (portion of land and structure)	Duration	Renewable (façade expenditures only)
Urban Historic Districts Includes all properties located within the Urban historic district area shown on the last page of the Information packet	<input type="checkbox"/>	Based on Rehab	75%	100%	10 years	Yes
	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input type="checkbox"/>	Residential / ground floor conversion	50% must be converted to residential and 65% of ground floor must be converted to retail	100%	5 years	No
** A Residential / Ground Floor Conversion exemption may be applied for in addition to an exemption Based on Rehab						

Category		Type	Required Expenditures	Amount	Duration	Renewable (façade expenditures only)
Revitalizing Historic Districts Includes properties located in: <ul style="list-style-type: none"> • Junius Heights • Lakecliff • Peak's Suburban • South Blvd. / Park Row • Winnetka Heights <i>Imperial</i>	<input checked="" type="checkbox"/>	Based on Rehab	25%	100%	10 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable (façade expenditures only)
Endangered Historic Districts <ul style="list-style-type: none"> • 10th Street • Wheatley Place 	<input checked="" type="checkbox"/>	Based on Rehab	25%	100%	10 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable (façade expenditures only)
Citywide Includes properties located in: <ul style="list-style-type: none"> • Munger Place • State Thomas • Swiss Avenue • All properties not located within the Urban, Endangered or Revitalizing historic districts 	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input checked="" type="checkbox"/>	Endangered Property (Landmark Commission must find that this property is endangered.)	25%	100%	10 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable
Citywide – maintenance Includes properties in all historic districts	<input type="checkbox"/>	Maintenance	3%	Added Value	3 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable
Ownership by a non-profit entity open to the public	<input type="checkbox"/>	Non-profit	Be a designated historic landmark that is open to the public and is owned by a non-profit with	100%	As long as the building is owned by a non-profit entity and is open to the public	Annually

PLEASE NOTE: All tax exemption approvals that accumulatively (new applications and renewals) will receive exemptions totaling in excess of \$50,000 will have to be approved by both the Landmark Commission and the City Council.

Record of expenditures for work that has already been completed

This form **MUST** be completed and submitted with this application. Only work that was approved by the Landmark Commission in the determination of eligibility counts towards meeting the minimum required expenditure. All receipts must be cataloged and totaled to qualify as a complete application. Receipts submitted without the attached form or an attached form similar to the one provided will be returned to the applicant. Pay affidavits or pay schedules may be submitted in lieu of this form.

Please either fill out the below chart or attach a chart similar to the one shown below to document the receipts being submitted to staff:

Date	Company	Category of Work	Receipt Page Number	Amount	
1/20/21	JM Butters	Butters	1-2	\$ 900	
10/12/2020	Page Two Inspection	Structural Inspection	3	\$400	IF
3/20/21	O'steen Glass & Mirror	Glass for windows	4-6	\$ 900	
5/13/21	Westwood Restorations	Stripping Paint off windows	7	\$ 790	
1/19/21	Skywalk Furniture	Stripping Paint off windows	8	\$240	
Varies	Varies	Paint, Supplies for windows	9-11	\$325	
TOTAL:				\$3,555	

When **ALL** of the rehabilitation has been completed, the applicant must submit the **Step 2** application with the documentation demonstrating the additional expenditures spent after the Certificate of Eligibility approval.

Cost Estimates of work that has not yet been completed

The following list is a general guide to determine what may be used towards expenditures for the exemptions. Eligible items include but are not limited to:

- Architectural and engineering services if directly related to the eligible costs described above
- Carpentry
- Demolition and cleanup if directly related to the eligible costs described
- Electrical
- Elevators determined to be necessary to utilize the building
- Exterior doors
- Exterior brick veneers or treatments
- Facade Items
- Flooring
- Foundation
- Gutter where necessary for structural integrity
- Heating and cooling
- Interior work that becomes a permanent part of the building that will help preserve the structure
- Mechanical
- Painting (exterior and interior)
- Porch
- Plumbing
- Rehabilitation of a contributing structure used for the required parking
- Roofing
- Security and/or fire protection systems
- Sheetrocking
- Siding
- Structural walls
- Structural subfloors
- Structural ceilings
- Repair of termite damage and termite treatment
- Windows
- Other items deemed necessary by the Landmark Commission that assist in preserving of the historic structure

Ineligible costs include, but are not limited to, the following:

- Landscaping
- Legal and accounting fees
- Overhead
- Plumbing and electrical fixtures; provided, however, documented replacement of historic fixtures may be considered eligible
- Purchasing tools
- Repairs of construction equipment
- Supervisor payroll
- Taxes
- Any other items not directly related to the exterior appearance or the structural integrity or viability of the building

Briefly list the scope of work (attach a separate sheet of paper if necessary):

	Amount	
1. Termite Treatment	\$1,200	IE
2. Foundation Repair	\$9,000	
3. Repair/Replace Concrete Driveway	\$5,000	IE
4. Repair/Original Windows	\$5,000	
5. Painting Interior	\$3,000	IE
6. Security Protection	\$1,000	IE
7.		
8.		
9.		
10.		
Total estimated expenditures of applicable costs:		\$22,200

PLEASE NOTE: Step 2 of this application process requires applicants to submit copies of receipts or other documentation, such as pay affidavits or schedules of value provided by a licensed architect or engineer proving that the required expenditure on rehabilitation has actually been made. Be sure to document your rehabilitation expenditures so that you can provide this information to the city when you apply for verification.

Statement of Understanding

THE STATE OF TX §
COUNTY OF Dallas §
§

I certify that the information in this application for a tax exemption, including all supporting documentation, is complete and correct.

I authorize members of the Landmark Commission and city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax exemption.

I acknowledge that I have read and understand the program regulations, and that I will not receive an exemption until all program requirements have been met and a letter of verification obtained.

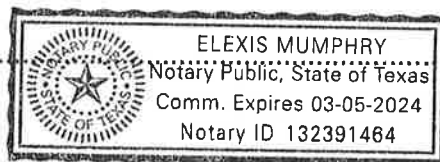
I understand that all rehabilitation work must be completed by the time specified by the Landmark Commission (or within 3 years after the date of the Landmark Commission's determination of eligibility if a completion date was not specified). If the deadline for completion is subsequently extended by the Landmark Commission all rehabilitation work must be completed by the extended time specified. I understand that penalties may apply if I do not complete the work.

I understand that I must make an annual application to Dallas Central Appraisal District each year in order to receive the exemption for that year, and that if I do not make the application in time, I will lose the ability to receive a tax exemption for that year.

Owner's Name: Christopher Jordan McFadden
Owner's Signature: C.J. McFadden

This instrument was acknowledged before me on 06/10/2021
by (print name of owner) Christopher Jordan McFadden

Notary Stamp Here



..... Notary Signature

Elexis Mumphy

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 201-198 (MP)
Office Use Only

Name of Applicant: Christopher J. McFadden
Mailing Address: 2847 Metropolitan Ave Dallas
City, State and Zip Code: Dallas, TX, 75215
Daytime Phone: 814 939-9763 Alternate Phone: _____
Relationship of Applicant to Owner: Self

OFFICE USE ONLY
Main Structure:
☒ Contributing
☐ Non-contributing

PROPERTY ADDRESS: 2847 Metropolitan Ave Dallas TX 75215
Historic District: Whitney

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Repair original windows, repair pier & beam foundation, install gutters, Repair
Concrete driveway to get proper water slope

RECEIVED BY

Signature of Applicant: C.J. McFadden Date: 12/29/20 JAN 14 2021

Signature of Owner: _____ Date: _____
(IF NOT APPLICANT) **Current Planning**

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla BBN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☒ **APPROVED.** Please release the building permit.
☒ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☒ Yes ☐ No

Mark Fin
Office of Historic Preservation

Date: Jan. 14 2021

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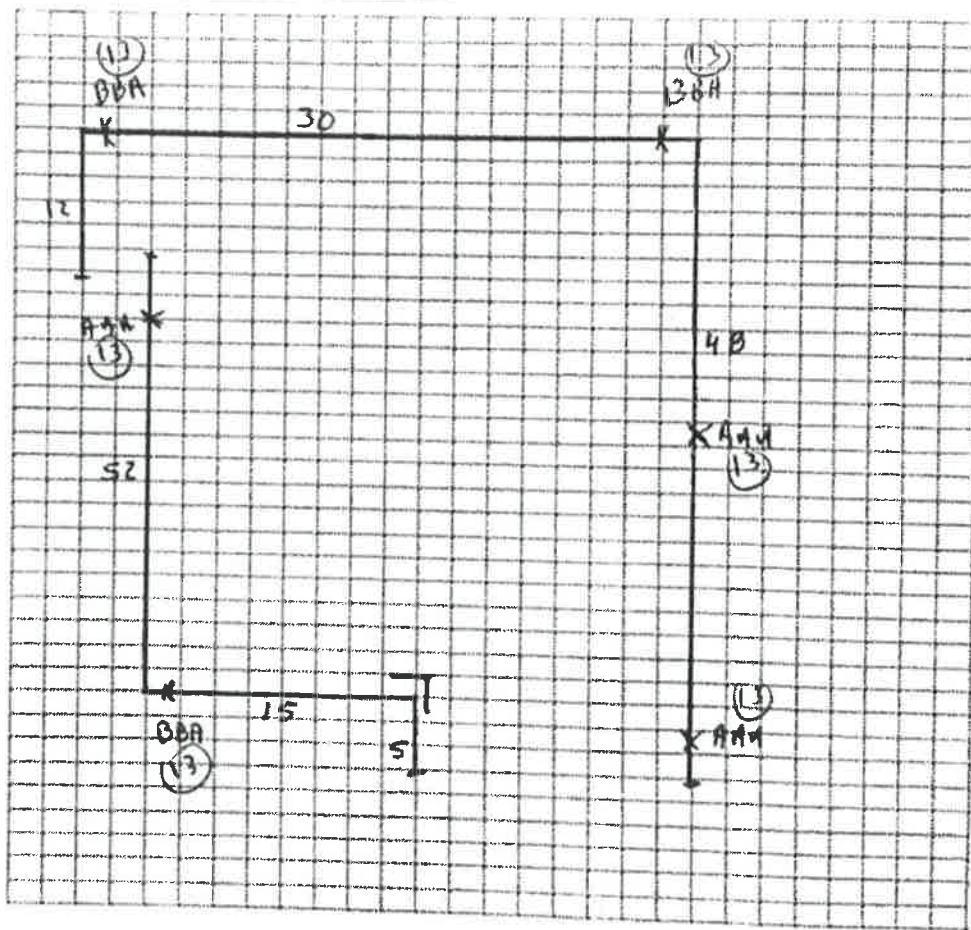
JM Gutters

Javier: (214)382-7568 ~jm.gutterstx@gmail.com

Name: 2847 Metropolitan Av Dallas TX	Date:
Address:	City, State, Zip
Mobile:	Home Phone:
Email:	Fax:



Item	1"	2nd
5" Gutter Coil		
2"x3"x10' Downspouts		
2"x3" Elbows	A	B
45 Strip Mitters	IS	OS
2"x3" Offsets	2"	4"
End Caps	L	R
6" Gutter Coil		
3"x4"x10' Downspouts		
3"x4" Elbows	A	B
Hidden Hangers		
Hanger Straps		
Wedges		
*90 Strip Mitters	IS	OS
3"x4" Drop Outlets		
5" Box Mitters	IS	OS
Slip Joints		
3"x4" Offsets	2"	4"
DS Adapters 2x3 to	Wh	Blk
DS Adapters 3x4 to	Wh	Blk
2.75" Drop Outlets		
Splash Blocks-Concrete	12"x18"	
Box Drains	3"	4"
Roof Diverters		
Valley Shield		
Perma-Seal		
Touch-up Paint		
Install Gutter Guards		
Gutter Clean Out		
Install Drip Edge		



Job Site Info

Color	Color
Gutters 5"	Gutter 6"
D/P 5"	D/P 6"
Extension 5"	Extension 6"
Screen 5"	Screen 6"
Total:	Total:

Color Selection	
Gutter Ft.	164
Downspouts Ft.	78
Extensions Ft.	10
Screens:	
Total Price:	\$ 882

Notes:

Acceptance of Proposal: The above prices, specifications, and conditions are satisfactory and are hereby accepted. Payments will be made as outlined above.

Customer / Signature: _____ Date: _____

Signature: _____



Check #1065



FRONT

CHRISTOPHER J. McFADDEN 03-16
2847 METROPOLITAN AVE
DALLAS, TX 75215

97-311/1240

1065

DATE 4/19/21

PAY TO THE ORDER OF Mary Inn Marquez \$ 900.00

nine hundred 00/100 DOLLARS

ally BANK

MEMO Gutter Installation Company J.M. Gutters C.J. McFadden

⑆ 03124003116⑆ 21467203921⑆ 1065

BACK

EXPLORE HERE

☐ CHECK HERE FOR MOBILE OR REMOTE DEPOSIT ONLY

AT NAME OF FINANCIAL INSTITUTION DATE DATE

DO NOT WRITE, STAMP OR SIGN BELOW THIS LINE

THE SECURE SIGNATURE VERIFICATION SYSTEM (SVS) IS A REGISTERED TRADEMARK OF ALLIANT SIGNATURE VERIFICATION, INC. (ASV). SVS IS A PROPRIETARY TECHNOLOGY THAT PROVIDES A SECURE AND VERIFIABLE METHOD OF SIGNATURE VERIFICATION. SVS IS USED BY ALLIANT SIGNATURE VERIFICATION, INC. (ASV) TO PROVIDE A SECURE AND VERIFIABLE METHOD OF SIGNATURE VERIFICATION. SVS IS USED BY ALLIANT SIGNATURE VERIFICATION, INC. (ASV) TO PROVIDE A SECURE AND VERIFIABLE METHOD OF SIGNATURE VERIFICATION.

4

231452

O'Steen Glass & Mirror (214) 504-5201

CUSTOMER'S ORDER NO. DEPARTMENT DATE Feb 27, 2021

NAME Christopher McFadden

ADDRESS 2841 Metropolitan Ave

CITY, STATE, ZIP Dallas TX 75215

SOLD BY Hal CASH C.O.D. CHARGE ON ACCT. MDSE. RETD. PAID OUT

QUANTITY	DESCRIPTION	PRICE	AMOUNT
1	Total Job is		1600.00
2	4 Reglaze window frames	Bigger window	1000.00
3	DSB - IF possible		1100.00
4	[returned finished on 3-20-21]		
5	Draw - Feb 27-2021 ck #1070		500.00
6			1200.00
7	Draw - March 20-2021 ck #1072		300.00
8			900.00
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			

RECEIVED BY [Signature]

A-5805
T-46320/46350

KEEP THIS SLIP FOR REFERENCE

②

ENDORSE HERE



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AT _____ NAME OF FINANCIAL INSTITUTION _____ DATE _____

**DO NOT WRITE, STAMP OR SIGN BELOW THIS LINE
RESERVED FOR FINANCIAL INSTITUTION USE ***

The security features listed below as well as the non listed, exceed industry guidelines.

Security Features: Microprint Lines Chemically Sensitive Paper Security Strips	Results of document authentication • All Security Features Pass • No Alterations or Repairs • No Signs of Forgery • All Authenticity Indicators Pass • Approved by Certified Bank • Verified by Bank of America
------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

⑦

[illegible]

WESTWOOD RESTORATIONS
1675 BRUNLOW AVE
SOUTHLAKE TX 76092
817-424-3355

Terminal ID: *****105 ***8

5/13/21 12:40 PM

MASTERCARD DEBIT - INSERT
AID: A0000000041010
ACCT #: *****2059

CREDIT SALE

UID: 113324288657 REF #: 0395
BATCH #: 156 AUTH #: 018883

DESCRIPTION : _____

AMOUNT \$790.00

APPROVED

ARQC - 6C33EE8898562080

CUSTOMER COPY

7

Contract Proposal

Date	Contract Prop...
4/8/2021	2909B
Office # 817-424-3355	
info@westwoodrestorations.com	

			Project
Description	Qty	Cost	Total
Strip Window Small Window Frames-Lead Paint Additional Price	4	115.00	460.00
Strip Large Window Frames- Lead Paint Additional Price	2	165.00	330.00
Price is for each window frame			
Estimates are good for 30 days. Pricing are subject to change.			Subtotal \$790.00
All work is guranteed 90 days from pick up / delivery. Any items not picked up within 30 days after the customer is notified will be considered abandoned property and donated.			Sales Tax (8.25%) \$0.00
			Total \$790.00

8



Check #1078



FRONT

CHRISTOPHER J. McFADDEN 07-19 2847 METROPOLITAN AVE DALLAS, TX 75215		97-311/1240	1078
DATE <u>1/15/20</u>			
PAY TO THE ORDER OF	<u>Samuel Obazekhai</u>	\$ <u>240.00</u>	
<u>Two hundred and forty 0/100</u>		DOLLARS	
ally BANK.			
MEMO	<u>Strip Windows 1st Down</u>	<u>C.J. McFadden</u>	
⑆124003116⑆ 1076633781⑈		1078	

BACK

021407912<
CAPITAL ONE, NA
0045043786 011520210
RICHMOND, VA 074 21
RDC Deposit 4670092114

NOT VALID FOR REMOTE DEPOSIT ONLY



LOWE'S HOME CENTERS, LLC
1710 CHALK HILL RD
DALLAS, TX 75211 (214) 257-1406

- SALE -

SALES#: S1771YM1 13 TRANS#: 2701306 04-17-21

3487 1/2-INX3/4-INX8-FT PM S4S	50.40
7 @ 7.20	
2564188 POWDER DOTS KNIT FA	1.98
58185 HM 1.75 OZ 16GA X 1-1/4IN	1.38
447480 10.1-OZ ALEX FLEX WHITE	8.56
2 @ 4.28	
525856 10-OZ NO DRIP CAULK GUN	9.98
86092 16-FL OZ TITEBOND ORIG WO	3.98
771624 TITEBOND WOOD BLUE APPLIC	3.38

SUBTOTAL: 79.66

TAX: 6.57

INVOICE 02322 TOTAL: 86.23

VISA: 86.23

VISA: XXXXXXXXXXXX0498 AMOUNT:86.23 AUTHCD: 05891D

CHIP REFID:177102029196 04/17/21 18:14:03

APL: CAPITAL ONE VISA TUR: 0080008000

AID: A0000000031010 ISI: E800

STORE: 1771 TERMINAL: 02 04/17/21 18:15:06

* OF ITEMS PURCHASED: 14

EXCLUDES FEES, SERVICES AND SPECIAL ORDER ITEMS



THANK YOU FOR SHOPPING LOWE'S.

FOR DETAILS ON OUR RETURN POLICY, VISIT

LOWES.COM/RETURNS

A WRITTEN COPY OF THE RETURN POLICY IS AVAILABLE
AT OUR CUSTOMER SERVICE DESK

STORE MANAGER: JOHNNY RODRIGUEZ

LOWE'S PRICE PROMISE

FOR MORE DETAILS, VISIT LOWES.COM/PRICEPROMISE

SHARE YOUR FEEDBACK!

ENTER FOR A CHANCE TO BE

ONE OF FIVE \$500 WINNERS DRAWN MONTHLY!

¡ENTRE EN EL SORTEO MENSUAL

PARA SER UNO DE LOS CINCO GANADORES DE \$500!

ENTER BY COMPLETING A SHORT SURVEY

WITHIN ONE WEEK AT: www.lowes.com/survey

Y O U R I D #023224 177131 071191

NO PURCHASE NECESSARY TO ENTER OR WIN.

* VOID WHERE PROHIBITED. MUST BE 18 OR OLDER TO ENTER. *

* OFFICIAL RULES & WINNERS AT: www.lowes.com/survey *

9

YOUR BUSINESS IS ALWAYS

WELCOME

COME SEE US AGAIN

REF#:000787625 A/M:CASH

05/15/21

SOLD TO:*** CASH SALE ***

14:41

SOLD BY:

CASH INVOICE

QTY PART #

UNIT TOTAL

QTY PART #

UNIT TOTAL

QTY PART #

UNIT TOTAL

QTY PART #

UNIT TOTAL

QTY PART #

UNIT TOTAL

SUBTOTAL: 29.98

TAX: 1.00

NET ADJ: .00

FRT: .00

LDR: .00

AD: .00

AD: .00

GRAND TOTAL: 31.81

.00

MASTERCARD

THANK YOU

ELLIOTT'S HARDWARE

PLANO • DALLAS • MESQUITE
Making hardware easy.

ELLIOTT'S HARDWARE
1325 INWOOD ROAD
DALLAS, TX 75247
214-634-9900

Thanks for shopping at ELLIOTT'S HARDWARE
elliottshardware.com

** Want to SAVE 3%? **

Ask us about our Start-to-Finish card

Vickie M
Normal Sale

7776402 FLAT BLACK E	34.99 tx
020066777647	
KILZ 2 LTX PMR WH IG	17.99 tx
051652200010	
MS-44 QT ODRLS MIN S	8.99 tx
030192940051	
HD UTILITY KNIFE BLD	2.79 tx
079423421006	
FN HDG SNOG SPNG	2.99 tx
082354046385	
PAINT BRUSH SET 3PC	25.99 tx
716341400231	
HANDY PAINT PAIL	11.99 tx
012758025006	
DISPOSABLE PAIL LINER	5.69 tx
012758025204	
SUBTOTAL	111.42
TAX 25 8.25%	9.19
TOTAL	120.61
Debit Card xxxxxxxxxx5237	120.61
769338	
CTROUTD: 174782	
Result: CAPTURED	
Card entry mode: Swiped	

A receipt is required on all returns
within 120 days of the original purchase.

DISCLAIMER: Customers assume all
responsibility and risk associated with
the safe loading of their vehicles and
proper securement of any purchased
goods. Although we may assist in the
loading process we are not responsible
for any damage to property or persons.



0400100206137032421

4001 002 41058 6137 03/24/21 17:56:20



How doers
get more done

THE HOME DEPOT TO APPLY 52270
5110 LEMMON AVE DALLAS, TX 75209

0589 00007 50422 04/10/21 05:07 P
SALE CASHIER KENNETH

030192940068 MIN SPIRITS <A>	12.97
KLEAN STRIP ODORLS MINERAL SPIRT GAL	
0000-500-239 SPLASH BLOCK <A>	9.37
3"X12"X20" CONCRETE SPLASH BLOCK	
095624106801 SHOE BASE PT <A>	
7/16 X11/16 PINE WM129 SHOE	
24.3300.76	10.49
095624122009 STOP WM916 <A>	
1-3/8 X3/8 PINE WM916 STOP	
7.2500.96	6.96

	SUBTOTAL	47.79
	SALES TAX	3.92
	TOTAL	\$51.71
XXXXXXXXXXXX5237	DEBIT	51.71
AUTH CODE 002452		

0589 04/10/21 06:07 I



0589 07 50422 04/10/2021 8657

RETURN POLICY DEFINITIONS
POLICY ID DAYS POLICY EXPIRES C
A 1 90 07/09/2021

DID WE NAIL IT?

Take a short survey for a chance TO WIN
A \$5,000 HOME DEPOT GIFT CARD

Opine en español

www.homedepot.com/survey

User ID: H88 101722 101140
PASSWORD: 21210 101133

Entries must be completed within 14 day
of purchase. Entrants must be 18 or
older to enter. See complete rules on
website. No purchase necessary.

**COMPRA Y VENTA DE
MATERIALES PARA
CONSTRUCCION**



UNCLE GUERO

2519 E. 11 St. Dallas, TX 75203

tejas.roofing@yahoo.com

**Office:
214-946-3300**

7am - 6pm

DATE _____

3-24-21

PHONE**ADDRESS**[illegible]

SUB-TOTAL

All of our material is sold as is and there is no warranty. All sales are final and no refunds are given. We are not responsible for any damage to vehicle or injuries in our premises.

TAX

TOTAL DUE

NO DEVOLUCIONES - NO GARANTIA
NO EXCHANGE - NO WARRANTY

**FIRMA DE RECIBIDO
RECEIPT SIGNATURE**



LANDMARK COMMISSION

JULY 6, 2021

FILE NUMBER: CA201-486(LC)
LOCATION: 3801 Herschel Ave
STRUCTURE: Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 193

PLANNER: Liz Casso
DATE FILED: June 3, 2021
DISTRICT: Stephen Hay School (H-124)
MAPSCO: 35-S
CENSUS TRACT: 0006.03

APPLICANT: DISD

REPRESENTATIVE: Coy Frazier

OWNER: DALLAS ISD

REQUEST: Install new metal fence.

BACKGROUND / HISTORY:

1. Stephen J. Hay Elementary School was constructed in 1926 and includes both Tudor Revival and Classical Revival Style architectural features. It was designed by Thomas J. Gailbraith, known for his work on the construction of the Hall of State in Fair Park and other buildings connected to the Texas Centennial Exposition of 1936. It was designated a City of Dallas Landmark in 2005.
2. On June 15, 2009 a Routine Maintenance Certificate of Appropriateness (CA) application to repair/replace an existing chain link fence, install a concrete pad for the existing dumpster, and repave the existing parking lot (CA089-447(MD)) was approved by Staff.
3. There have been no Landmark Commission reviewed CA applications for this site.

PROJECT DESCRIPTION:

The existing school parking lot is enclosed by a 4-ft tall chain link fence. The proposed work is to replace the chain link fence with a 4-ft tall aluminum picket fence that mimics the look of wrought iron (see figure13 for fence design). It will have a black painted finish. The new fence would be in the same location as existing. Vehicular and pedestrian gates would be in the same locations as existing gates as well.

In addition, the applicant is requesting to enclose the northwest section of the property at the rear of the site with the same 4-ft tall aluminum fence. It will include two pedestrian gates (see figure 12 for proposed site plan).

RELEVANT PRESERVATION CRITERIA:

Stephen J. Hay Elementary School (H-124), Ordinance No. 26107, Exhibit A

Section 3. Building Site and Landscaping

3.5 Fences

- a. Fences are not permitted in that portion of the no-build zone that is between the *main building and Herschel Avenue or Gilbert Avenue as shown in Exhibit B. Fences in other portions of the no-build zone may not exceed four feet in height.*
- b. *Fences may be constructed of brick, stone, chain link, or other appropriate material.*
- c. *The existing fence located west of 4005 Herschel Avenue can be rebuilt with wood, brick, stone, or chain link not to exceed eight feet in height.*

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Guidelines for Rehabilitating Historic Buildings

Building Site

Alterations and Additions for a New Use

Recommended

Designing new onsite features (such as parking areas, access ramps, or lighting), when required by a new use, so that they are as unobtrusive as possible, retain the historic relationship between the building or buildings and the landscape, and are compatible with the historic character of the property.

RELEVANT DALLAS CITY CODE:

Section 51A-4.501. Historic Overlay District

- (g) Certificate of Appropriateness.
- (6) Standard certificate of appropriateness review procedure.
- (C) Standard for approval. The landmark commission must grant the application if it determines that:

(i) for contributing structures:

- (aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*
- (bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*
- (cc) *the proposed work will not have an adverse effect on the historic overlay district; and*
- (dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*

ANALYSIS:

The preservation criteria allows fencing in the proposed locations around the existing parking lots and rear northwest section of the site. In addition, it states that fences may be brick, stone, chain link or other appropriate material. Staff believes the proposed metal picket fence is appropriate and more complementary to the site than the existing chain link fence.

However, the preservation criteria also states that the a fence between the school site and 4005 Herschel Avenue, which is the adjacent lot to the east of the school, may only be wood, brick, stone or chain link. The criteria doesn't call out metal (either wrought iron or aluminum or other) as an allowable material. Staff believes this may have been an error or oversight given that metal is a very commonly used historic fencing material.

Staff believes that the proposed metal fence is appropriate for the use on this site, including between the school site and 4005 Herschel Avenue. In addition, the proposed fence is consistent with Secretary of the Interior's Standards for Rehabilitation #9. The work is will not impact historic materials, features or spatial relationships that characterize the property. The work is differentiated as new and could easily be removed in the future without impacting the historic site.

STAFF RECOMMENDATION:

Approve the request and images dated 7/6/21 with the finding that although a small portion of the proposed fence does not comply with the Section 3.5(c) of the preservation criteria which states that the existing fence located west of 4005 Herschel Avenue can be rebuilt with wood, brick, stone, or chain link, it otherwise complies with Sections 3.5 (a) and (b) for fences, and meets the criteria for Landmark Commission approval of work that does not strictly comply with the preservation criteria under City Code Section 51A-4.501(g)(6)(B), because the proposed work is appropriate and compatible with the district.

TASK FORCE RECOMMENDATION:

Approved as submitted with the following comments/conditions: 1) that the Task Force interprets preservation criteria Section 3.5(a) to mean that fences are not permitted in the front lawn area bound by Herschel Ave, Gilbert Ave, and the front façade of the structure, but are permitted adjacent to the side facades not to exceed 4' where existing fencing is located; and 2) a wrought iron fence (or aluminum fence that appears like wrought iron) is considered an appropriate material and may follow the existing chain link fence line.

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA _____ - _____ []
Office Use Only

Name of Applicant: Dallas ISD

Mailing Address: 3701 S. Lamar

City, State and Zip Code: Dallas Tx. 75215

Daytime Phone: 972-925-5168 Alternate Phone: 469-853-0181

Relationship of Applicant to Owner: Employee

OFFICE USE ONLY

Main Structure:

___ Contributing

___ Non-contributing

PROPERTY ADDRESS: 3801 Herschel Avenue

Historic District: _____

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Repalce the existing 4 foot chain link fencing with 4 foot wrought iron fencing

(Green color on attachment) and install new 4 foot wrought iron fencing around the backside

(Red color on attachment)

Also repaint the building keeping the same color .

Signature of Applicant: _____

Date: _____

Signature of Owner: _____

Date: _____

(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ___ Yes ___ No

Office of Historic Preservation

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 010220

SUPPLEMENTARY INFORMATION

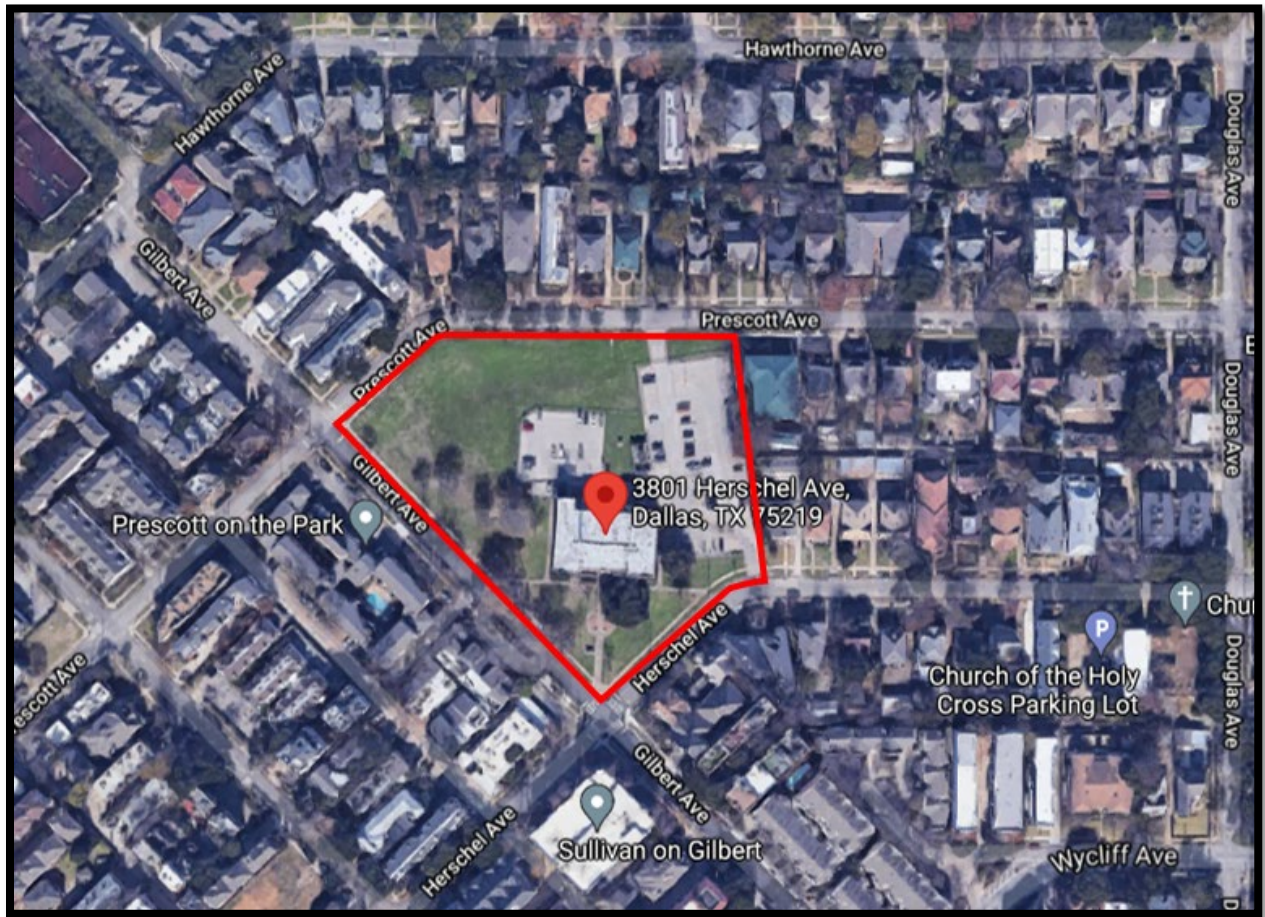


Figure 1 – Aerial view of the subject property (Google Maps, 2021)



Figure 2 – View of the subject property as seen from the corner of Herschel Ave and Gilbert Ave (view facing north)



Figure 3 – View of the subject property as seen from Gilbert Ave (view facing northeast)



Figure 4 – View of the subject property as seen from Herschel Ave (view facing northwest)



Figure 5 – View of the subject property as seen from corner of Prescott Ave and Gilbert Ave (view facing southeast)



Figure 6 – View of the subject property as seen from Prescott Ave (view facing south)



Figure 7a – Streetscape and adjacent properties to the west



Figure 7b – Streetscape and adjacent properties to the west



Figure 8 – Streetscape and adjacent properties to the east



Figure 9 – Streetscape and adjacent properties to the south



Figure 10a – Streetscape and adjacent properties to the north



Figure 10b – Streetscape and adjacent properties to the north



Fence to the right of school building



Fence to the left of school building



Fence to the rear of school building

Figure 11 – Photos of Existing Fencing

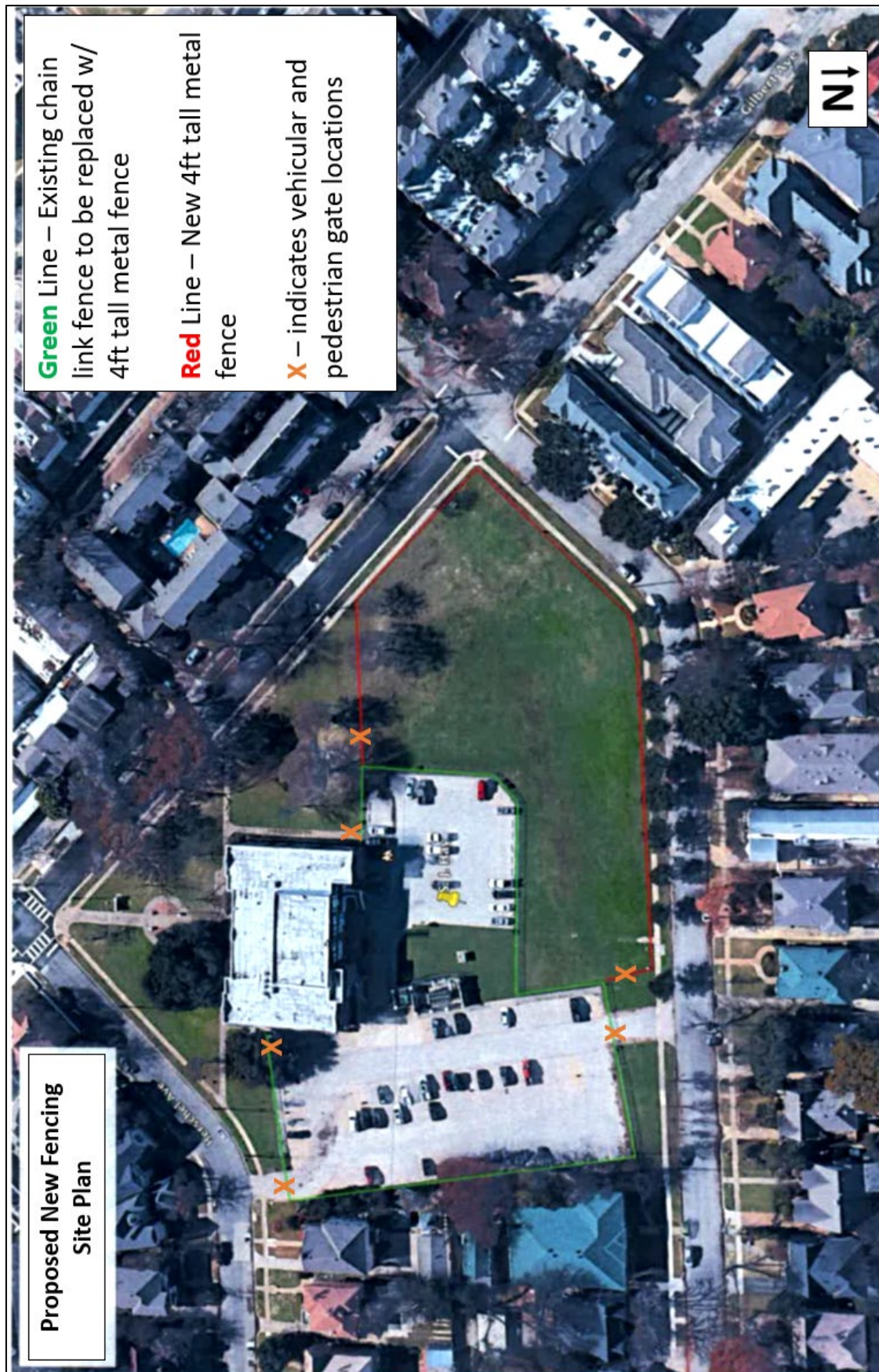


Figure 12 – Proposed Site Plan
CA201-486(LC)

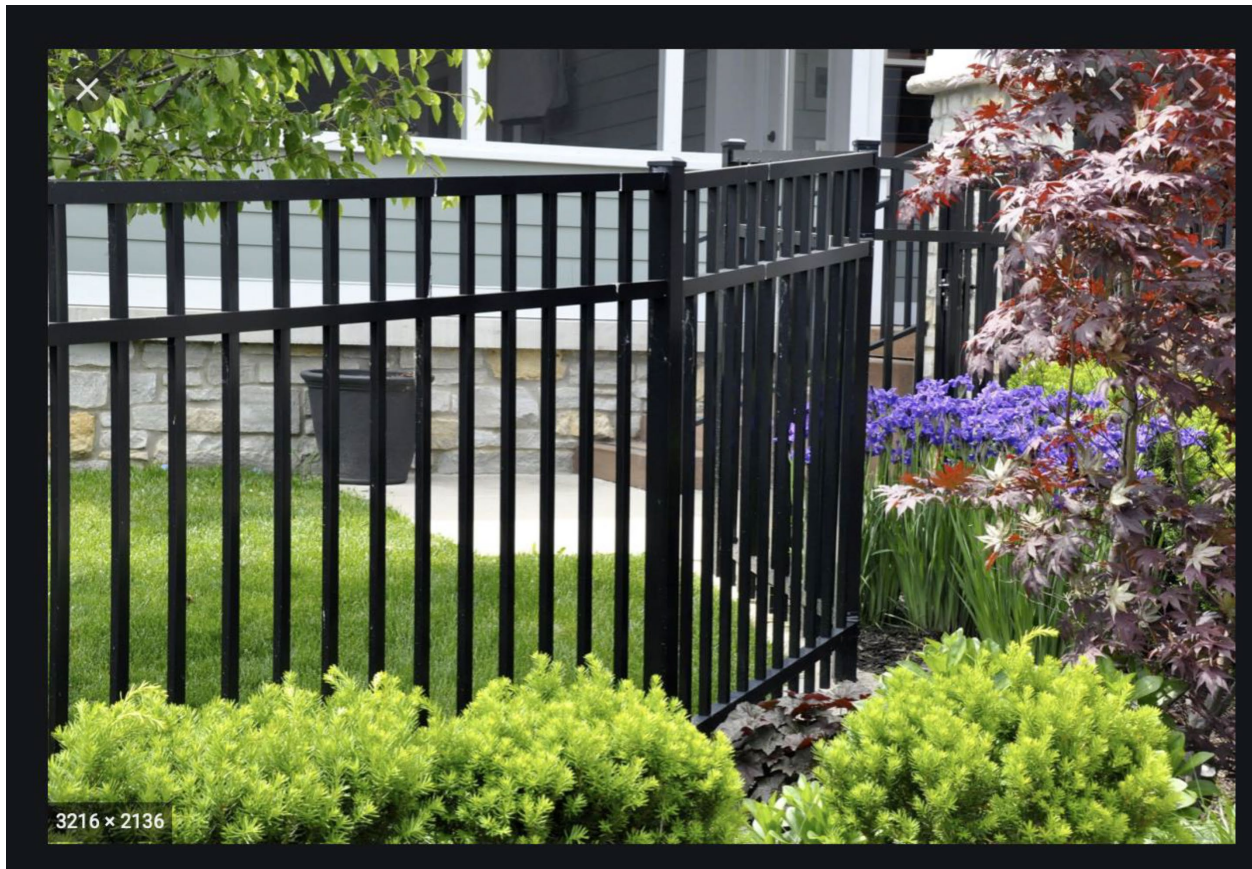


Figure 13 – Proposed 4-ft Metal Railing Design

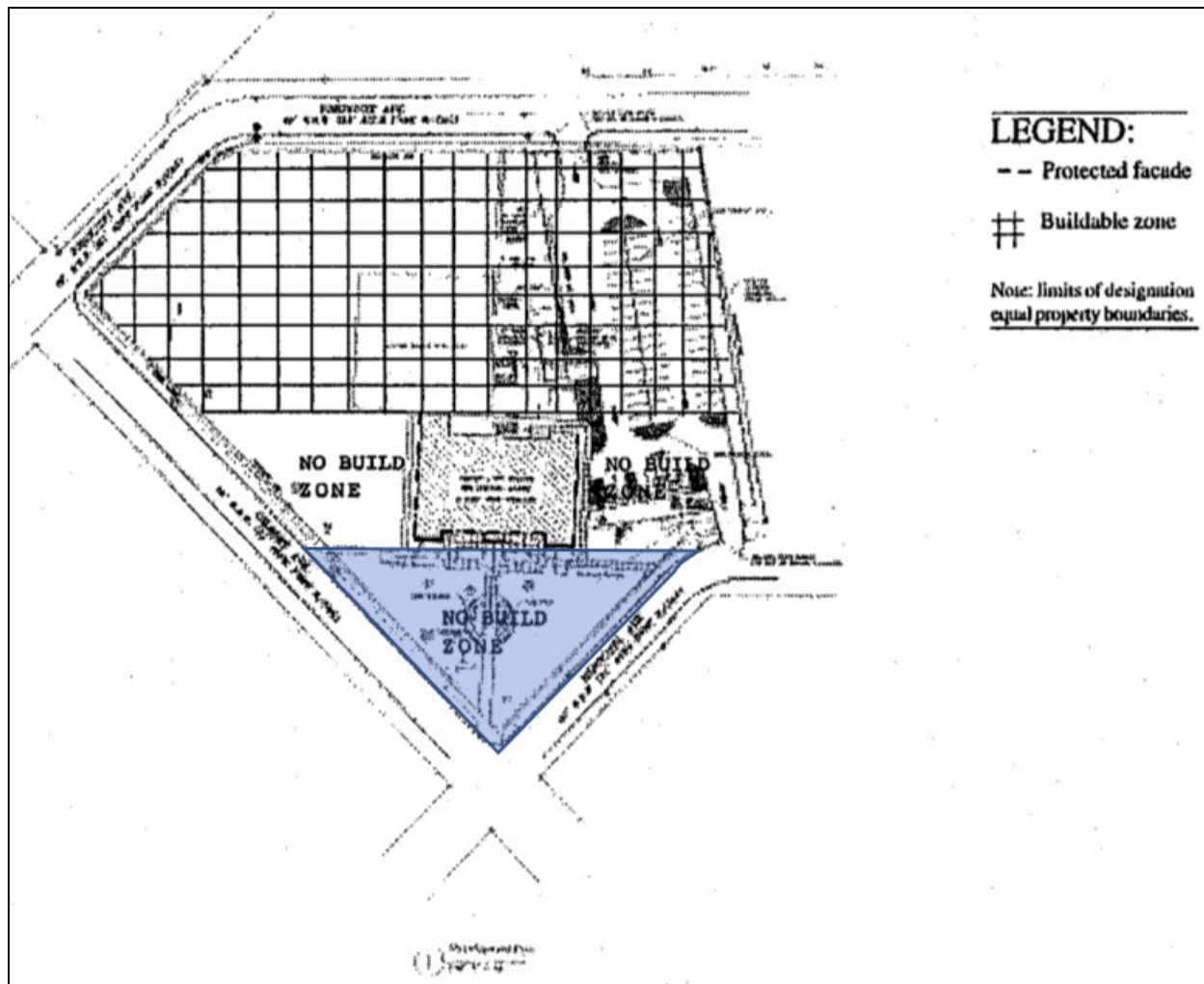


Figure 14 – Preservation Criteria Exhibit Map – no build zone area where fencing is not permitted is highlighted above in blue; proposed fence will not be located in this area.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-491(JKA)
LOCATION: 1505 Coliseum
STRUCTURE: N/A, Non-Contributing
COUNCIL DISTRICT: 7
ZONING: PD No. 288

PLANNER: Jennifer Anderson
DATE FILED: June 3, 2021
DISTRICT: Junius Heights
MAPSCO: 46-K
CENSUS TRACT: 0203.00

APPLICANT: State Fair of Texas

REPRESENTATIVE: Jason Hays

OWNER: City of Dallas

REQUEST(S): Midway: Install concrete plinth, sign, and seating area.

BACKGROUND / HISTORY: The 38' tall neon Big Tex sign was originally built for Big D Value Mart and stood at North Central Expressway and Forest Lane for less than a year before the store closed in 1962. It was then sold to Centennial Fine Wine and Spirits and moved to that company's location at North Central and Lovers Lane, where it stood for 31 years. The sign was toppled during a 1985 thunderstorm and repaired. Centennial declared bankruptcy in 1992 and moved neon Big Tex to their storefront at Stemmons Freeway and Walnut Hill. In 2013, AMC wanted to use the sign in a scene that was being filmed for their series "Halt and Catch Fire," but noted that the neon tubing had become damaged over the years. The production company paid for a full restoration of the sign. It was removed from the site in 2015 and sold to the State Fair of Texas, who displayed it during the annual Texas State Fair. The Midway as it exists today contains very few original features. Historically its character was a dense, linear shopping area for pedestrians only, and it also contained exhibit buildings, bright lights and sounds, and a carnival atmosphere.

PROJECT DESCRIPTION: The State Fair of Texas has been displaying the neon Big Tex sign seasonally since 2016 and would like to make it a year-round installation with additional seating at the base. It is proposed for the Midway in the same location it has been during the State Fair.

RELEVANT PRESERVATION CRITERIA:

Section 6.2 of the preservation criteria encourages new construction and details that recreate the character, function, and pedestrian use of the Midway. Section 9.2 states that all new signage must be appropriate and comply with Dallas City Code and the Parks and Recreation signage criteria.

ANALYSIS: The neon Big Tex sign has high sentimental value for longtime Dallas residents, and its proposed location will allow greater access to the sign while preserving it for future generations to enjoy. The proposed sign and seating area are appropriately designed and sited in an area of the Midway that is already utilized as a common meeting place for State Fair attendees. The bright neon lights and colors found on the sign would help to achieve the preservation criteria's stated goal of recreating the character and function of the Midway, and the design details for the proposed benches mimic those found on furniture throughout the park and supports the pedestrian use of this area. The sign has been reviewed and approved by the Parks and Recreation department. The Texas Historic Commission determined that the work does not require their approval.

STAFF RECOMMENDATION(S): Midway: Install concrete plinth, sign, and seating area – Approve drawings and image dated 7/6/21 with the finding that the work is consistent with preservation criteria Sections 6.2 and 9.1 through 9.5 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION(S): Midway: Install concrete plinth, sign, and seating area – Approve with Conditions – Request additional images showing the view of the install from vantage points along Coliseum Drive and straight on from directly in front of the Coliseum, both during the Fair and when the Midway has been secured to understand the visual impact.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA _____ - _____ ()
Office Use Only

Name of Applicant: STATE FAIR OF TEXAS

Mailing Address: P.O. Box 150009

City, State and Zip Code: DALLAS, TEXAS 75315

Daytime Phone: 214-665-2996 Alternate Phone: 972-932-5366

Relationship of Applicant to Owner: LEASEE OF PROPERTY

PROPERTY ADDRESS: 3801 PENNSYLVANIA AVE. DALLAS, 75210
Historic District: FAIR PARK

OFFICE USE ONLY

Main Structure:

____ Contributing

____ Non-contributing

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. DO NOT write "see attached."

CONSTRUCTION OF CONCRETE PLINTH AND SEAT-
ING AREA ON MIDWAY. INSTALLATION OF
"NEON BIG TEX" ATOP CONSTRUCTED PLINTH. TO
BE A PERMANENT ELEMENT ON STATE FAIR
MIDWAY.

Signature of Applicant: [Signature] Date: 3/29/21

Signature of Owner: [Signature] Date: 3 June 21
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ____ Yes ____ No

Office of Historic Preservation

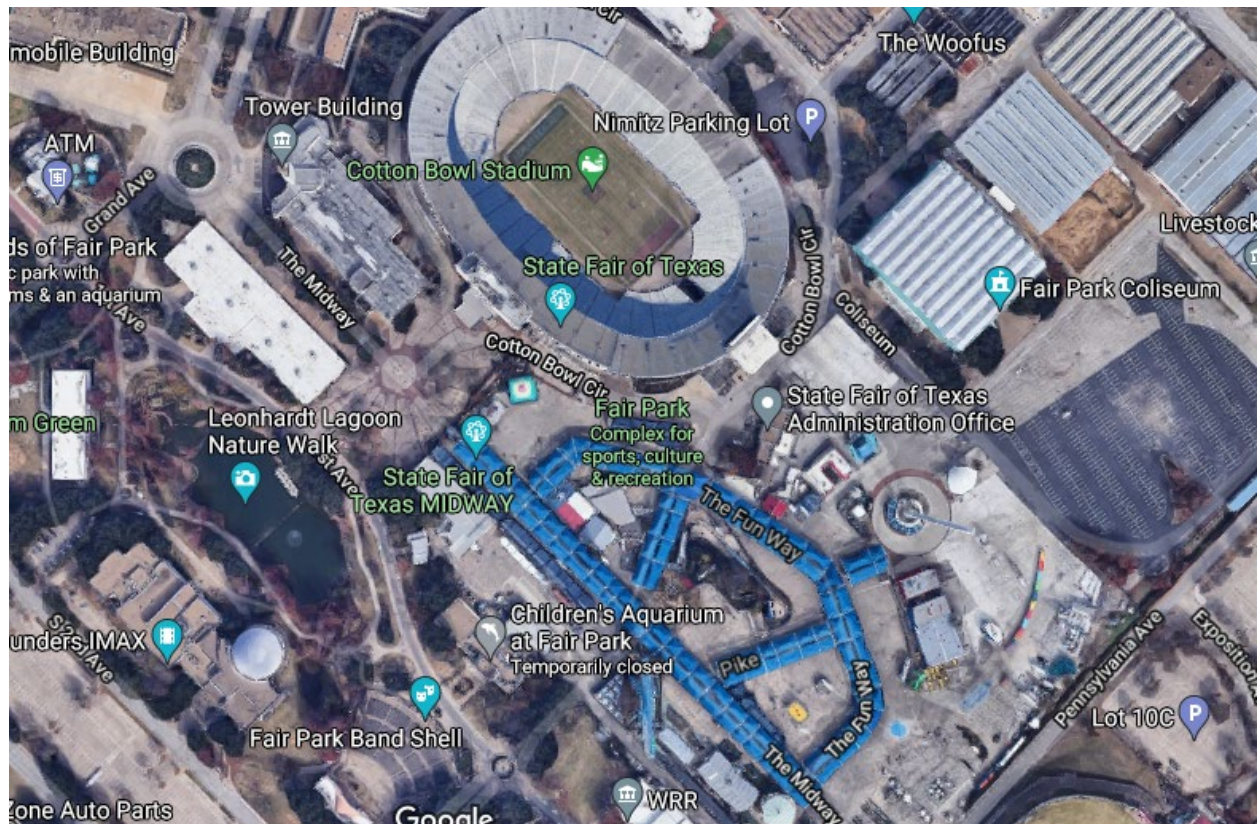
Date

Certificate of Appropriateness

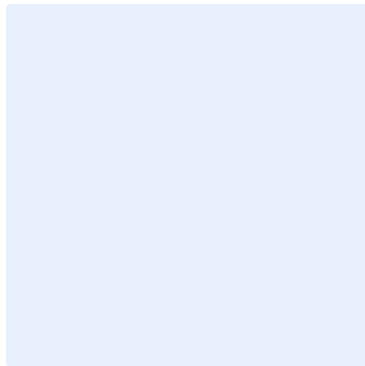
City of Dallas

Historic Preservation

Rev. 010220



Aerial image



Midway

NEON BIG TEX

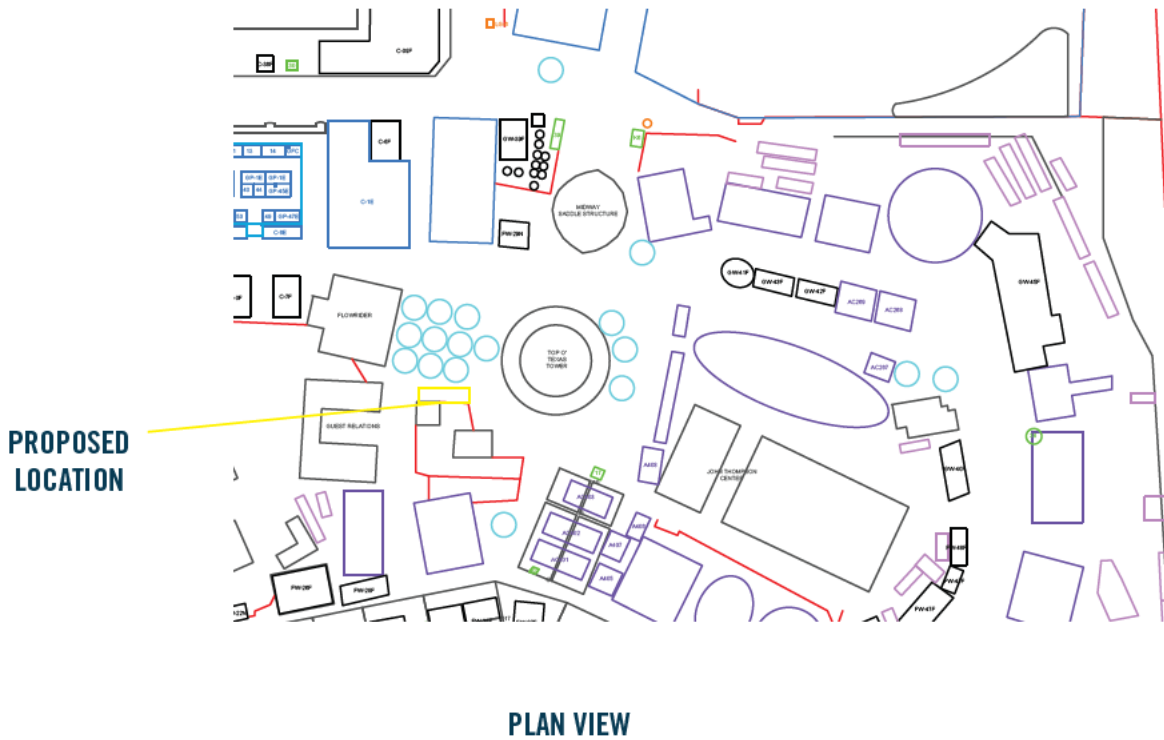
REQUEST FOR PERMANENT INSTALL ON MIDWAY

SUMMARY

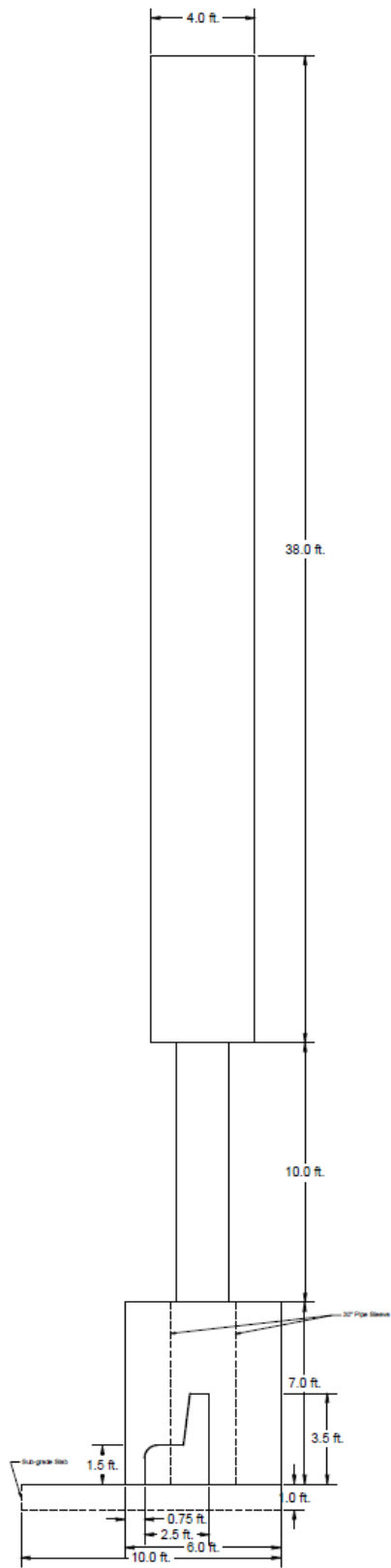
The State Fair of Texas is seeking approval to design and construct an appropriately-designed base and seating bench as a permanent structure to support the Fair's "Neon Big Tex" at Fair Park's Midway.

Neon Big Tex, also recognized throughout Dallas as the Centennial Cowboy, would become a permanent icon on the Fair's Midway and compliment the visual array of sight and light if this project is approved by the Landmark Commission.









SIDE ELEVATION



LOOKING EAST - AT SCALE



LOOKING WEST - AT SCALE

NEON BIG TEX

REQUEST FOR PERMANENT INSTALL ON MIDWAY

DESIGN PRECEDENT

Many of the seating and plinth elements within Fair Park you similar or identical design features. Examples provided below.



ESPLANADE



BIG TEX® CIRCLE



PARK-WIDE CENTENNIAL BENCHES





Walnut Hill location (Google Streetview, 2008)

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

6.2 Midway Subdistrict.

- a. Background information. Little, if any, known historic features remain in the Midway Subdistrict, but the spirit of the original continues to entertain during the State Fair of Texas. The character and function of the space was historically a very dense linear shopping street for pedestrians only, full of exhibit buildings, activity, bright lights and sounds, with a carnival atmosphere. A context plan and historic photographs are provided in Exhibit C7.
- b. Preservation criteria.
 1. Recreating the character and function of the historic Midway is encouraged.
 2. Year-round operation of the Midway is encouraged.
 3. The pedestrian street form and location of the historic Midway must be retained in any design.
 4. Connections between this subdistrict and the Civic Center Subdistrict and other areas of the district are encouraged.
 5. Stand-alone new construction is permitted. New construction must be appropriate and differentiated from other areas of the district.

- 9.2 All signs must be appropriate and comply with the provisions of the Dallas City Code, as amended. The Park and Recreation Department's approved signage criteria, while advisory, should be consulted to help determine appropriateness.

TASK FORCE RECOMMENDATION REPORT
FAIR PARK

DATE: 06-09-2021
TIME: 11:00 am
MEETING PLACE: Virtual Meeting

Applicant Name: State Fair of Texas
Address: 1505 Coliseum Drive
CA Request: 06-03-2021

RECOMMENDATION:

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Request additional images showing the view of the install from vantage points along Coliseum Drive and straight on from directly in front of the Coliseum, both during the Fair and when the Midway has been secured to understand visual impact.

Task force members present

<input checked="" type="checkbox"/> Ann Piper	<input type="checkbox"/> David Chase	<input type="checkbox"/> Jennifer Picquet-Reyes	<input checked="" type="checkbox"/> Nancy McCoy
<input type="checkbox"/> Bob Hilbun	<input type="checkbox"/> Dee Ann Hirsch	<input checked="" type="checkbox"/> Julia Rapport	
<input type="checkbox"/> Brian Luallen	<input type="checkbox"/> Gary Skotnicki	<input checked="" type="checkbox"/> Matt Wood	

Ex Officio staff members Present ☒ Jennifer Anderson

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Matt Wood

2nd: Ann Piper

Task Force members in favor: all present

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force *Matt Wood*

DATE 9 June 2021

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, with a staff briefing at a time to be determined at a later date.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

**LANDMARK COMMISSION****JULY 6, 2021**

FILE NUMBER: CA201-475(LC)
LOCATION: 2008-2010 Commerce Street
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 14
ZONING: PD-357 (Subdistrict 4)

PLANNER: Liz Casso
DATE FILED: June 3, 2021
DISTRICT: Harwood (H-48)
MAPSCO: 45-L
CENSUS TRACT: 0031.01

APPLICANT: DP Designs and Development LLC

REPRESENTATIVE: Daniel Parrish

OWNER: 2008 COMMERCE LLC

REQUEST: Install brick veneer over existing bulkheads on north facade.

BACKGROUND / HISTORY:

1. 2008-2010 Commerce Street is a two-story commercial structure, constructed circa 1921. This structure was listed as compatible when the Harwood Historic District formed in 1989, which was prior to the rehabilitation of the structure. It is listed as contributing to the Downtown Dallas National Register District, which was listed in 2006.
2. At the December 5, 2005 meeting of the Landmark Commission (LMC), a request for a Certificate of Appropriateness (CA) to repair the roof and rehabilitate the front, side and rear facades (CA056-016(JA)) was approved.
3. At the April 3, 2006 meeting of the LMC, a request for a CA to rehabilitate the front façade of the structure, including removal of paint, restoration of the original transom windows, and installation of new wood storefront doors and windows (CA056-185(JA)) was approved.

PROJECT DESCRIPTION:

The request is to install a brick veneer or thin brick over the granite clad bulkheads on the storefronts. The bulkhead is the solid wall space located below the storefront windows. The proposed brick would match the existing in size and color (see figure 10).

RELEVANT PRESERVATION CRITERIA:

Harwood Historic District (H-48), Ordinance No. 27421, Exhibit A

Section 3. Contributing Structures in Tract A & Tract C

3.1 Facades

a. *All facades of the contributing structures in this district are protected facades.*

b. *Reconstruction, renovation, or repair of opaque elements must employ materials similar to the original materials in texture, color, pattern, grain, and module size.*

3.2 Fenestration and Openings

a. *Original doors and windows and their openings must remain intact and be preserved and renovated whenever practical. Where replacement is proposed due to damage or structural deterioration, replacement doors and windows must express mullion size, light configuration, and material to match original doors and windows. Replacement of windows and doors which have been altered and no longer match the historic appearance is strongly recommended.*

b. *Except for purposes of eliminating a safety hazard, new door and window openings are permitted only in locations where there is evidence that original openings have been infilled with other material.*

c. *Glass and glazing must match original materials as near as practical. No tinted glass or reflective glazing is permitted.*

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

Standards for Rehabilitation

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property*

and its environment.

Guidelines for Rehabilitating Historic Buildings

Storefronts

Replacing

Recommended

Replacing in kind an entire storefront that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. If using the same kind of material is not feasible, then a compatible substitute material may be considered.

Not Recommended

Replacing a storefront feature when repair of the feature and limited replacement of deteriorated or missing components are feasible.

Using a substitute material for the replacement that does not convey the same appearance of the surviving components of the storefront or that is physically incompatible.

Designing the Replacement for Missing Historic Features

Recommended

Designing and installing a new storefront when the historic storefront is completely missing or has previously been replaced by one that is incompatible. It may be an accurate restoration based on documentary and physical evidence, but only when the historic storefront to be replaced coexisted with the features currently on the building. Or, it may be a new design that is compatible with the size, scale, material, and color of the historic building.

RELEVANT DALLAS CITY CODE:

Section 51A-4.501. Historic Overlay District

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(i) for contributing structures:

(aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*

(bb) *the proposed work will not have an adverse effect on the*

architectural features of the structure.

(cc) the proposed work will not have an adverse effect on the historic overlay district; and

(dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

ANALYSIS:

The original storefront windows and doors on 2008-2010 Commerce were significantly altered prior to the formation of the Harwood Historic District (see figure 11). The structure was rehabilitated in 2006-2007 including the return of a period storefront system. To date, there have been no historic photos found of this structure that shows what the original storefront system looked like. Only one original historic transom was uncovered and restored during the 2006-2007 rehabilitation project. Transoms to match the historic were replicated and installed across the front of the structure. The remainder of the storefront was designed to be period appropriate, including the granite clad bulkheads, because it was unknown what the remainder of the storefront had originally looked like.

Brick is an appropriate cladding material for the storefront bulkheads. Historically bulkheads were clad in brick, wood panels, cast stone, etc. There are several period examples of commercial storefronts in Dallas that have brick bulkheads (see figures 26 & 27). However, Staff has concerns with installing the brick veneer over the existing non-historic granite. Doing this would change the profile of the bulkheads and cause them to protrude from the structure, rather than be recessed within storefront bays which is most typical. Staff has discussed this matter with the applicant who is agreeable to removing the non-historic granite and installing the brick veneer so that the bulkheads remain recessed between the building edge and wood storefront frames.

The proposed work is consistent with the preservation criteria which states that renovation of opaque elements must employ materials similar to the original in texture, color, pattern, grain, and module size. The applicant has selected a brick that is similar to the original in texture, color and size. It will be installed in an appropriate manner. No historic fabric or features will be removed or impacted. Staff does not believe the proposed work will have a negative impact on the historic structure or historic district.

STAFF RECOMMENDATION:

Approve drawings and specifications dated 7/6/21 with the condition that the bulkheads must remain recessed from the building edge and existing wood storefront frames, with the finding the proposed work is consistent with preservation criteria Section 3.1(b) for facades, and meets the contributing standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Deny with prejudice because the proposed design is too contemporary and would have an adverse impact on the historic structures and district.

Note: This application was significantly modified to comply with the preservation criteria after the Task Force meeting based on their comments. The original application requested to replace all storefront doors, windows, transoms and bulkheads with new aluminum storefront systems.

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA _____ - _____ [_____]
Office Use Only

Name of Applicant: Daniel Parrish

Mailing Address : PO Box 681

City, State and Zip Code: Cedar Hill, TX 75106

Daytime Phone: 214-675-9175

Alternate Phone: _____

Relationship of Applicant to Owner : Designer

PROPERTY ADDRESS: 2008/2010 Commerce

Historic District: No. 48 Hardwood

OFFICE USE ONLY

Main Structure:

☐ Contributing

☐ Non-contributing

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Replace the storefront doors and windows on the first floor of the building. Restore the existing facade masonry.

Signature of Applicant:  Date: _____

Signature of Owner: _____ Date: _____

(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

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OTHER:

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☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please **do not** release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes ☐ No

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 061419

SUPPLEMENTARY INFORMATION

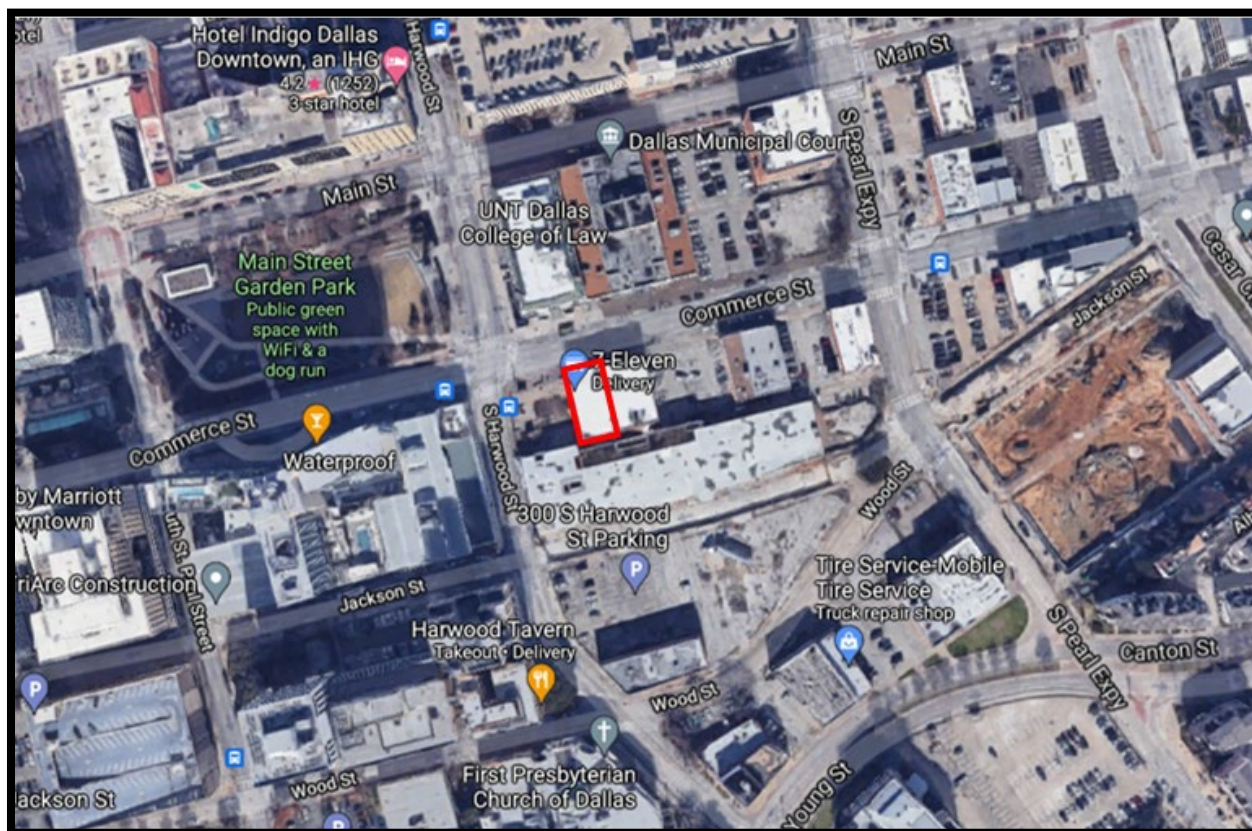


Figure 1 – Aerial view of the subject property (Google Maps, 2021)



Figure 2 – View of the subject property as seen from Commerce Street (Existing North Elevation)



Figure 3 – View of the subject property as seen from Commerce Street (Existing North Elevation)



Figure 4 – Streetscape and adjacent properties to the east



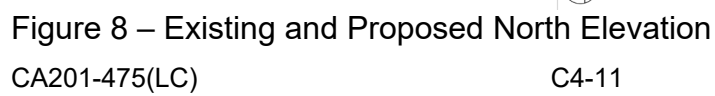
Figure 5 – Streetscape and adjacent properties to the east - Closeup



Figure 6 – Streetscape and adjacent property to the west



Figure 7 – Streetscape and adjacent property to the north



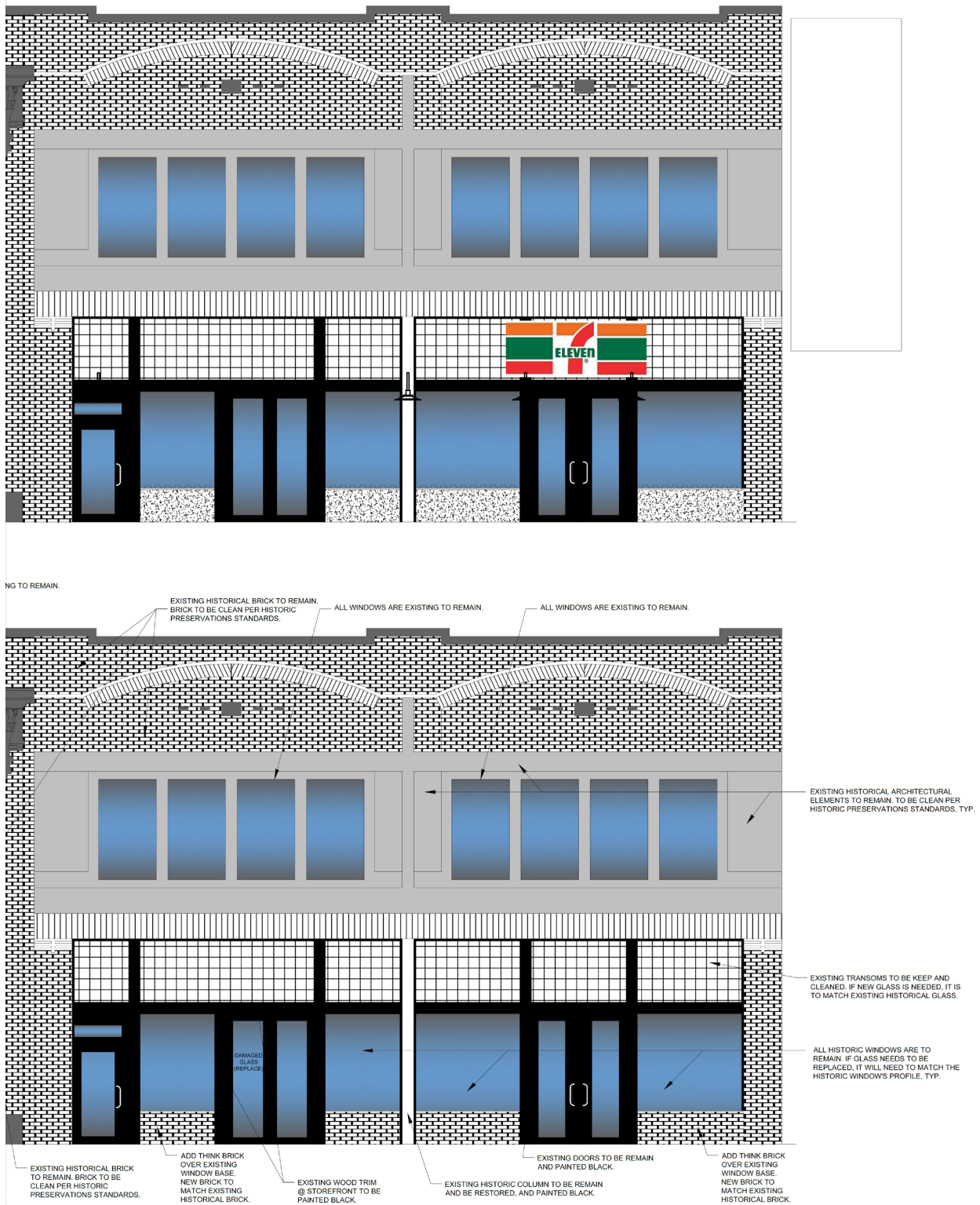


Figure 9 – Existing and Proposed North Elevation Close-up



Sahara Sands

Figure 10 – Proposed Brick Veneer/ Thin Brick from Endicott



Figure 11 – Structure Prior to 2006-2007 Rehabilitation

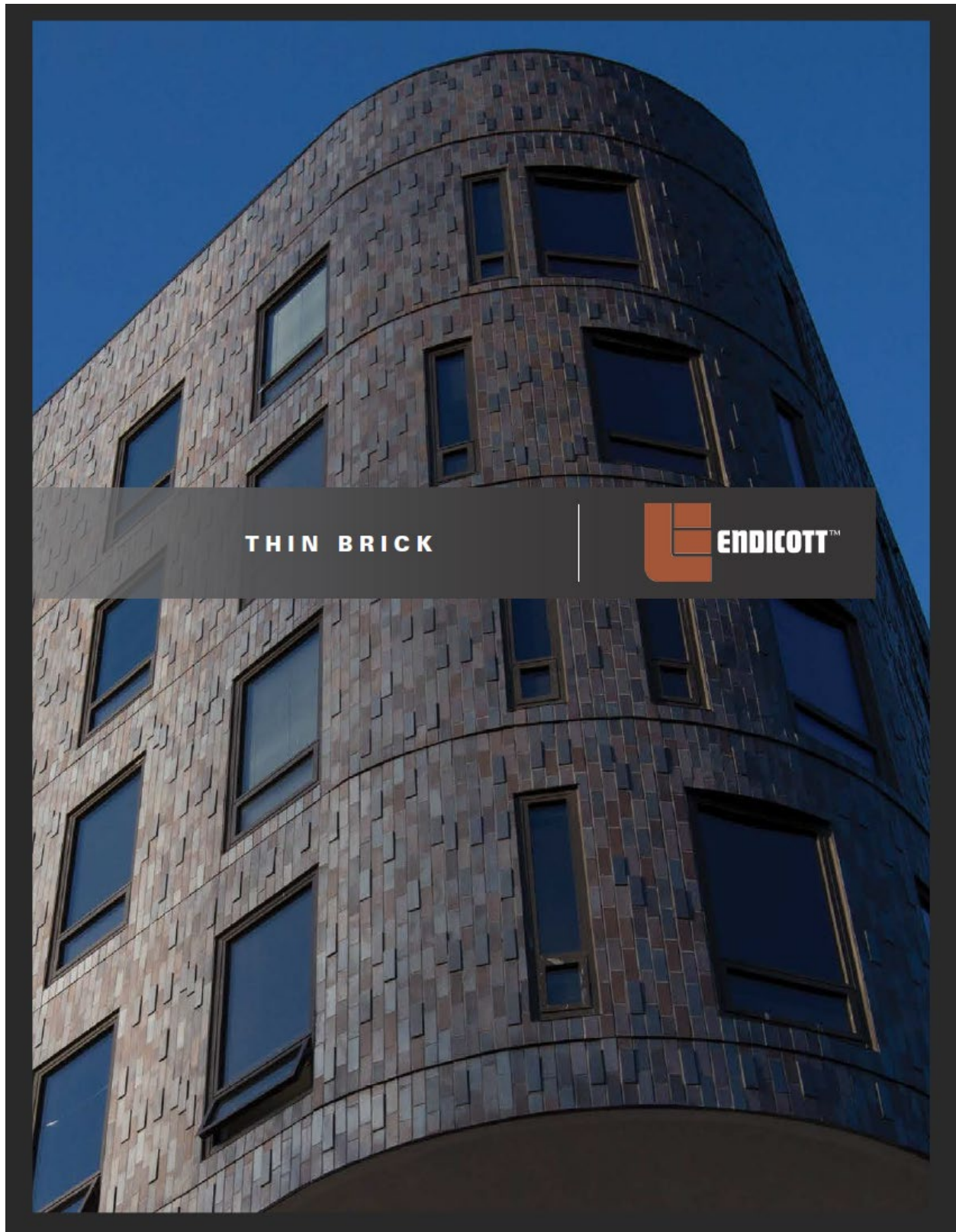


Figure 12 – Proposed Endicott Brick Veneer/ Thin Brick Brochure

**MAKE A DISTINCT ARCHITECTURAL
IMPACT WITH THIN BRICK**

Create and capture aesthetic beauty for any structure with Endicott thin brick. Choose from a variety of beautiful color options—including authentic ironspots—to intensify design impact. Ideally suited to year-round commercial, residential and remodeling applications, Endicott thin brick is the choice for precast, tilt-up, pre-fabricated wall, and job applied projects.

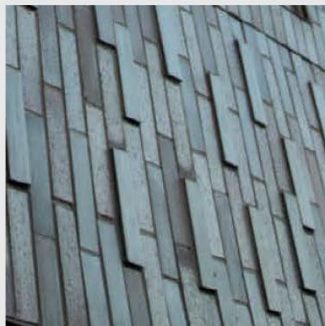


Figure 13 – Proposed Endicott Brick Veneer/ Thin Brick Brochure



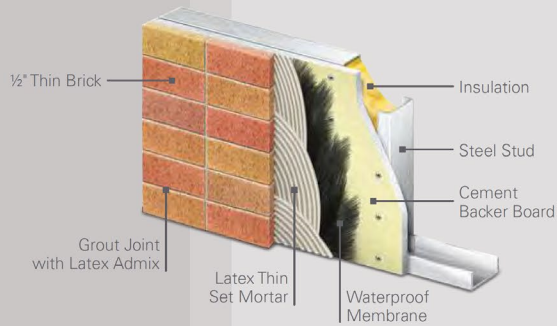
Figure 14 – Proposed Endicott Brick Veneer/ Thin Brick Brochure

THIN BRICK APPLICATIONS

Below, you'll see some of the more common application processes for thin brick.

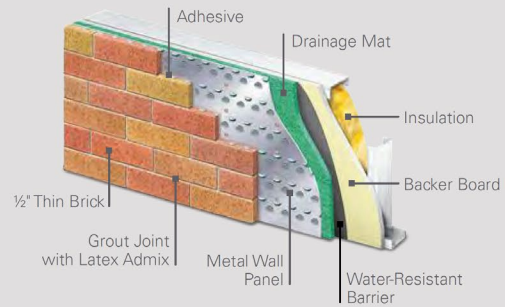
PANEL SYSTEM

Pre-Fabricated or On-Site Panelization



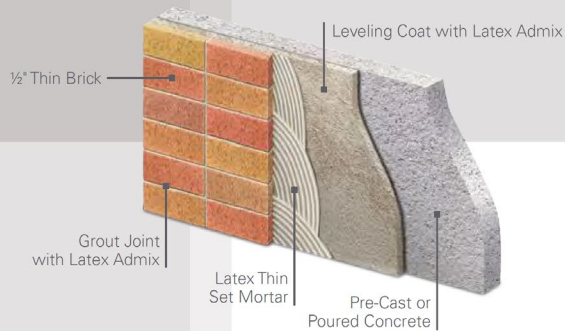
METAL PANEL WALL SYSTEM

Pre-Fabricated or On-Site Panelization



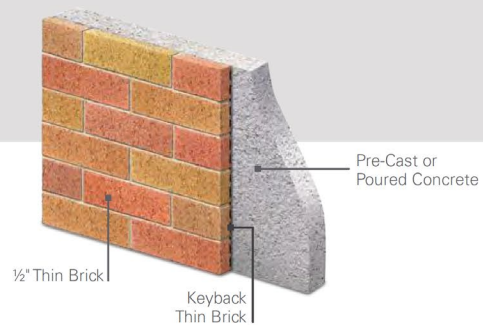
THIN BED SYSTEM WITH LEVELING COAT

Job Applied Over Pre-Cast or Poured in Place Concrete



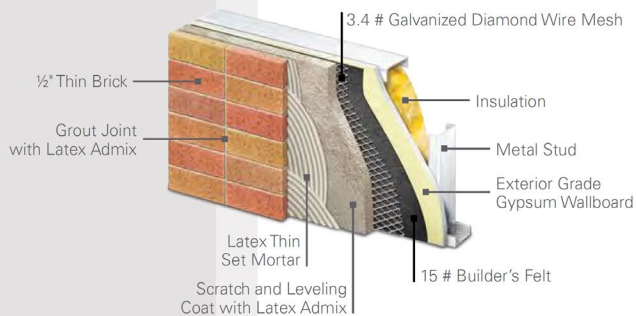
THIN BRICK SYSTEM

Embedded in Precast Concrete



MORTAR BED SYSTEM

Pre-Fabricated or On-Site Panelization



MORTAR BED SYSTEM

Concrete Block Infill Wall or Existing Masonry

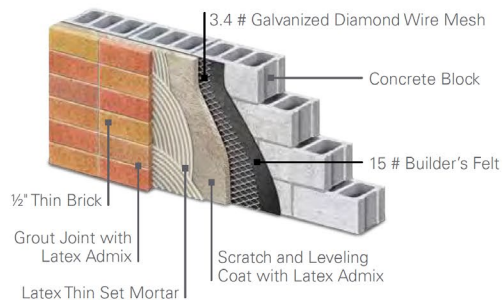


Figure 15 – Proposed Endicott Brick Veneer/ Thin Brick Brochure

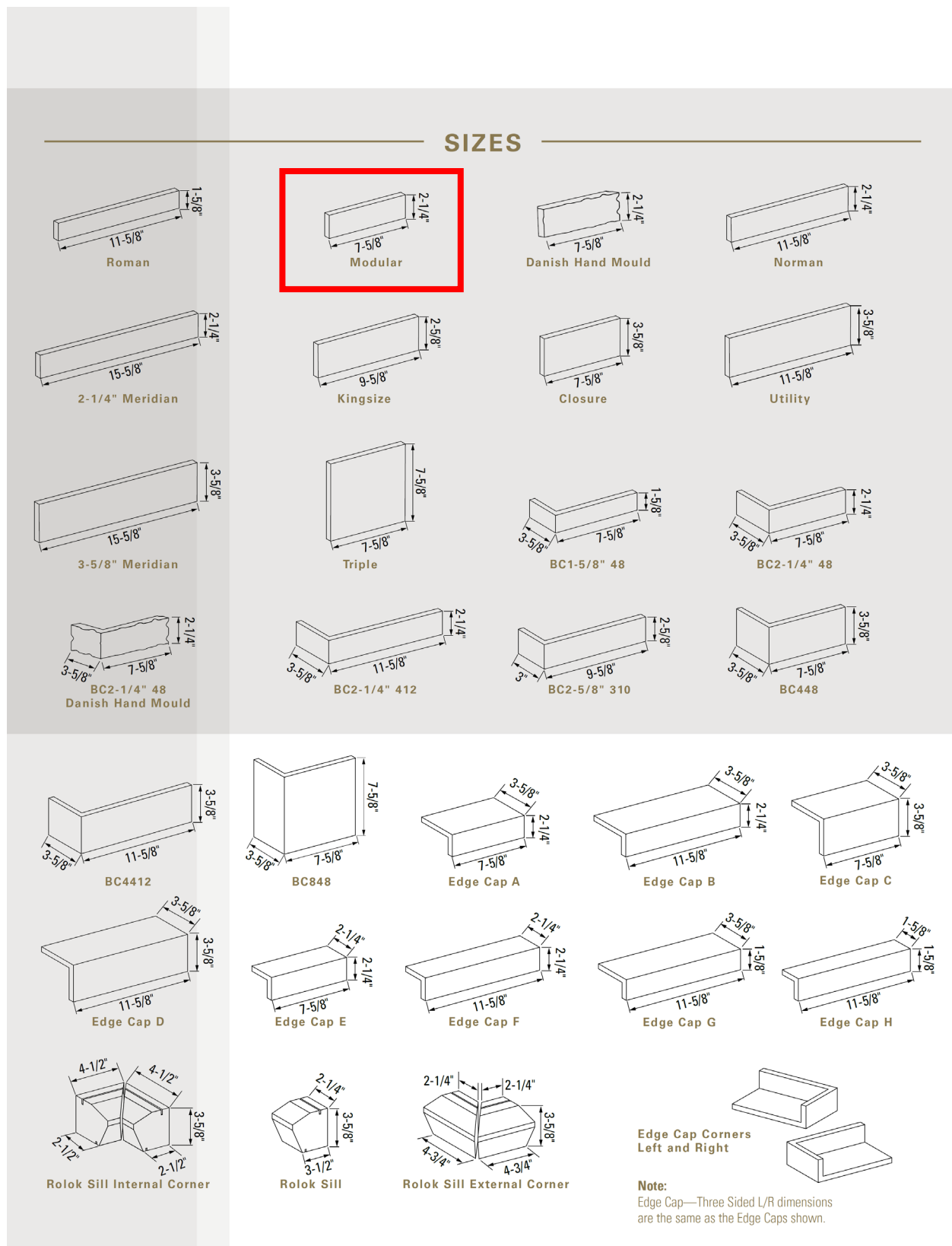


Figure 16 – Proposed Endicott Brick Veneer/ Thin Brick Brochure

THIN BRICK COLORS



Ivory Blend



Golden Buff



Light Grey Blend



Grey Blend



Light Sandstone



Dark Sandstone



Buff Blend

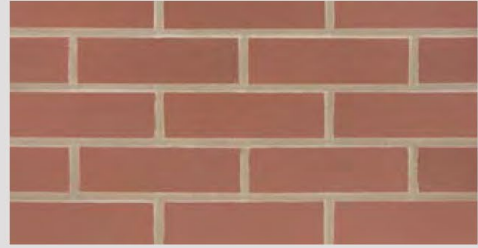


Rose Blend

Figure 17 – Proposed Endicott Brick Veneer/ Thin Brick Brochure
CA201-475(LC)



Red Blend



Burgundy Blend



Ruby Red



Red Ironspot



Desert Ironspot Light



Desert Ironspot Dark



Coppertone



Copper Canyon

Figure 18 – Proposed Endicott Brick Veneer/ Thin Brick Brochure
CA201-475(LC) C4-20

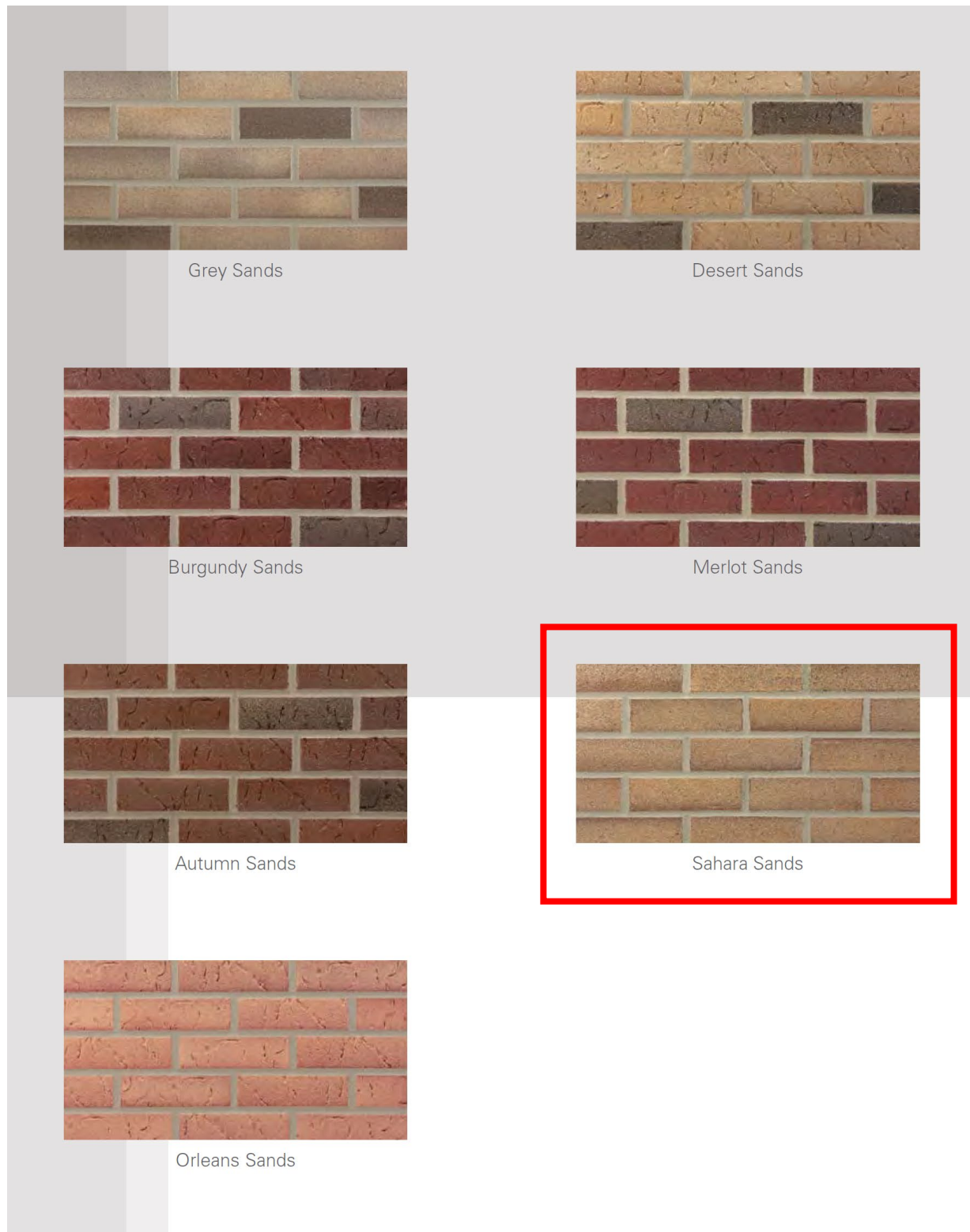


Figure 19 – Proposed Endicott Brick Veneer/ Thin Brick Brochure – Proposed brick highlighted above

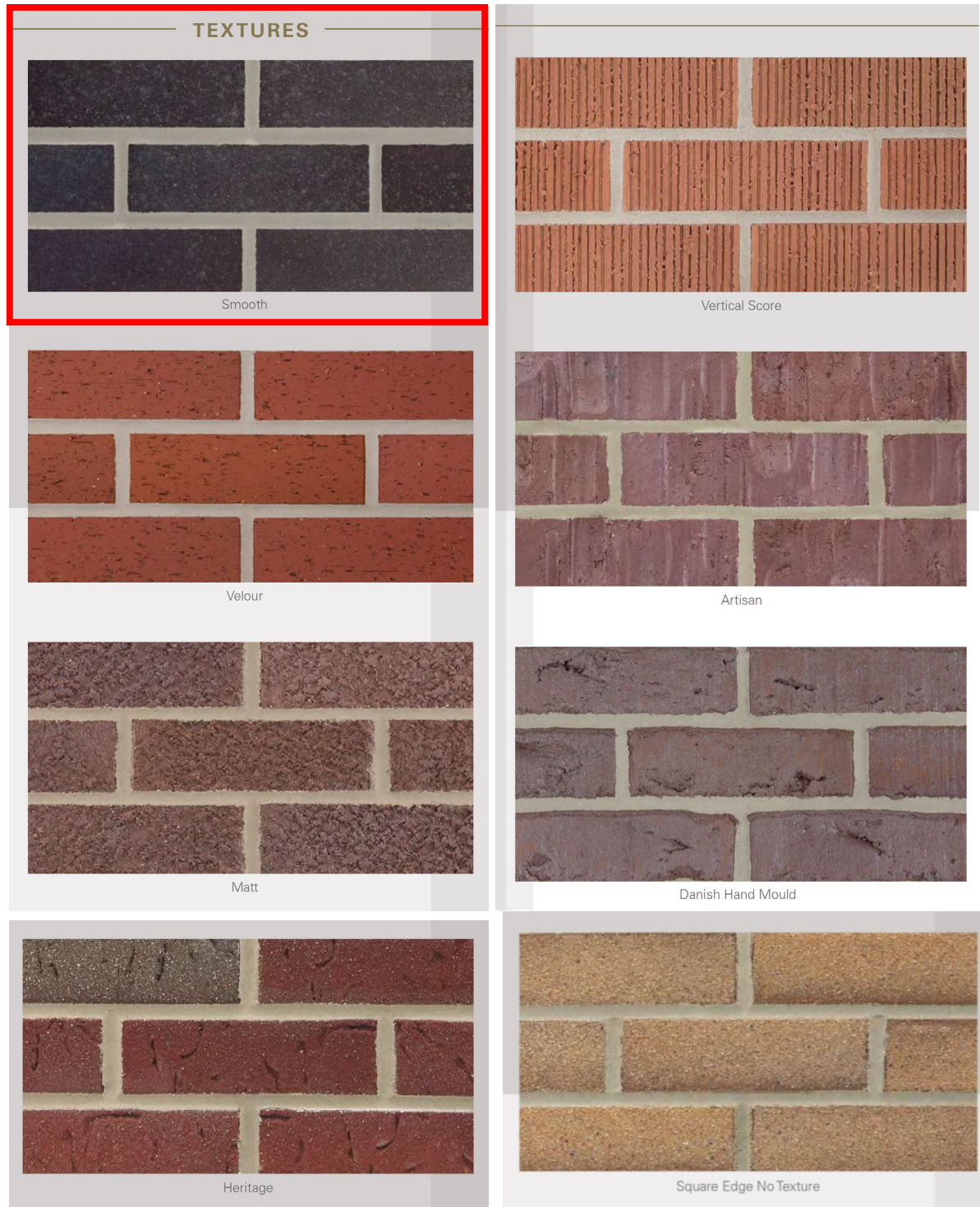


Figure 20 – Proposed Endicott Brick Veneer/ Thin Brick Brochure – proposed texture (to match existing) highlighted above



Sanford USD Medical Center

Color: Desert Ironspot Light, Desert Ironspot Dark, Coppertone, Golden Buff

Texture: Velour

Size: Modular

Location: Sioux Falls, SD

Figure 21 – Proposed Endicott Brick Veneer/ Thin Brick Brochure



Figure 22 – Proposed Endicott Brick Veneer/ Thin Brick Brochure

SWFA Outdoors

Color: Desert Ironspot Dark, Executive Ironspot, Golden Buff, Manganese Ironspot, Coppertone

Texture: Smooth, Velour

Size: Modular

Location: Midlothian, TX

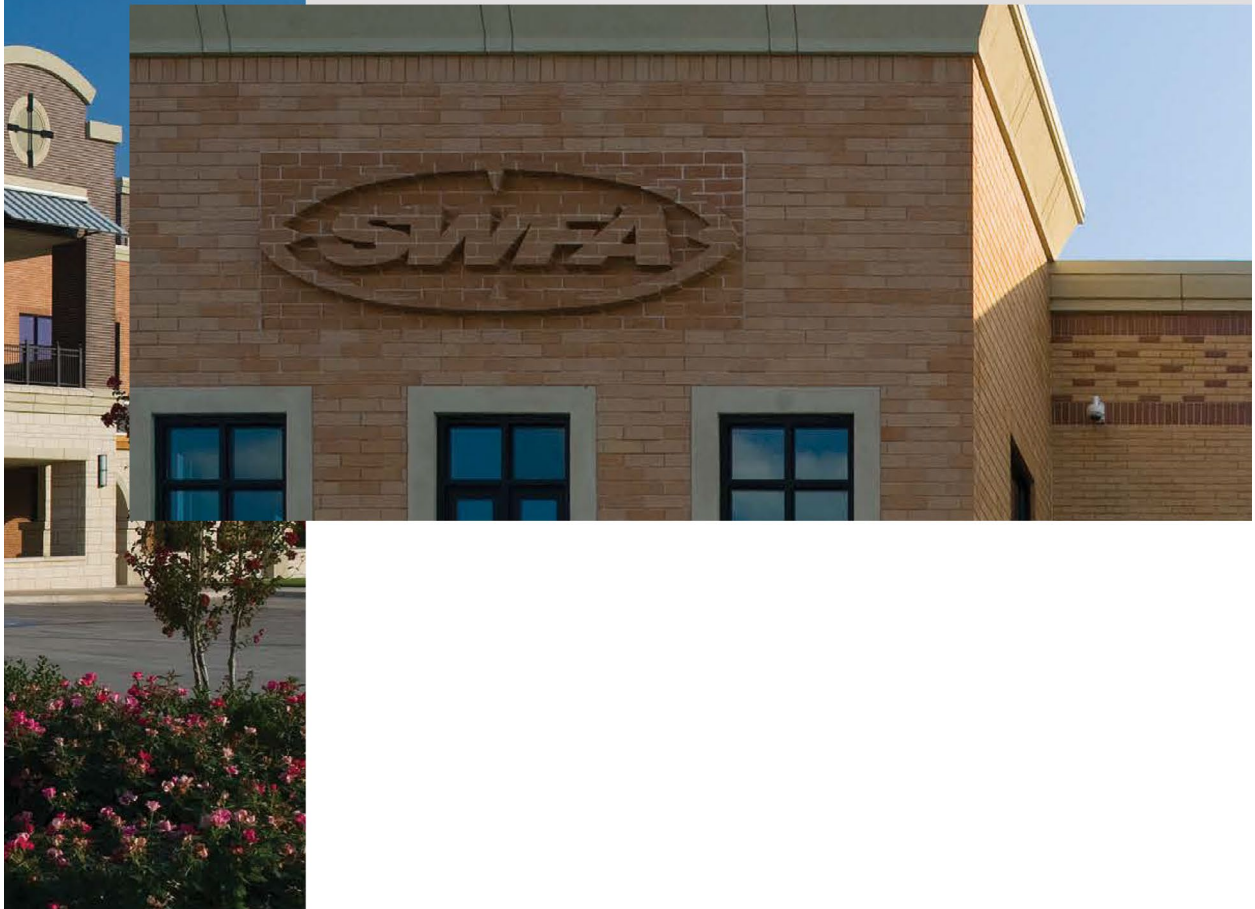


Figure 23 – Proposed Endicott Brick Veneer/ Thin Brick Brochure



Figure 24 – Proposed Endicott Brick Veneer/ Thin Brick Brochure

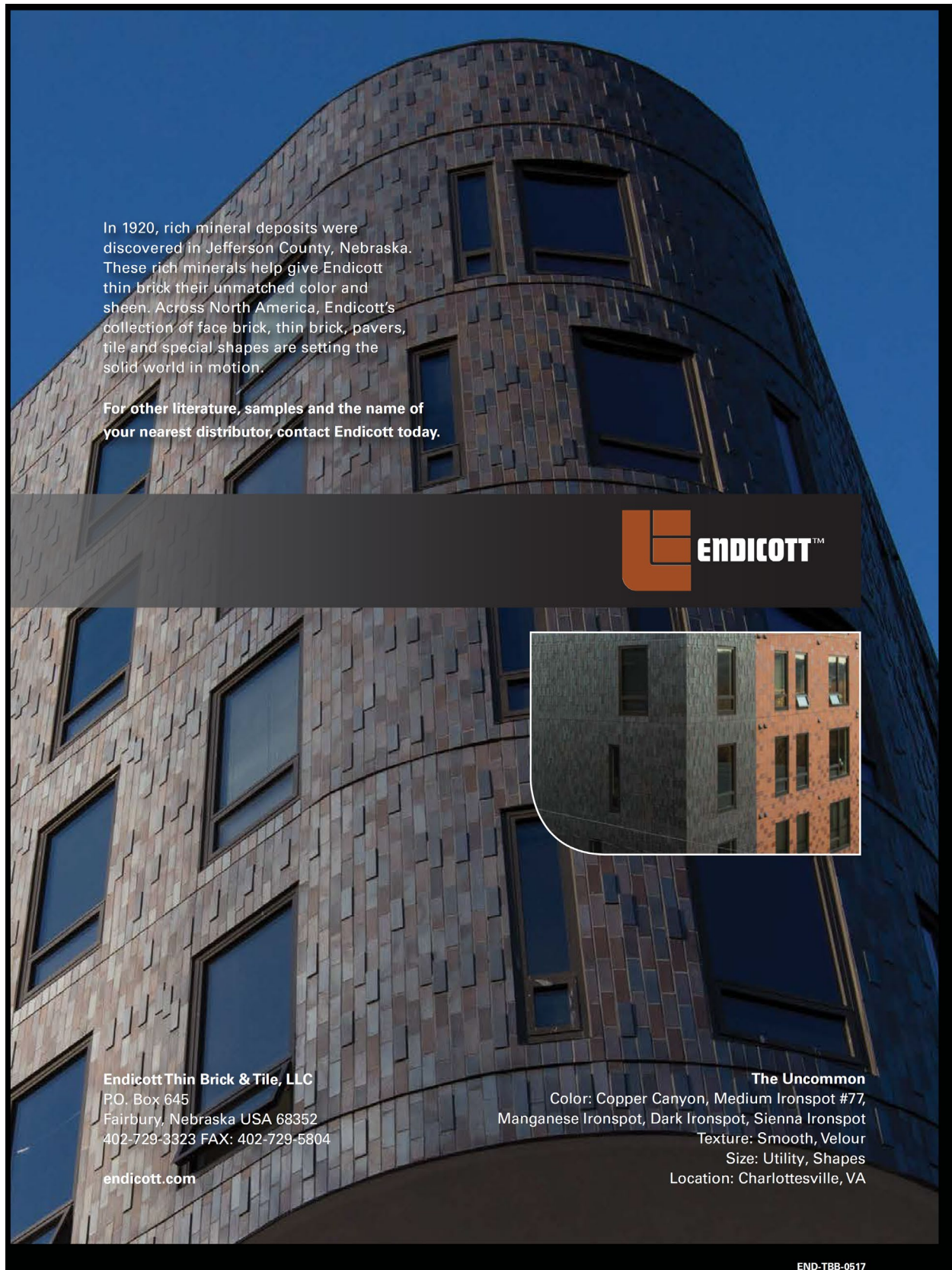


Figure 25 – Proposed Endicott Brick Veneer/ Thin Brick Brochure



2526 Elm Street



2939 Elm Street

Figure 26 – Example of Commercial Structure with Brick Bulkheads
CA201-475(LC) C4-28



3002 Commerce Street



2814 Main Street

Figure 27 – Examples of Commercial Structure with Brick Bulkheads

**LANDMARK COMMISSION****JULY 6, 2021**

FILE NUMBER: CA201-476(LC)
LOCATION: 2012-2014 Commerce Street
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 14
ZONING: PD-357 (Subdistrict 4)

PLANNER: Liz Casso
DATE FILED: June 3, 2021
DISTRICT: Harwood (H-48)
MAPSCO: 45-L
CENSUS TRACT: 0031.01

APPLICANT: DP Designs and Development LLC

REPRESENTATIVE: Daniel Parrish

OWNER: 2008 COMMERCE LLC

REQUEST: Modify storefront openings and install brick veneer over existing bulkheads on north façade.

BACKGROUND / HISTORY:

1. 2012-2014 Commerce Street is a two-story commercial structure, constructed circa 1921. This structure was listed as compatible when the Harwood Historic District formed in 1989, which was prior to the rehabilitation of the structure. It is listed as contributing to the Downtown Dallas National Register District, which was listed in 2006.
2. At the December 5, 2005, meeting of the Landmark Commission (LMC), a request for a Certificate of Appropriateness (CA) to repair the roof and rehabilitate the front, side and rear facades (CA056-017(JA)) was approved.
3. At the October 6, 2014, meeting of the LMC, a to install a flat attached sign (CA134-586(MD)) was approved.

PROJECT DESCRIPTION:

The existing front elevation consists of three storefront entries: paired doors in the center, and a single door on each side of the paired doors. The applicant is requesting to increase the storefront entries to four. The work would include reducing the central entry to one door with an adjacent storefront window. A new single door opening would also be installed just left of the central entry. The proposed doors would be wood doors to match the existing entry doors on the structure.

In addition, the applicant is requesting to install a brick veneer or thin brick over the granite clad bulkheads on the storefronts. The bulkhead is the solid wall space located below the storefront windows. The proposed brick would match the existing in size and color (see figure 10).

RELEVANT PRESERVATION CRITERIA:

Harwood Historic District (H-48), Ordinance No. 27421, Exhibit A

Section 3. Contributing Structures in Tract A & Tract C

3.1 Facades

a. *All facades of the contributing structures in this district are protected facades.*

b. *Reconstruction, renovation, or repair of opaque elements must employ materials similar to the original materials in texture, color, pattern, grain, and module size.*

3.2 Fenestration and Openings

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RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

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the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

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Guidelines for Rehabilitating Historic Buildings

Storefronts

Replacing

Recommended

Replacing in kind an entire storefront that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. If using the same kind of material is not feasible, then a compatible substitute material may be considered.

Not Recommended

Replacing a storefront feature when repair of the feature and limited replacement of deteriorated or missing components are feasible.

Using a substitute material for the replacement that does not convey the same appearance of the surviving components of the storefront or that is physically incompatible.

Designing the Replacement for Missing Historic Features

Recommended

Designing and installing a new storefront when the historic storefront is completely missing or has previously been replaced by one that is incompatible. It may be an accurate restoration based on documentary and physical evidence, but only when the historic storefront to be replaced coexisted with the features currently on the building. Or, it may be a new design that is compatible with the size, scale, material, and color of the historic building.

RELEVANT DALLAS CITY CODE:

Section 51A-4.501. Historic Overlay District

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

- (i) for contributing structures:
 - (aa) *the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.*
 - (bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*
 - (cc) *the proposed work will not have an adverse effect on the historic overlay district; and*
 - (dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*

ANALYSIS:

The original storefront windows and doors on 2012-2014 Commerce were significantly altered prior to the formation of the Harwood Historic District (see figure 11). The structure was rehabilitated in 2006-2007 including the return of a period storefront system. To date, there have been no historic photos found of this structure that shows what the original storefront system looked like. This structure was rehabilitated in conjunction with 2008-2010 Commerce Street. Between the two structures, only 2008-2010 Commerce retained any original historic fabric, which was one storefront transom. The transoms on 2012-2014 Commerce were designed to match the historic one uncovered on the adjacent building. The remainder of the storefront was designed to be period appropriate, including the granite clad bulkheads, because it was unknown what the storefront had originally looked like.

The preservation criteria states that new door and window openings are permitted only in locations where there is evidence that original openings have been infilled with other material. Prior to the 2006-2007 rehabilitation, there was a single door opening located just left of the central entrance where a new door opening is now being proposed (see figure 11 to see photo of original opening prior to rehabilitation and figure 9 for proposed new door location). In addition, the central entrance had consisted of a single aluminum frame door and sidelight. What has been proposed in this application is not too dissimilar to the previous opening configuration, though the proposed wood doors and windows are more appropriate to the period of the structure than the previous metal ones were. This proposed work is consistent with the preservation criteria for fenestration and openings. No historic fabric or features will be removed or impacted. Staff does not believe the proposed storefront door and window modifications will have a negative impact on the historic structure or historic district.

Brick is an appropriate cladding material for the storefront bulkheads. Historically bulkheads were clad in brick, wood panels, cast stone, etc. There are several period examples of commercial storefronts in Dallas that have brick bulkheads (see figures 22 & 23). However, Staff has concerns with installing the brick veneer over the existing non-

historic granite. Doing this would change the profile of the bulkheads and cause them to protrude from the structure, rather than be recessed within storefront bays which is most typical. Staff has discussed this matter with the applicant who is agreeable to removing the non-historic granite and installing the brick veneer so that the bulkheads remain recessed between the building edge and wood storefront frames. The proposed brick work is consistent with the preservation criteria which states that renovation of opaque elements must employ materials similar to the original in texture, color, pattern, grain, and module size. The applicant has selected a brick that is similar to the original in texture, color and size. It will be installed in an appropriate manner. No historic fabric or features will be removed or impacted. Staff does not believe the proposed work will have a negative impact on the historic structure or historic district.

STAFF RECOMMENDATION:

Approve drawings and specifications dated 7/6/21 with the condition that the bulkheads must remain recessed from the building edge and existing wood storefront frames, with the finding the proposed work is consistent with preservation criteria Section 3.1(b) for facades, Sections 3.2(a) and (b) for fenestration and openings, and meets the contributing standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Deny with prejudice because the proposed design is too contemporary and would have an adverse impact on the historic structures and district.

Note: This application was significantly modified to comply with the preservation criteria after the Task Force meeting based on their comments. The original application requested to replace all storefront doors, windows, transoms and bulkheads with new aluminum storefront systems.

Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA _____ - _____ [_____]
Office Use Only

Name of Applicant: Daniel Parrish

Mailing Address : PO Box 681

City, State and Zip Code: Cedar Hill, TX 75106

Daytime Phone: 214-675-9175

Alternate Phone: _____

Relationship of Applicant to Owner : Designer

PROPERTY ADDRESS: 2012/2014 Commerce

Historic District: No. 48 Hardwood

OFFICE USE ONLY

Main Structure:

____ Contributing

____ Non-contributing

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT write "see attached."**

Replace the storefront doors and windows on the first floor of the building. Restore the existing facade masonry.

Signature of Applicant:  Date: _____

Signature of Owner: _____ Date: _____
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please **do not** release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed ____ Yes ____ No

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 061419

SUPPLEMENTARY INFORMATION

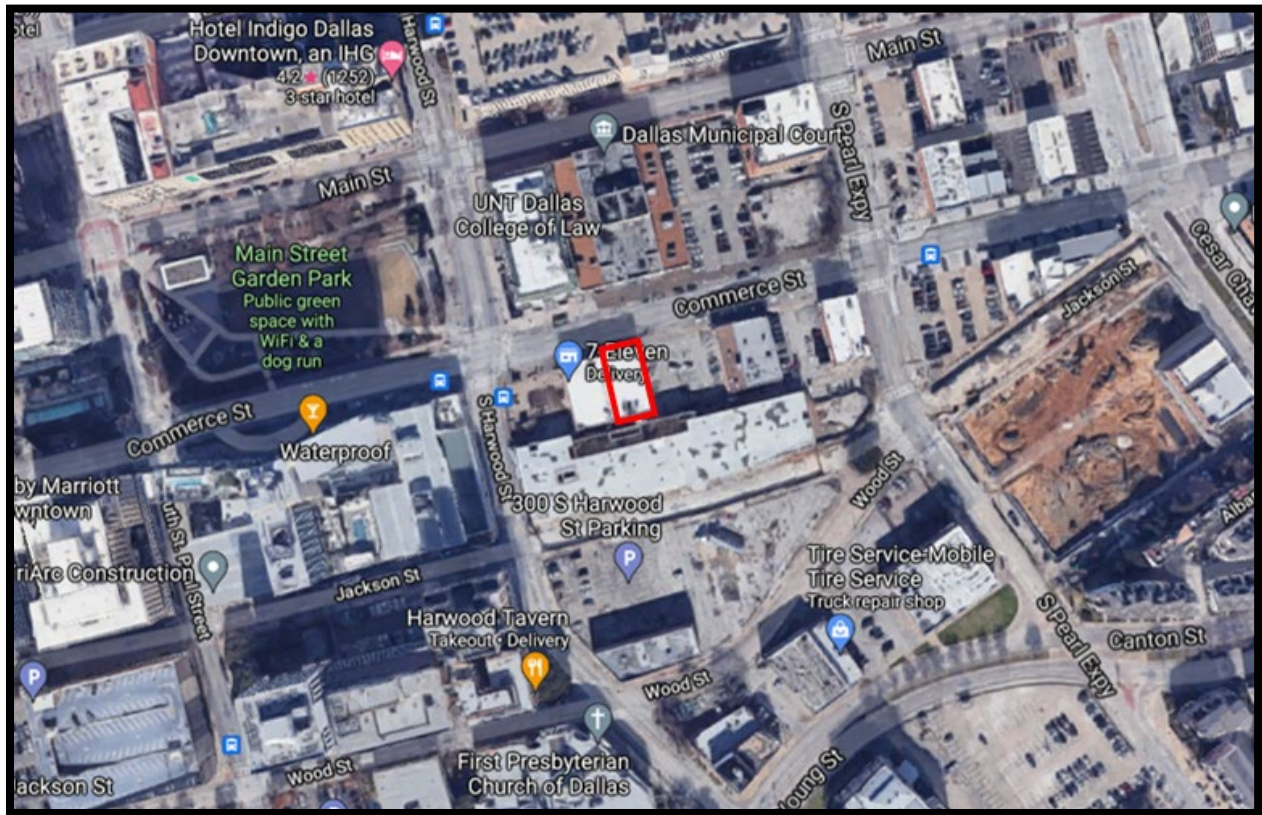


Figure 1 – Aerial view of the subject property (Google Maps, 2021)



Figure 2 – View of the subject property as seen from Commerce Street (Existing North Elevation)



Figure 3 – View of the subject property as seen from Commerce Street (Existing North Elevation)



Figure 4 – Streetscape and adjacent properties to the east



Figure 5 – Streetscape and adjacent properties to the east - Closeup

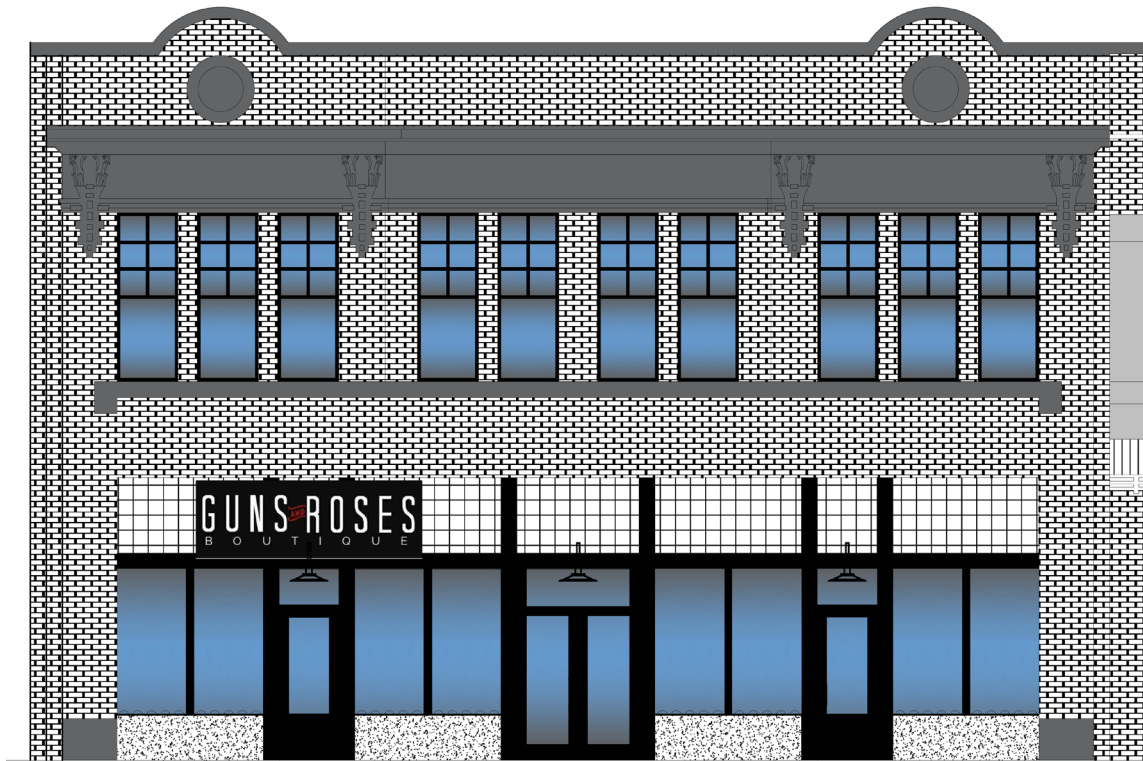


Figure 6 – Streetscape and adjacent property to the west



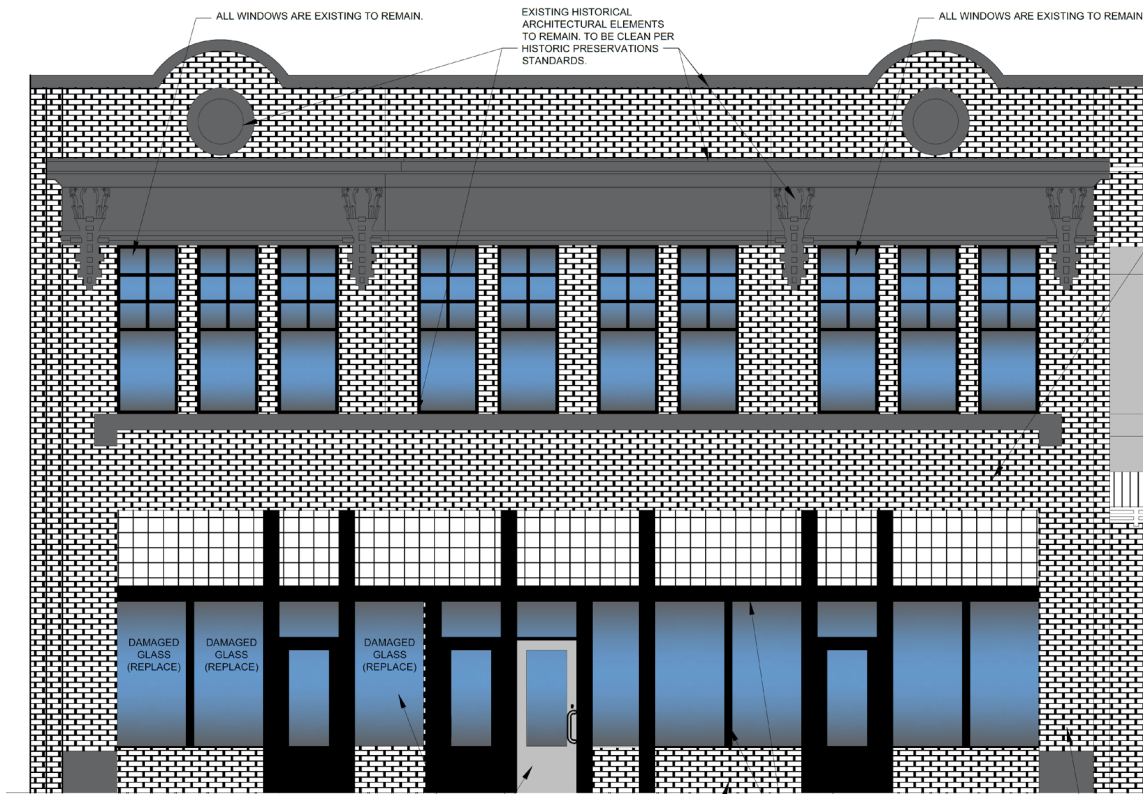
Figure 7 – Streetscape and adjacent property to the north





1 EXISTING ELEVATION

A4.0 SCALE: 3/16" = 1'-0"



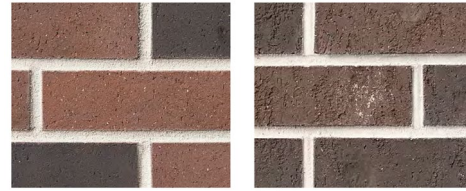
2 PROPOSED ELEVATION

A4.0 SCALE: 3/16" = 1'-0"

Figure 9 – Existing and Proposed North Elevation Close-up
CA201-476(LC) C5-12

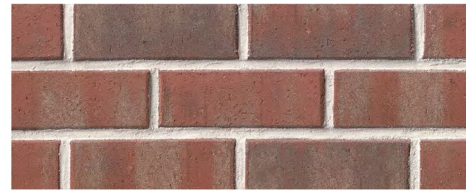


Old Guilford (*3/4" thickness)



Arenac

Charlevoix



Colony Bay

Figure 10 – Proposed Brick Veneer/ Thin Brick from Meridian Brick (a mix of different colored brick is needed to match existing)



Figure 11 – Structure Prior to 2006-2007 Rehabilitation

Real **Brick**. Real **Thin**. Right **There**.



manufactured by
MERIDIAN®
BRICK

Figure 12 – Proposed Meridian Brick Veneer/ Thin Brick Brochure
CA201-476(LC) C5-14



THE BRICK AUTHORITY
BE BOLD. BE BRICK.
**MERIDIAN
BRICK**
CANADA • UNITED STATES

Pictured: Riverbend (made-to-order)
Cover: Old Williamsburg



Get the skinny on the new face of genuine clay brick.

You've never seen or worked with a brick quite like this before. Authentic Brick by Meridian® Brick is the exciting new way to transform your home or business in ways you never thought possible.

Wow. That was easy.

Homeowners like Authentic Brick for the warm, comforting colors and eye-pleasing textures it brings to any room in the house. But what you'll really love is the ease of installation. Authentic Brick is made from real fired clay brick, yet it's also light and versatile. It can be easily installed on virtually any existing wall surface. With Authentic Brick, you can transform any space into a cool new look or accent that will leave you asking: "Why didn't I do this sooner?"

Endless possibilities.

From man caves and wine cellars to kitchens and outdoor patios, Authentic Brick is made to revitalize and renovate your rooms like no other product. It's real thin brick that makes a real difference, right there where you need it.



Interior Adhesive Installation



manufactured by
**MERIDIAN®
BRICK**

Real Brick. Real Thin. Right There.

Figure 13 – Proposed Meridian Brick Veneer/ Thin Brick Brochure



Features & Benefits

REMEMBER WHEN BRICK WAS CONSIDERED HEAVY AND CUMBERSOME? Not anymore. Today, thin is in. Especially if you want to achieve the rich aesthetics of real clay brick – without having to worry about any downside. Brick has changed. Have you? Here's a whole house full of reasons to consider Authentic Brick for your next project.

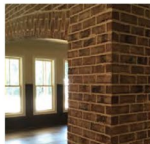


Cottonwood

LIGHTWEIGHT – Install on nearly any sound structural interior/exterior surface. It's 3" thinner and 70% lighter than dimensional brick.



Port Huron



Coastal Bluff

ENVIRONMENTALLY FRIENDLY – Manufactured from natural materials and free of volatile compounds for your health and comfort.

MATCHING FULL BRICK – Love your Authentic Brick but want to go old school? Ask us about using it as full dimension brick.



Port Huron

EASY TO INSTALL – Unlike full bed brick, applying thin brick to a substrate can be a do-it-yourself project or installed by experienced trades people.

MADE FROM REAL FIRED CLAY BRICK – Crafted from classic materials for an authentic appearance – just thinner.

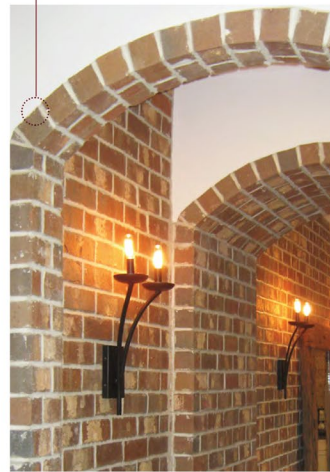
VERSATILE – Add the warmth and sophistication of real clay brick to any new construction or renovation, inside or out, residential or commercial.



Old Estate



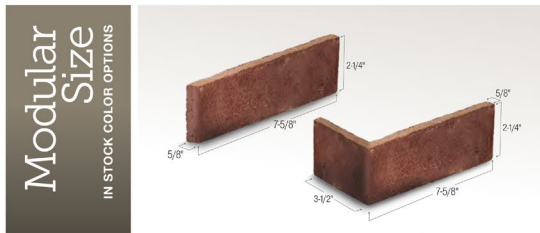
CHOICES. CHOICES. CHOICES. Authentic Brick offers 39 colors in stock and ready to ship to you – we also offer hundreds of made-to-order choices. Contact us for availability.



Old Williamsburg



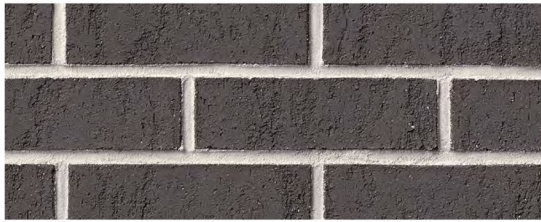
Figure 14 – Proposed Meridian Brick Veneer/ Thin Brick Brochure



Grand River



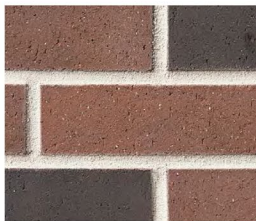
Hemlock



Amaro



Meadowbrook



Arenac



Charlevoix



Colony Bay



Swan Creek

Figure 15 – Proposed Meridian Brick Veneer/ Thin Brick Brochure

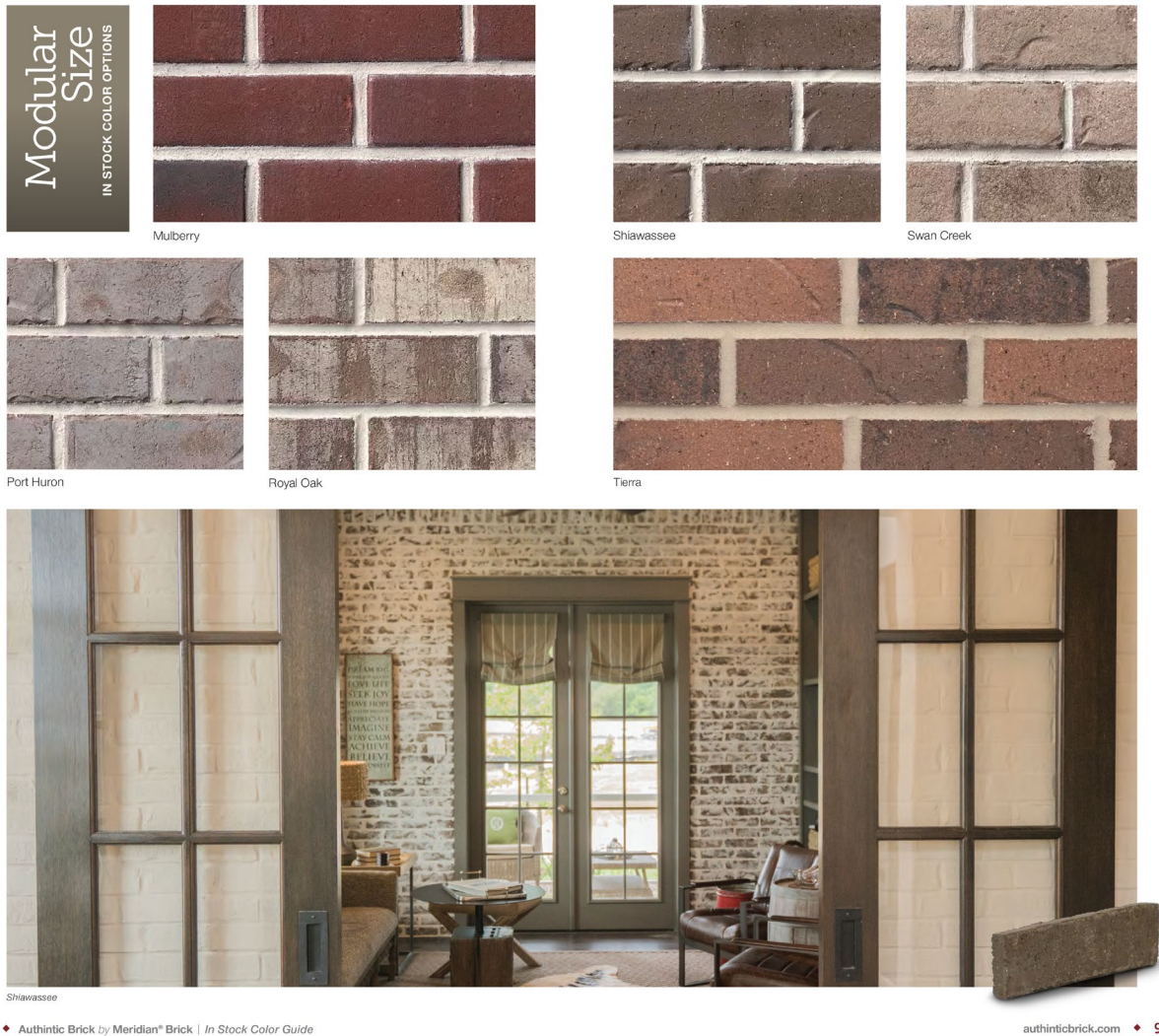


Figure 16 – Proposed Meridian Brick Veneer/ Thin Brick Brochure

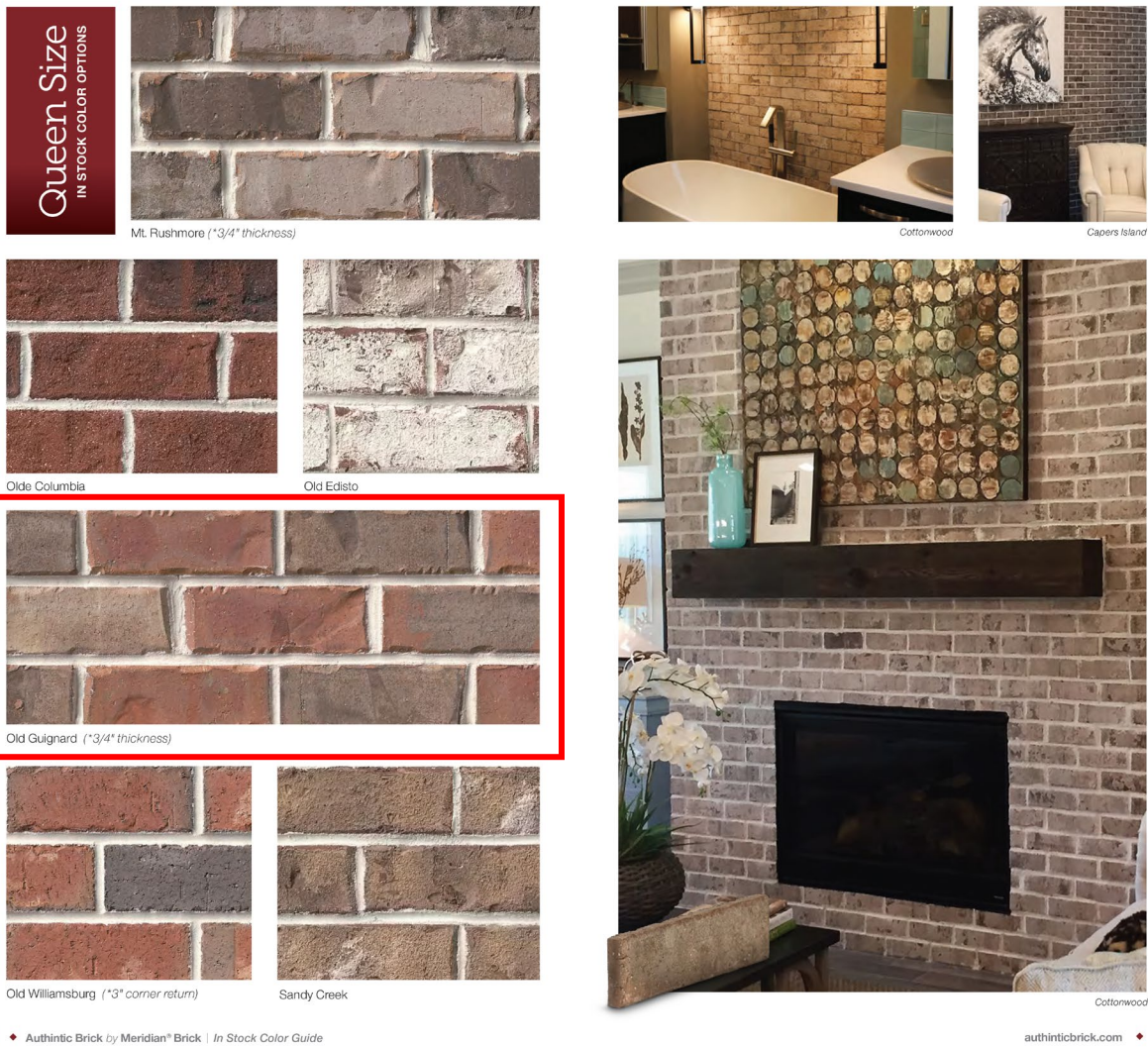


Figure 17 – Proposed Meridian Brick Veneer/ Thin Brick Brochure – Proposed brick highlighted above

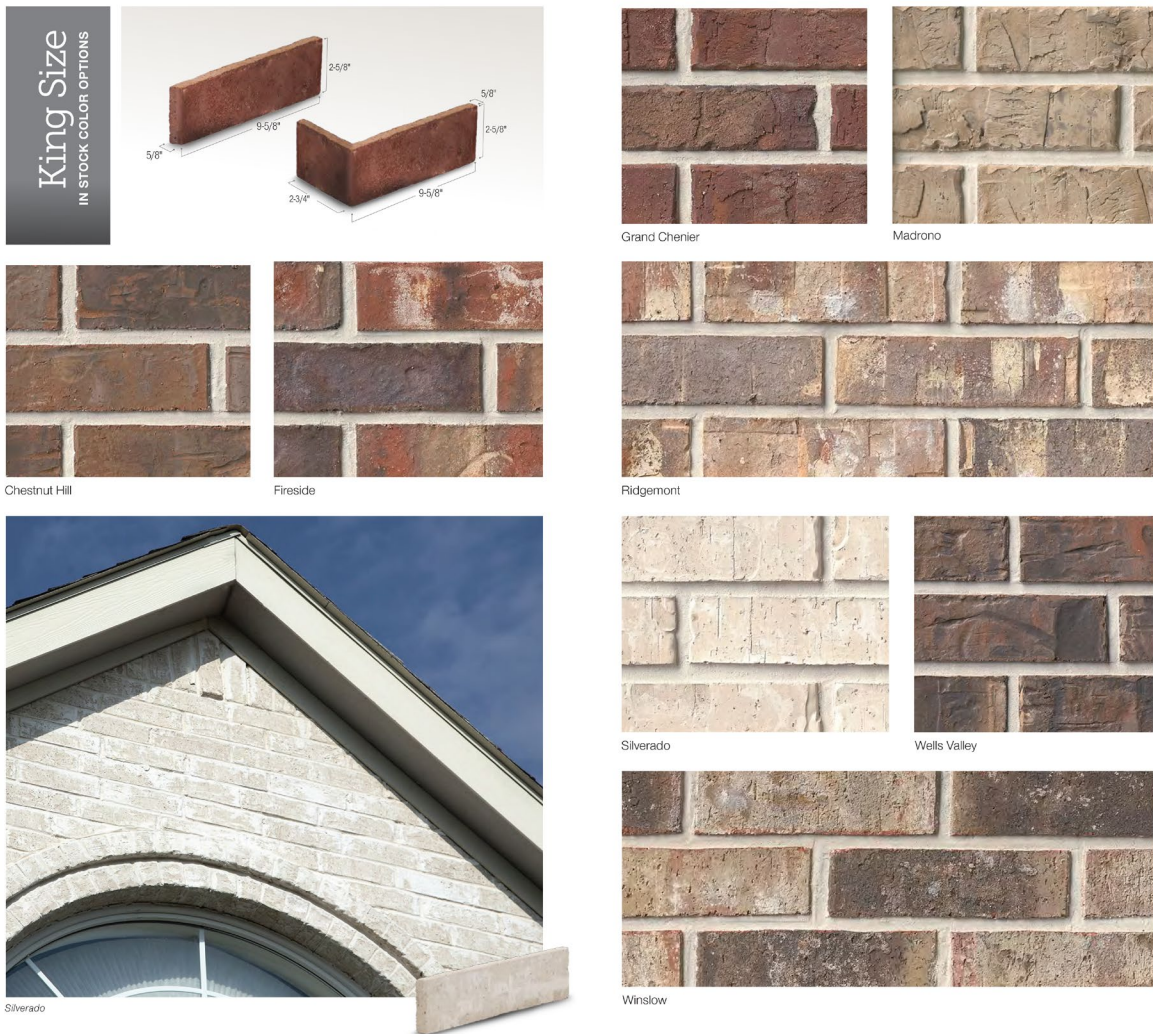


Figure 18 – Proposed Meridian Brick Veneer/ Thin Brick Brochure



Commercial Uses

WHAT MAKES AUTHENTIC BRICK THE IDEAL BRICK IN COMMERCIAL APPLICATIONS?

For starters, consider what it takes away. It's lightweight. It eliminates the need for shelf angles, steel lintels and foundation support – so your structural requirements are reduced. Authentic Brick can be installed virtually anywhere you want the warm and rich look of genuine brick without the worry of having a structure to support the weight of typical full sized clay brick.

Now consider what it adds. Thin brick is thinner so you end up with more usable floor or green space. The lighter weight gives you more design freedom – including easily mixing with other façades – while still meeting the new energy codes for continuous insulation. You'll also benefit from efficient, year-round installation and the ease to remove for future renovation. This is a brick you're sure to love working with.



Old Williamsburg

EXTERIOR CLADDING SOLUTION FOR ALL BUILDING TYPES

RESTAURANT INTERIOR AND EXTERIOR

TILT-UP CONCRETE PANEL PROJECTS

PRE-ENGINEERED METAL SUPPORT SYSTEMS

PROJECTS THAT REQUIRE CONTINUOUS INSULATION

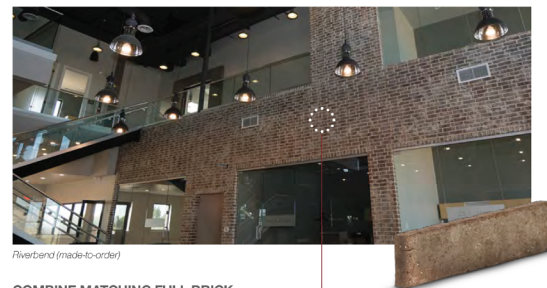
PROJECTS WITH HIGH SEISMIC REQUIREMENTS

LOBBY, RECEPTION DESK AND OTHER CUSTOMER GREETING AREAS

PRECAST CONCRETE FAÇADE SOLUTIONS



Old Williamsburg (in stock) and Waverly Mills (made-to-order)



Riverbend (made-to-order)

COMBINE MATCHING FULL BRICK AND THIN BRICK

OUTDOOR EATING SPACES

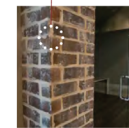


Riverbend (made-to-order)

HARDSCAPE AND SIGNAGE STRUCTURES

INTERIOR APPLICATION TO MATCH EXTERIOR MASONRY

INTERIOR AND EXTERIOR RETAIL BRANDING



Riverbend (made-to-order)

Figure 19 – Proposed Meridian Brick Veneer/ Thin Brick Brochure

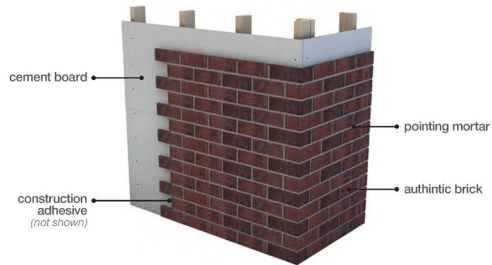


Installation Options

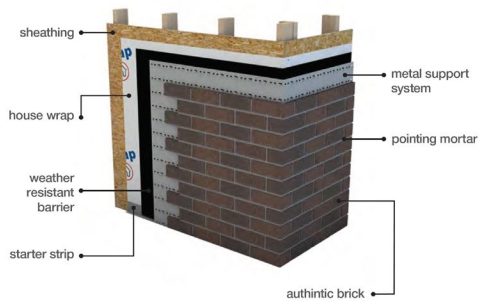
For more information on which method is best suited for your project, visit authenticbrick.com.

Interior Adhesive Method

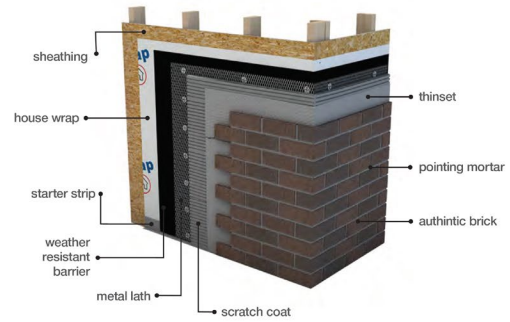
(DIY friendly!)



Metal Support System



Thickset Method



Thinset Method

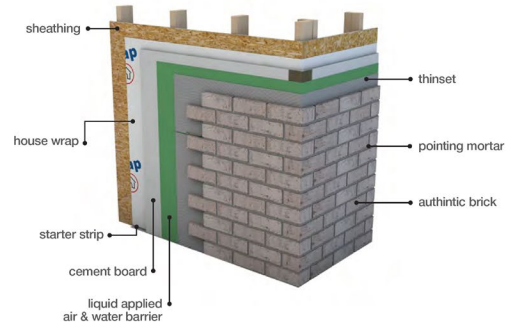


Figure 20 – Proposed Meridian Brick Veneer/ Thin Brick Brochure



Get the skinny.

For more information, to see more options or to discuss your next project, give us a call at **866-259-6263** or visit **authenticbrick.com**

Be Bold. Be Brick.™

Pictured: Riverbend (made-to-order)

Please note: This literature is intended to generally show the color range of the featured product. Using print and photography, it is impossible to show all colors, percentages of colors, texture and the harmless imperfections that may be contained in thousands of brick. Brick from different runs may vary slightly in color range and texture.

© Meridian Brick LLC - 0418
MBABPG02-0418



manufactured by
**MERIDIAN®
BRICK**

Figure 21 – Proposed Meridian Brick Veneer/ Thin Brick Brochure
CA201-476(LC) C5-23



2526 Elm Street



2939 Elm Street

Figure 22 – Example of Commercial Structure with Brick Bulkheads
CA201-476(LC) C5-24



3002 Commerce Street



2814 Main Street

Figure 23 – Examples of Commercial Structure with Brick Bulkheads



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-496(JKA)
LOCATION: 5807 Reiger Avenue
STRUCTURE: Accessory, Non-Contributing
COUNCIL DISTRICT: 14
ZONING: 397

PLANNER: Jennifer Anderson
DATE FILED: June 3, 2021
DISTRICT: Junius Heights
MAPSCO: 46-C
CENSUS TRACT: 0013.01

APPLICANT: Katie Conklin

OWNER: CONKLIN KATIE

REQUEST(S): Construct accessory structure.

BACKGROUND / HISTORY: The accessory structure was originally reviewed and approved by Landmark Commission in April 2021.

PROJECT DESCRIPTION: The applicant has revised the footprint and location of the approved 599 sq. ft. accessory structure. All exterior details are the same as previously approved.

RELEVANT PRESERVATION CRITERIA:

Accessory structures – Section 9.2 and 9.6

Must be compatible with the scale, shape, roof form, materials, detailing, and color of the main building (9.2). The eave height of the accessory structure cannot be higher than the eave height on the main building (9.6).

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES

Standards for Rehabilitation

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

ANALYSIS: The accessory structure is proposed to be two stories tall and 600 square feet which is the maximum size allowed for an accessory structure in Junius Heights. The

eave height on the main structure and the proposed accessory structure is 19 feet, while the roof height of the accessory structure will be 6 inches less than the main structure at 22 ½ feet. All setbacks are compliant with those required in the preservation criteria. It will be partially visible from the public right-of-way. The scale, shape, roof form and #117 siding are compatible with the main structure, and the windows are proposed to be wood. The rafter tails, wall trim, window trim, and paint color will match the existing details as noted on page A105 of the drawing set. The accessory structure will be partially visible from the public right-of-way (please see page 11 of this report), but is set back into the rear yard and partially screened by a wood privacy fence so it will have a minor effect on the historic overlay district.

STAFF RECOMMENDATION(S): Construct accessory structure – Approve drawings dated 7/6/2021 with the finding that the work is consistent with preservation criteria Sections 9.1 through 9.9 and meets the standards in City Code section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION(S): Construct accessory structure – Approve with Conditions of 1) need pitch of roof 2) need measurements of height of eaves 3) wall rafter trim to match that on house.

Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA _____ - _____ ()
Office Use Only

Name of Applicant: Katelyn Conklin
Mailing Address : 2346 Fenestra Drive
City, State and Zip Code: Dallas, TX 75228
Daytime Phone: 717-713-5017 Alternate Phone: _____
Relationship of Applicant to Owner : Owner

OFFICE USE ONLY

Main Structure:
____ Contributing
____ Non-contributing

PROPERTY ADDRESS: 5807 Reiger Ave
Historic District: Junius Heights

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT write "see attached."**

2 STORY NEW CONSTRUCTION GARAGE ACCESSORY STRUCTURE

Signature of Applicant: K. CONKLIN Date: 06.02.2021
Signature of Owner: _____ Date: _____
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

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OTHER:

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Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ APPROVED. Please release the building permit.
☐ APPROVED WITH CONDITIONS. Please release the building permit in accordance with any conditions.
☐ DENIED. Please do not release the building permit or allow work.
☐ DENIED WITHOUT PREJUDICE. Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ____ Yes ____ No

Office of Historic Preservation

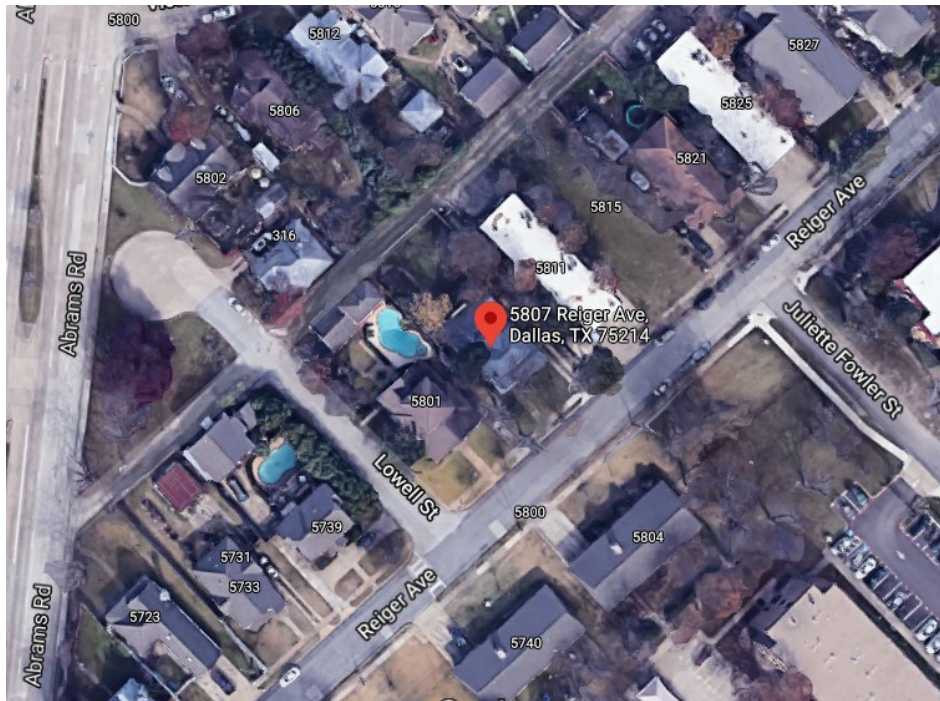
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 010220



Aerial image



Main structure



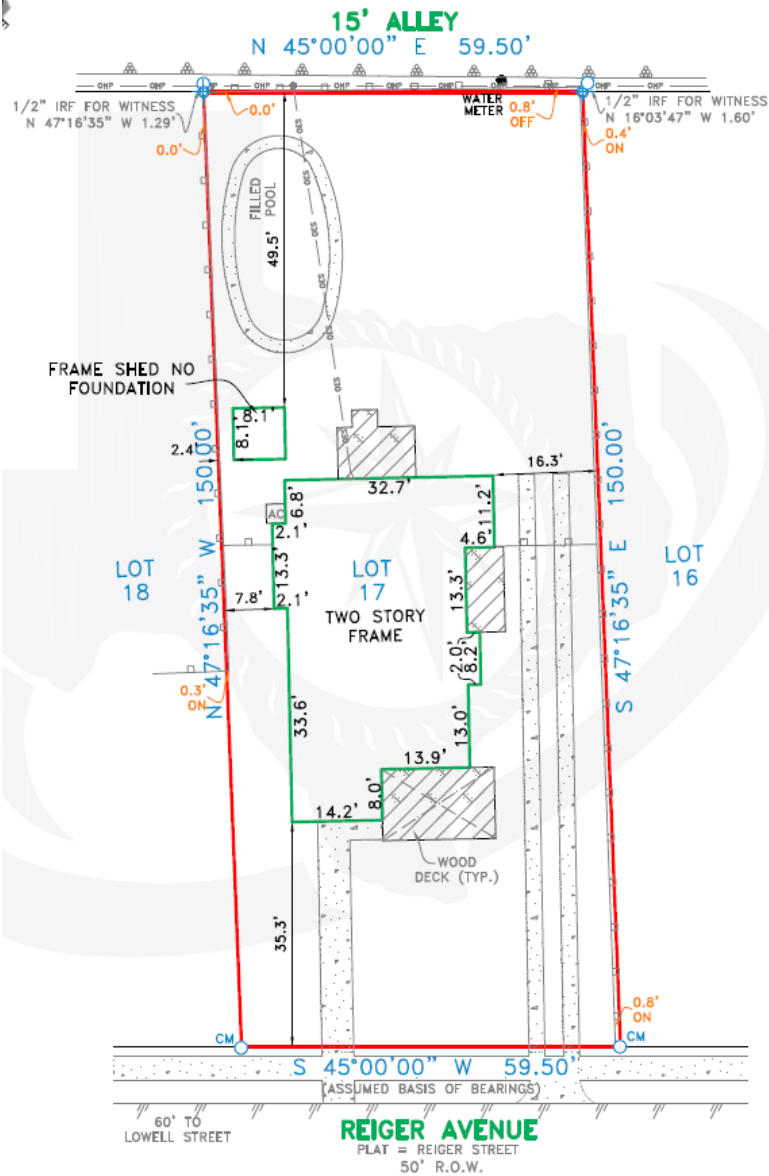
To Left



To Right

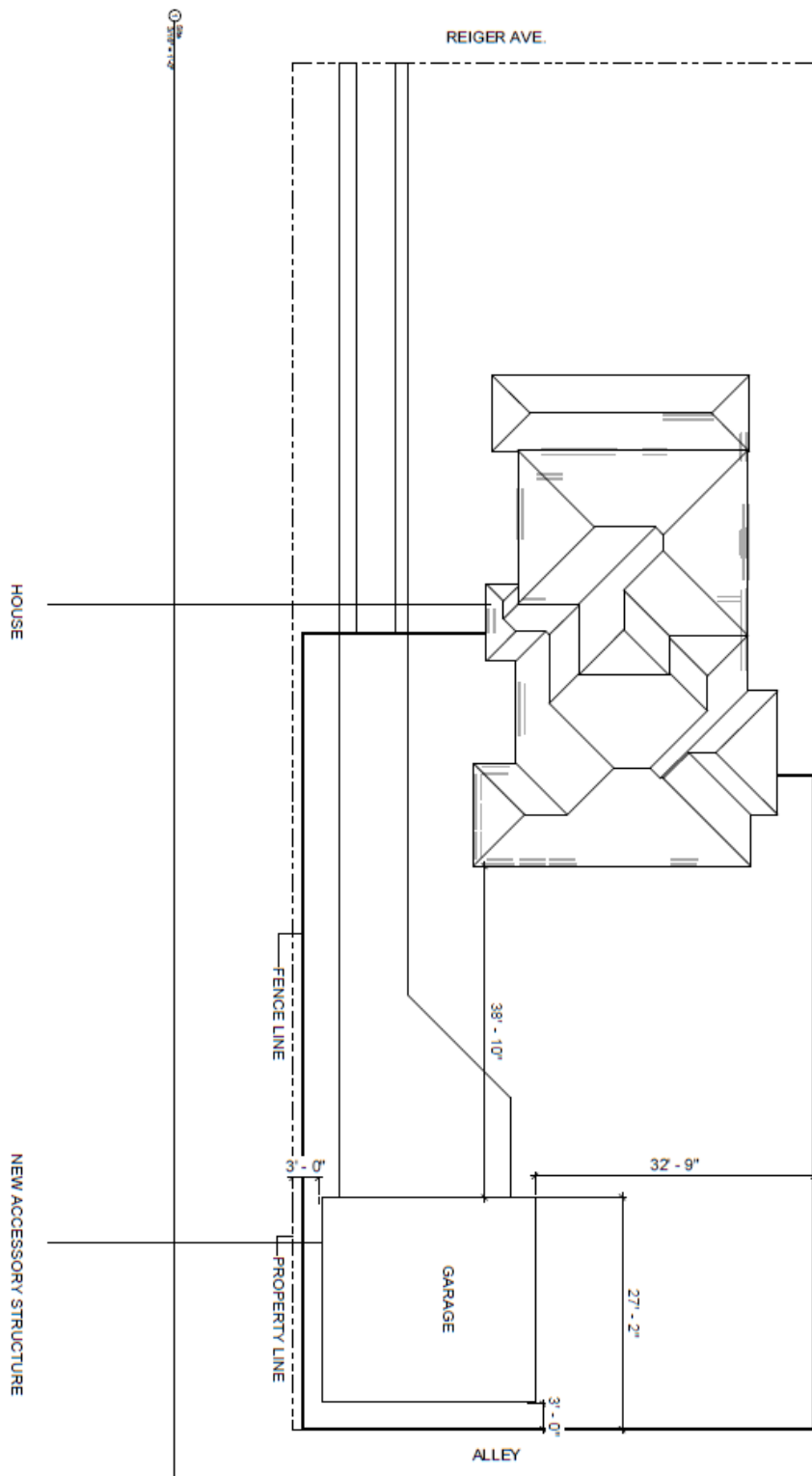


Across Street

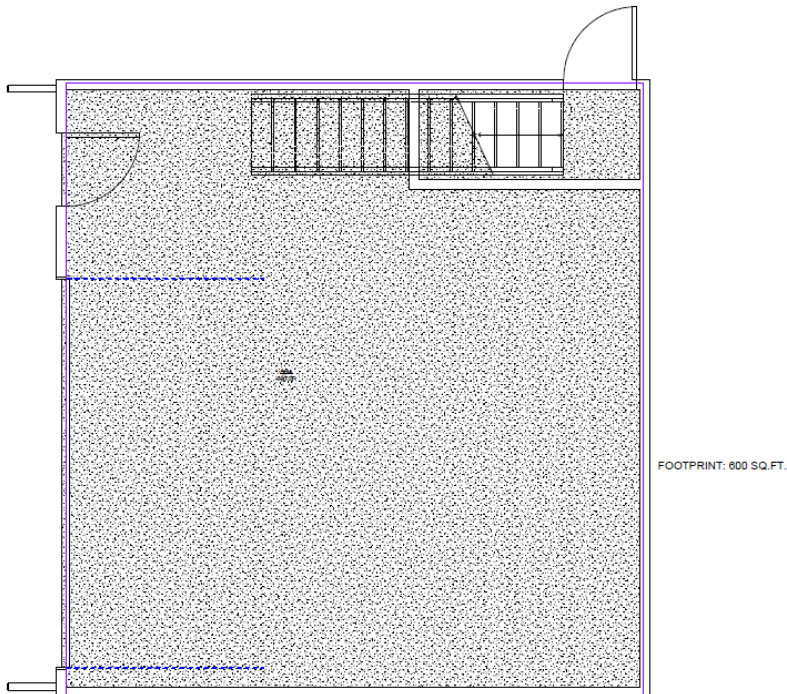
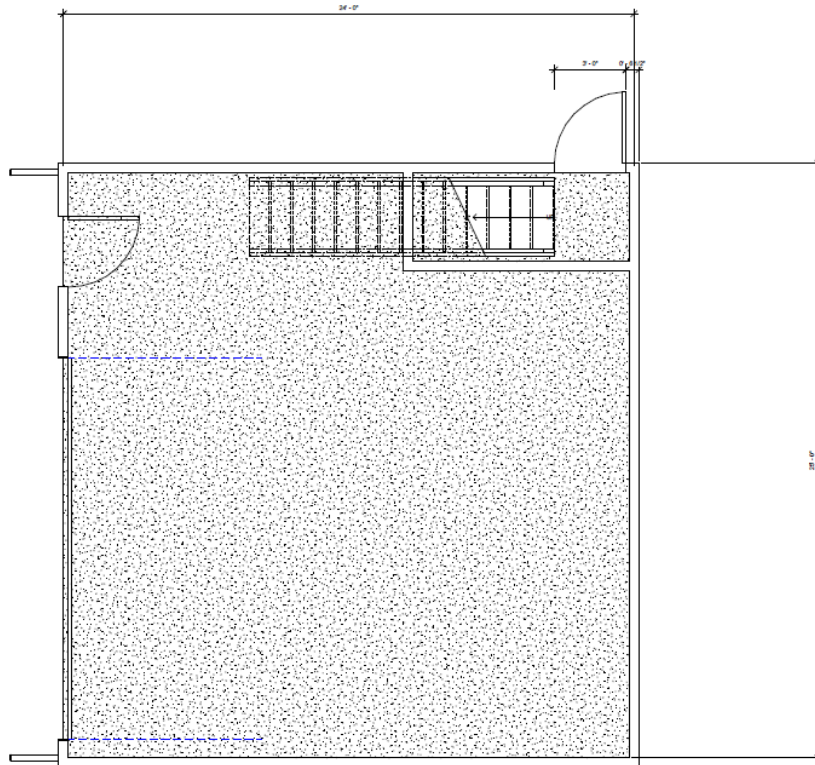


Site survey

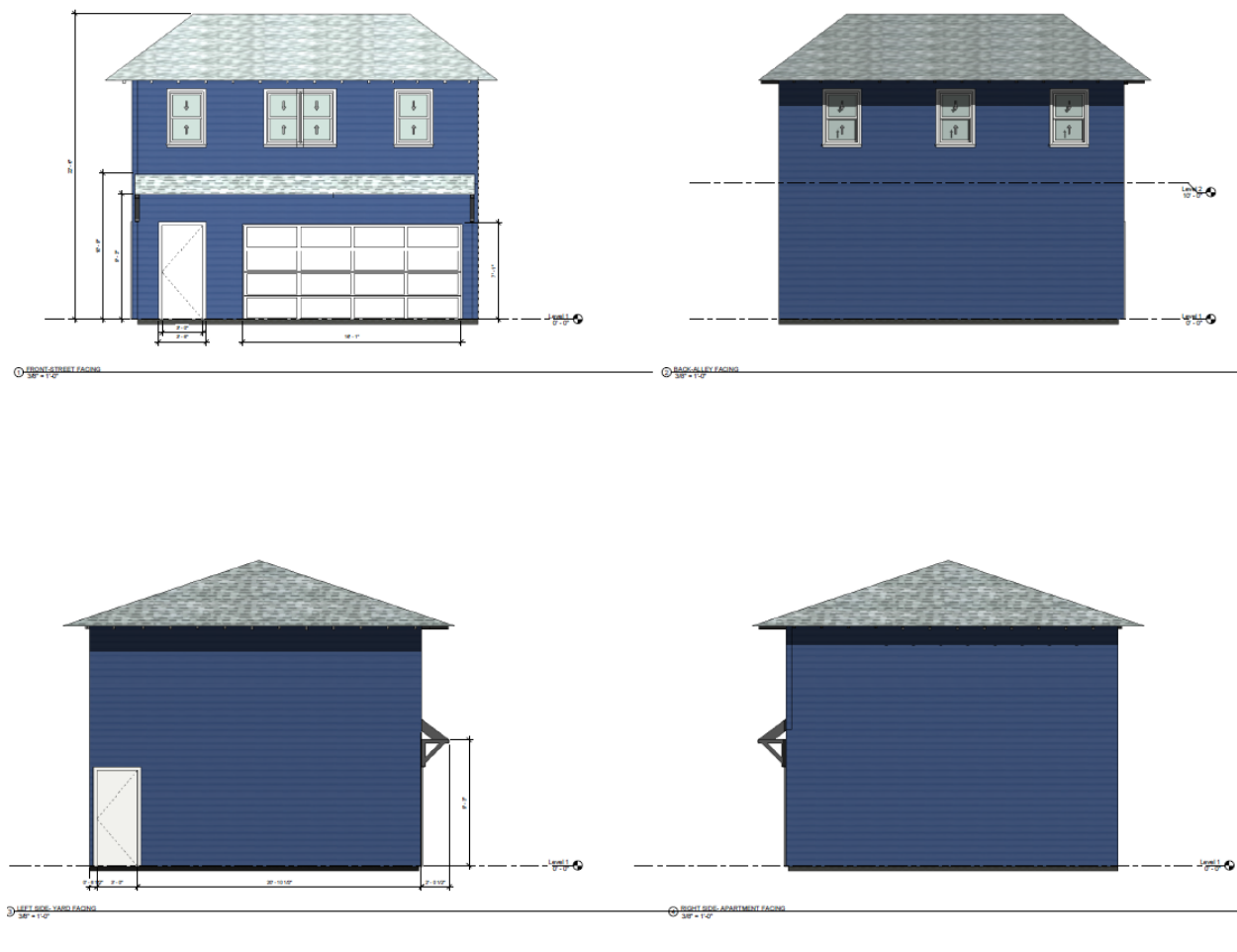
SITE SQUARE FOOTAGE: 8860 SQ. FT.
 MAIN HOUSE FOOTPRINT: 2185 SQ. FT.
 ACCESSORY GARAGE STRUCTURE FOOTPRINT: 600 SQ. FT.
 24.6% OF LOT CURRENTLY COVERED IN RESIDENTIAL STRUCTURE
 31.7% OF LOT PROPOSED TO BE COVERED IN RESIDENTIAL STRUCTURES



Proposed site plan



Proposed floor plans



Proposed elevation drawings

NOTES:

- SIDING TO MATCH HOUSE SIDING: 117 WOOD SIDING
- EXTERIOR PAINT BODY AND TRIM COLOR TO MATCH HOUSE
- ROOF TO BE ASPHALT SHINGLES TO MATCH HOUSE
- TOP OF ROOF LINE TO NOT EXCEED TOP OF HOUSE ROOF LINE
- RAFTER TAILS TO MATCH HOME
- WINDOWS TO BE DOUBLE HUNG JELD-WEN 2500 SERIES ALL WOOD
- WINDOWS IN WHITE TO MATCH HOUSE
- CORNER TRIM DETAILS TO MATCH HOME



DOUBLE GARAGE DOOR: 16'X8' WHITE STEEL GARAGE DOOR



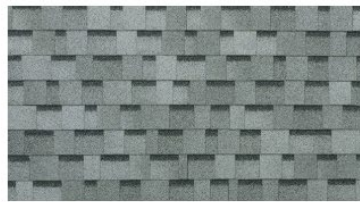
CRAFTSMAN BRACKET UNDER SMALL ROOF ON FRONT TO BE CUSTOM FABRICATED TO MATCH HOME'S BRACKETS AND WHITE IN COLOR



36"X84" PAINTED WOOD ENTRY DOOR (2-ONE ON LEFT SIDE, ONE ON FRONT)



**117 Siding
#2 Yellow Pine**



ASPHALT SHINGLES TO MATCH HOUSE SHINGLES



JELD WEN 2500 SERIES ALL WOOD WINDOW TO MATCH HOUSE

Proposed exterior specifications



Accessory structure will be partially visible in location indicated.

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

9. ACCESSORY STRUCTURES FOR TRACTS A, B, C, D, AND E

- 9.1 Accessory structures are only permitted in the rear yard, except that portable classroom buildings are permitted in the cornerside yard of a school in Tract D, and garages may be built in the rear 30 feet of cornerside yards.
- 9.2 Accessory structures must be compatible with the scale, shape, roof form, materials, detailing, and color of the main building.
- 9.3 Accessory structures must be at least eight feet from the main building.
- 9.4 Accessory structures in Tracts A, B, D, and E may not exceed a footprint of 600 square feet, unless documentation shows that an original structure exceeding this size was previously on the building site. The 600 square feet footprint requirement does not apply to portable classroom buildings located at a school in Tract D. Accessory structures in Tract C may not exceed a footprint of 1,200 square feet, unless documentation shows that an original structure exceeding this size was previously on the building site.
- 9.5 Cementitious siding is allowed on accessory structures if it is in keeping with the style and materials of the main building. Except as otherwise provided in this paragraph, vinyl and aluminum siding and Exterior Insulated Finish Systems (EIFS) are not permitted on the exterior of accessory structures. Vinyl and aluminum siding are permitted on the exterior of portable classroom buildings located at a school in Tract D.
- 9.6 The eave height of accessory structures may not exceed the eave height of the main building.
- 9.7 If a garage is within 20 feet of the alley pavement and parking is entered from the alley, the garage must have electric garage door openers.
- 9.8 For accessory structures not adjacent to an alley, the minimum rear yard setback is two-and-a-half feet with a one-and-a-half foot allowed roof overhang encroachment. For accessory structures adjacent to an alley, a three-foot setback must be provided. In Tract C, accessory structures must comply with the rear yard setback requirements of Planned Development District No. 99.
- 9.9 Minimum side yard setback for accessory structures is three feet, with a one-and-a-half foot allowed roof overhang encroachment, except that accessory structures in Tract C must comply with the side yard setback requirements for Planned Development District No. 99.

TASK FORCE RECOMMENDATION REPORT

JUNIUS HEIGHTS

DATE: June 10, 2021

TIME: 5:30

MEETING PLACE: Virtual

Applicant Name: Katelyn Conklin

Address: 5807 Reiger Avenue

Date of CA/CD Request: 6/02/21

RECOMMENDATION:

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve with conditions of (1) need pitch of roof (2) need measurements of height of eaves (3) wall and rafter trim to match that on house.

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt	<input checked="" type="checkbox"/> Noel Aveton	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Terri Raith	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Eric Graham	<input checked="" type="checkbox"/> Barbara Cohen	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Jennifer Anderson

Simple Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Noel Aveton

2nd: Mary Mesh

Task Force members in favor: All

Task Force members opposed: None

Basis for opposition:

CHAIR, Task Force *Rene Schmidt*

DATE June 10, 2021

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-479(MLP)
LOCATION: 519 E 6th
STRUCTURE: Main, Contributing
COUNCIL DISTRICT: 1
ZONING: PD-468

PLANNER: Melissa Parent
DATE FILED: June 3, 2021
DISTRICT: Lake Cliff
MAPSCO: 55-A
CENSUS TRACT: 0020.00

APPLICANT: Ana Arellano

OWNER: DELASANCHA ANDRES

REQUEST:

Replace ribbon driveway with new concrete driveway.

BACKGROUND / HISTORY:

The structure is listed as contributing to the Lake Cliff Historic District.

PROJECT DESCRIPTION:

A request to replace an existing ribbon driveway with a solid concrete driveway. The existing ribbons have deteriorated, and the property suffers from significant water drainage issues along the driveway that the pose a threat to the structure. The applicant is hoping to alleviate some of the issues with the new driveway and redirect some of the water away from the structure.

ANALYSIS:

District. Unfortunately, a large number of the original ribbon driveways have been lost or removed over the years. The preservation criteria addresses driveway materials and prohibits circular driveways. However, it does not address the preservation and maintenance of historic ribbon driveways.

The Secretary of the Interior's Standards for the Treatment of Historic Properties defines a historic district's settings as the larger area or environment in which a historic building is located. It further clarifies that the relationship of buildings to each other, setbacks, fence patterns, views, *driveways* and walkways, and street trees and other landscaping together establish the character of a district or neighborhood. There is no doubt that the historic ribbon driveways of Lake Cliff contribute to its historic setting and neighborhood

character. The Secretary of the Interior's Standards for Rehabilitation recommends preserving and maintain those features, such as driveways, that contribute to the historic districts setting. It recommends against removal or alterations that would have a negative impact.

The portion of the driveway that will have the most visual impact on the district is in the front yard area between the street curb and the front building wall of the structure. Staff recommends restoring the ribbon driveway in this front yard location, and then installing a solid concrete driveway from the front building wall to the back of the property. In this way the historic setting of the district would be maintained, and the applicant would still be able to address drainage concerns adjacent to the structure.

STAFF RECOMMENDATION:

Replace ribbon driveway with new concrete driveway. - Approve drawings dated 7/6/2021 with the condition that the ribbon driveway be maintained from the sidewalk to the front building wall of the structure before transitioning to a solid concrete driveway, with the finding the proposed work is consistent with preservation criteria Section 3.3 for driveway materials, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Replace ribbon driveway with new concrete driveway. – Approve with conditions - Provide concrete ribbon driveway to front facade of house, past this point a solid concrete driveway is acceptable.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 201 - 479 (MLP)
Office Use Only

Name of Applicant: Ana Arellano
Mailing Address: 517 E Jefferson Blvd.
City, State and Zip Code: Dallas, TX 75203
Daytime Phone: 214-946-4300 Fax: _____
Relationship of Applicant to Owner: consultant

PROPERTY ADDRESS: 519 E 6th St
Historic District: Lake Cliff Historic District

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Concrete flat work for new driveway.

*No work will be done on concrete city walk.

Signature of Applicant: [Signature] Date: 05/26/21

Signature of Owner: [Signature] Date: 05/26/21
(IF NOT APPLICANT)

Office of Historic Preservation (OHP)
APPLICATION

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON** (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

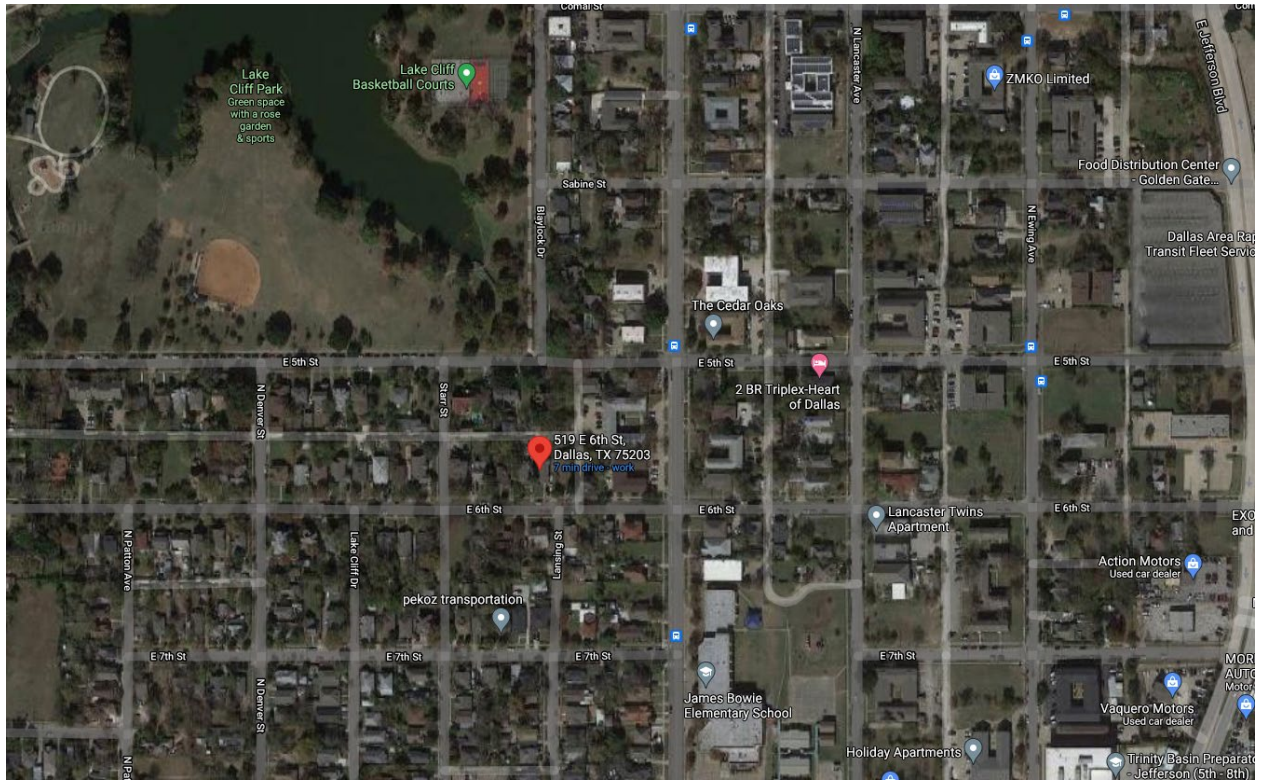
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation



Aerial image



Main Structure



Property adjacent to the right



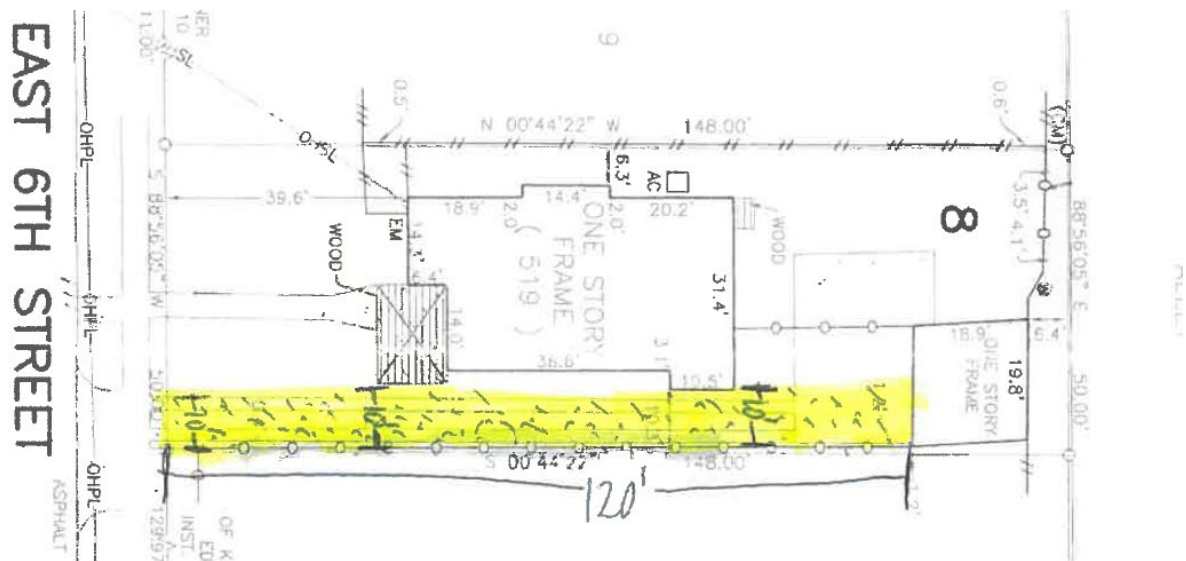
Property adjacent to the left



View across E 6th St



Existing driveway condition



Proposed site plan for solid concrete driveway

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

Section 3.3 New driveways, sidewalks, steps, and walkways must be constructed of brick, brush finish concrete, stone, or other appropriate material. Artificial grass, artificially colored concrete, asphalt, exposed aggregate, and outdoor carpet are not permitted.

CONTRIBUTING STANDARDS:

Standards for contributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i):

The landmark commission must approve the application if it determines that:

(i) for contributing structures:

- (aa) The proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;
- (bb) The proposed work will not have an adverse effect on the architectural features of the structure;
- (cc) The proposed work will not have an adverse effect on the historic overlay district; and
- (dd) The proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

A TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 06/09/2021

TIME: 5:30pm

MEETING PLACE: Virtual

APPLICANT NAME: Ana Arellano

PROPERTY ADDRESS: 519 E 6th

DATE of CA / CD REQUEST: 06/03/2021

RECOMMENDATION:

☐ Approval ☒ Approval with conditions, Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

1. Provide concrete ribbon driveway to front façade of house, past this point a solid concrete driveway is acceptable

Task force members present

<input checked="" type="checkbox"/> Alfredo Pena	<input checked="" type="checkbox"/> Mia Ovcina	<input type="checkbox"/> Michelle Walker
<input checked="" type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Nicholas Dean	<input type="checkbox"/> VACANT (LC Resident)
<input checked="" type="checkbox"/> Jeff Cummings (Chair)	<input type="checkbox"/> Amber Teague	<input type="checkbox"/> VACANT (LC Alt)

Ex Officio staff members present ☒ Melissa Parent

Simple Majority Quorum: ☒ yes ☐ no

Maker: Fred

2nd: Christine

Task Force members in favor: All

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force Jeff Cummings

DATE 06/09/2021

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 6, 2021 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



- CITY OF DALLAS

LANDMARK COMMISSION

July 6, 2021

FILE NUMBER: CD201-014(MLP)
LOCATION: 5006 Junius
STRUCTURE: Accessory & Noncontributing
COUNCIL DISTRICT: 14
ZONING: PD-97

PLANNER: Melissa Parent
DATE FILED: April 1, 2021
DISTRICT: Munger Place
MAPSCO: 46-B
CENSUS TRACT: 0013.02

APPLICANT: Laurel Wright

OWNER: WILSON CAREY B

REQUEST:

Demolish rear accessory structure under standard "Imminent threat to public health and safety."

BACKGROUND / HISTORY:

The main structure is listed as contributing to the Munger Place Historic District.

PROJECT DESCRIPTION:

The scope of work proposed is to demolish a rear accessory structure.

ANALYSIS:

The existing structure has several issues, both structurally and in regards to the ordinance. The existing structure, per the Munger Place ordinance, is required to be at least 8'-0" from the main building, which this structure is not. Staff was able to determine that a front façade addition was placed on after the period of significance, but prior to the ordinance being enacted, and is not the original front facade. There are no fire-rated walls, and the structure has extensive fire damage that has caused structural issues throughout the building. Currently, the only "structural" element holding this building upright is a ladder that was placed under the door frame and main beam to keep it from collapsing. Although a section of this building is in its historic location, the subsequent modifications and expansion to the original structure have altered the integrity of the building.

The building was also found to be storing hazardous chemicals for a number of years including mercury, lead paint and dynamite/C4 for which the bomb squad had to be called

out to properly dispose. This does cause concern that any historic material currently on the structure, while it may visibly appear to be salvageable, could in fact be hazardous and potentially explosive.

STAFF RECOMMENDATION:

Demolish rear accessory structure under standard "Imminent threat to public health and safety." - Approve photos dated 7/6/2021 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

Demolish rear accessory structure under standard "Imminent threat to public health and safety." – Approve demolition of existing structure.

Certificate for Demolition and Removal (CD)
City of Dallas Landmark Commission

CD <u>201</u> - <u>014</u> [<u>MLP</u>]
Office Use Only

1. Name of Applicant: LYNN MATSON Owner
MAILING Address: 1346 MOTOR CIRCLE City DALLAS State TX Zip 75207
Daytime Phone: 214-613-5777 Alternate Phone: _____
Relationship of Applicant to Owner: LAUREL WRIGHT MANAGER
817-948-1211
ADDRESS OF PROPERTY TO BE DEMOLISHED: 5006 JUNIUS (GARAGE) Zip 75214
Historic District: MONGER PLACE

Proposed Work:

2. Indicate which demolition standard you are applying (choose ONE option):

- ☐ Replace with more appropriate/compatible structure
☐ No economically viable use
☒ Imminent threat to public health / safety
☐ Demolition noncontributing structure because newer than period of significance
☐ Intent to apply for certificate of demolition pursuant to 51-A-4.501(i) of the Dallas City Code;

Certificate of Demolition for residential structures with no more than 3,000 square feet of floor area pursuant to a court order

3. Describe work and submit required documents for the demolition standard you are applying:
(please see attached checklist)

Garage structure has had a fire and is in danger of collapse.

Application Deadline:

This form must be completed before the Dallas Landmark Commission can consider the approval of any demolition or removal of a structure within a Historic District. This form along with any supporting documentation must be filed by the first Thursday of each month by 12:00 Noon so it may be reviewed by the Landmark Commission on the first Monday of the following month, 1500 Marilla 5BN, Dallas, Texas, 75201. (See official calendar for exceptions to deadline and meeting dates).

Use Section 51A-3.103 OF THE Dallas City Code and the enclosed checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

Other: In the event of a denial, you have the right to an appeal. You are encouraged to attend the Landmark Commission hearing the first Monday of each month. Information regarding the history of certificates for individual addresses is also available for review.

4. Signature of Applicant: Laurel Wright Date: 3/30/2021
5. Signature of Owner: _____ Date: _____

(IF NOT APPLICANT)

Review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate for Demolition and Removal has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE..** Please do not release the building permit or allow work.

Sustainable Development and Construction

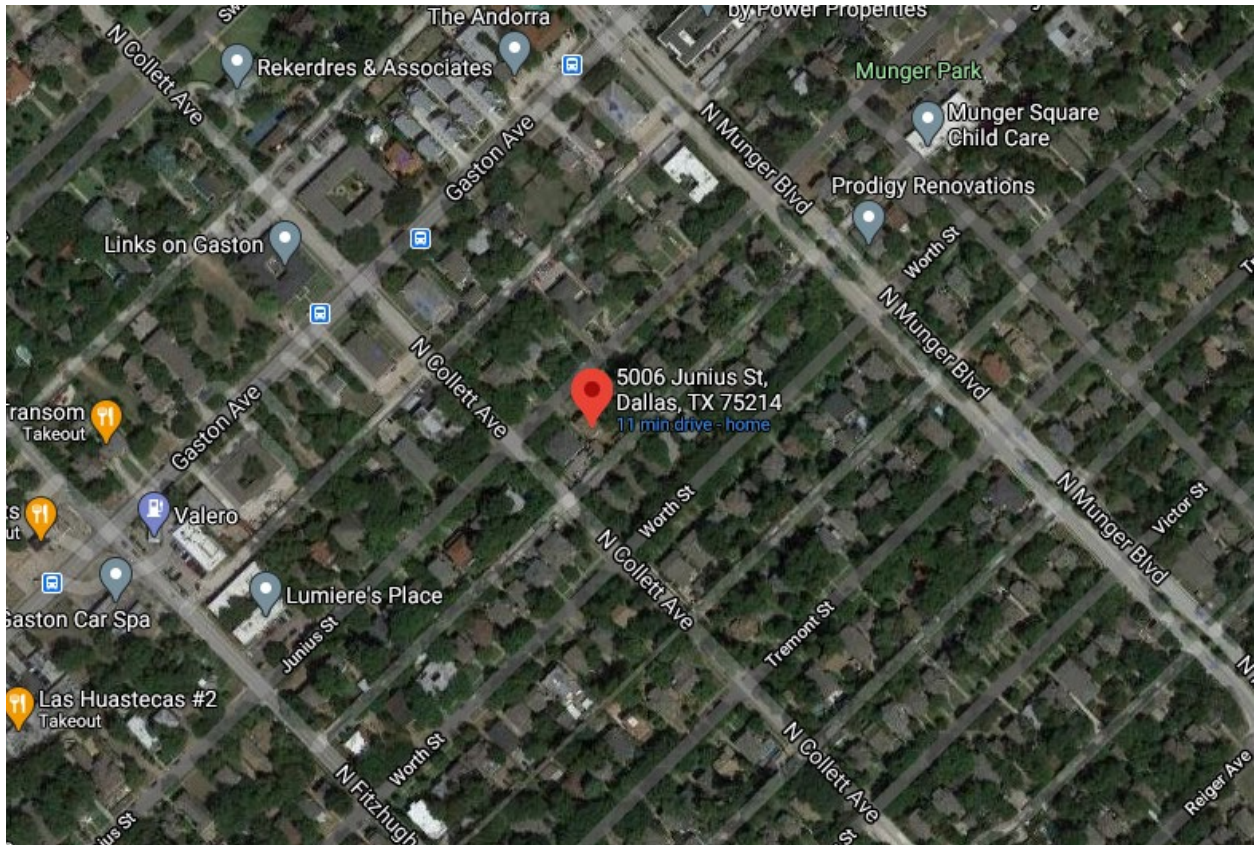
Date

NOTE: THIS APPLICATION WILL EXPIRE 180 DAYS AFTER THE APPROVAL DATE

Certificate for Demolition & Removal

City of Dallas Historic Preservation

Rev. 3/27/01, 2-11-02, 1-29-03, 5-1-04, 7-8-04, 2-28-05, 06-05-18



Aerial image



Main Structure



Multi-family property adjacent to the right



Property adjacent to the left



View across Junius

Re: Garage Building
5006 Junius Street
Dallas, TX

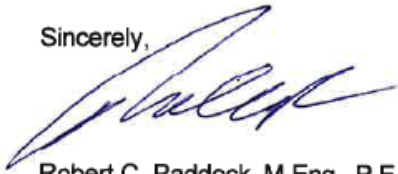
Dear Ms. Wright,

In accordance with your request the above property was visited to determine the current condition of the garage shed proximate to the house at the subject property. This is a wood frame building with no real foundation, that has had a fire at some time in the past. The structure is unsafe and should be removed. A replacement structure should include a suitable foundation and be constructed to modern standards.

It is understood that this is an historic area of the City and any new construction should be architecturally compatible. This can be easily done whilst still rebuilding a safe structure. Until it is rebuilt it is not recommended to use the building for storage or as a garage.

Please call if you have questions about the any of the enclosed information.

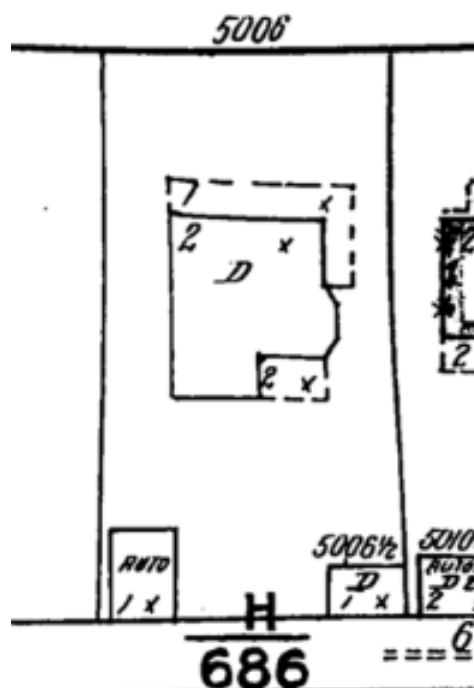
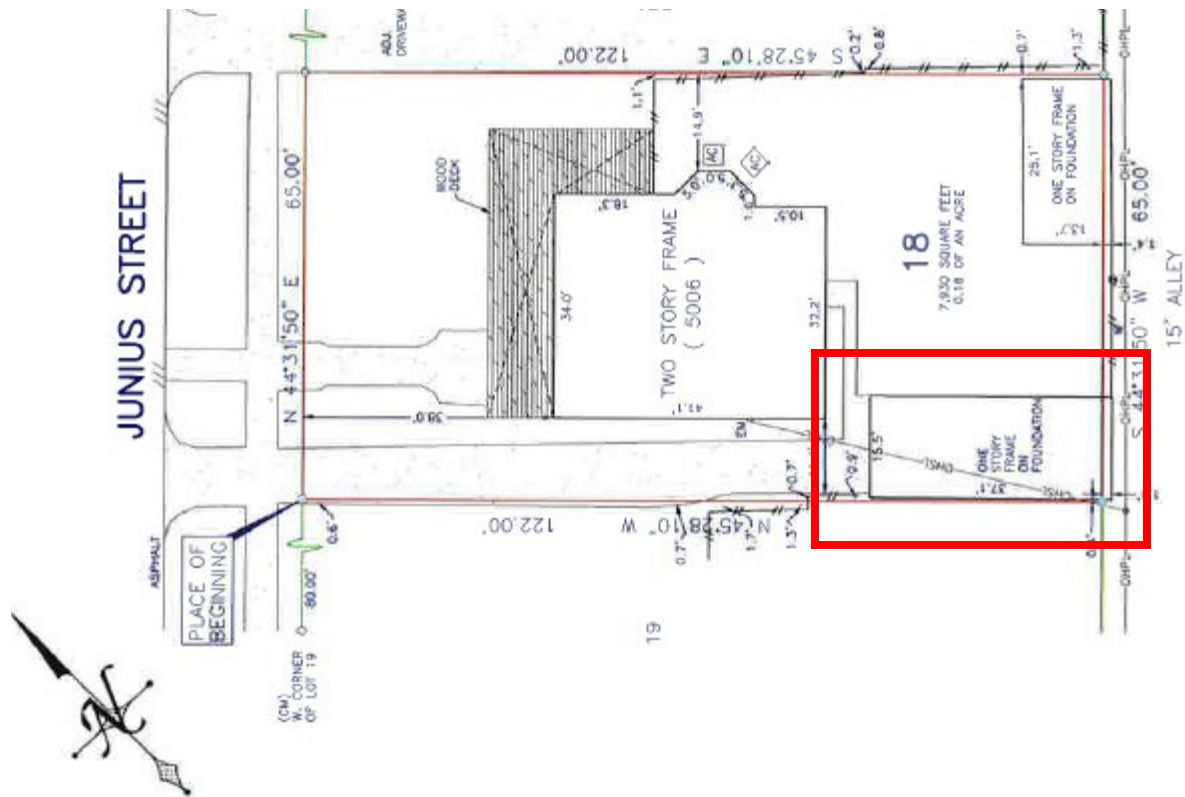
Sincerely,



Robert C. Paddock, M.Eng., P.E.



09-30-21



Variations between Sanborn and current survey show that the footprint of original structure had been expanded/modified post-1950

1920s Sanborn (no change on 1950 Sanborn)



Exterior photos



Photos of existing structure



Fire damage

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

CONTRIBUTING STANDARDS:

Standards for contributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i):

The landmark commission must approve the application if it determines that:

(i) for contributing structures:

- (aa) The proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;
- (bb) The proposed work will not have an adverse effect on the architectural features of the structure;
- (cc) The proposed work will not have an adverse effect on the historic overlay district; and
- (dd) The proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 06/9/2021
TIME: 5:30 pm
MEETING PLACE: Virtual

Applicant Name: Laurel Wright
Address: 5006 Junius
Date of CA/CD/CR Request: 06/03/2021

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve as submitted

Task force members present

☒ Emily Stevenson (Chair) ☐ Kari Houston Osborn (Munger Alt.)
☐ Mark Guest (Prof) ☒ Kelly Gordon ☐ Richard Catron
☐ Wesley Powell ☒ Greg Johnston ☐
VACANT
☐ VACANT (MP alt)

Ex Officio staff members present : Melissa Parent ☒

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker: Emily Stevenson

2nd: Kelly Gordon

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 06/9/2021

The task force recommendation will be reviewed by the Landmark Commission on Monday, June 7, 2021 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-482(MLP)
LOCATION: 4907 Tremont
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 14
ZONING: PD-97

PLANNER: Melissa Parent
DATE FILED: June 3, 2021
DISTRICT: Munger Place
MAPSCO: 46-B
CENSUS TRACT: 0013.02

APPLICANT: Zak Mailey

OWNER: SIDES SUZANNE & PHYLLIS KAY JARMAN

REQUEST:

Replace non-historic aluminum dormer windows with salvaged wood windows on main structure.

BACKGROUND / HISTORY:

The structure is listed as contributing to the Munger Place Historic District.

PROJECT DESCRIPTION:

Replacement of dormer windows on front façade.

ANALYSIS:

The existing front façade dormer windows are aluminum and not the original historic windows. The applicant has submitted 3 options of salvaged wood windows for replacements. Staff was unable to find any archival information that would inform us on the previous lite configuration within the dormers.

Option 1: This is an 8-over-8 lite option with two 4-pane sidelights. Only one unit would be installed within the existing window frame, which modifies the original 2 window configuration. Sidelights are not typical for use within a dormer style window and this option is not appropriate or compatible with the structure or the district.

Option 2: This is a fixed 12-lite window option. There will be 2 windows per dormer. Dormer windows with multiple lite configurations can be found within the district, however, there are no multi-light windows existing on the structure, and would therefore have moderate visual impact to the façade.

Option 3: This is a 2-over-2 lite option with 2 windows per dormer. This option would have the least visual impact to the front façade as the lite configuration would be minimally altered from the existing one-over-one windows.

STAFF RECOMMENDATION:

Replace non-historic aluminum dormer windows with salvaged wood windows on main structure. – Approve specifications dated 6/7/2021 with the condition that Option 3 be used, with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Replace non-historic aluminum dormer windows with salvaged wood windows on main structure. - Approve with the recommendation that proposal C be used.

Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA 201 - 482 [MLP]
Office Use Only

Name of Applicant: Zak Mailey

Mailing Address: 4907 Tremont St

City, State and Zip Code: Dallas, TX 75214

Daytime Phone: 214-557-0719

Alternate Phone: _____

Relationship of Applicant to Owner: _____

PROPERTY ADDRESS: 4907 Tremont St

Historic District: Munger Place

OFFICE USE ONLY

Main Structure:

☒ Contributing

☐ Non-contributing

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Replace non-original aluminum dormer windows with salvaged historically accurate pine windows.

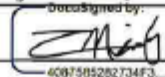
Please approve any, some, or all of the proposals due to availability upon approval.

Proposal A: Double hung window (8 lite sashes) with 2 side lites. See attached for reference.

Proposal B: 12 lite window sashes (2 per dormer) See attached for reference.

Proposal C: Double hung window (2 lite sashes). See attached for reference.

Signature of Applicant: _____


6087585282734F3...

Date: 6/1/2021

Signature of Owner: _____

(IF NOT APPLICANT)

Date: _____

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes ☐ No

Sustainable Construction and Development

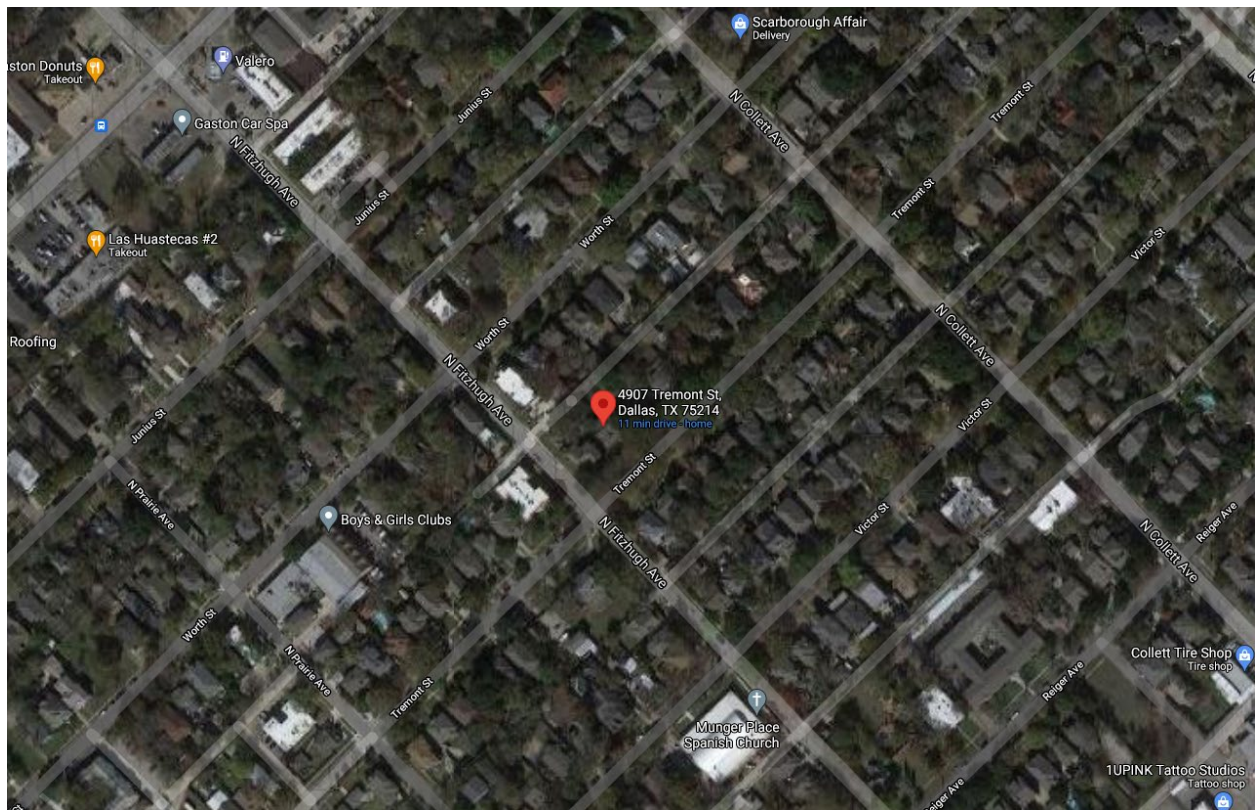
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 061419



Aerial image



Main Structure



Property adjacent to the right



Property adjacent to the left



View across Tremont



Current 4907 Tremont Dormer Windows: Double-hung aluminum windows with 1 lite per sash. There are 2 windows per dormer. The 2 dormers are identical.

Overall dimensions: 42" x 52" per window unit

Proposal A: Double-hung pine window with 8 square lites per sash, with 1 sidelite on each side containing 4 lites each. One of these units, as pictured, for each dormer (double hung window and 2 sidelites per dormer). The 2 dormers would be identical.

Overall dimensions: 90" x 52" per unit (2 available, 1 for each dormer)



Proposal B: 12 square lite pine sashes. 2 sashes per dormer. The 2 dormers would be identical.

Overall dimensions: 42" x 52" per sash



Proposal C: Double-hung pine window with 2 rectangular lites per sash. There would be 2 of these per dormer. The 2 dormers would be identical.

Overall Dimensions: 42" x 52" per double-hung window.

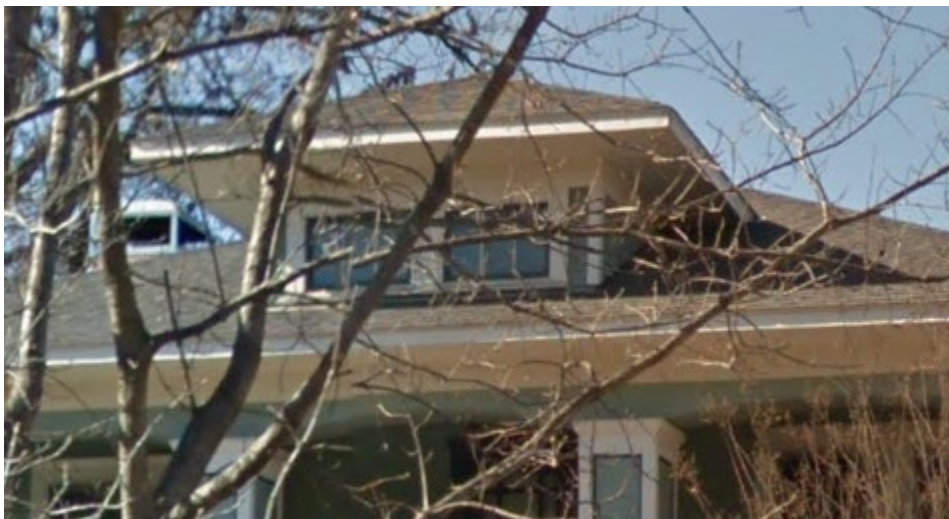




4933 Tremont



4902 Tremont



4930 Tremont

Dormer window examples from the district

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

CONTRIBUTING STANDARDS:

Standards for contributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i):

The landmark commission must approve the application if it determines that:

(i) for contributing structures:

- (aa) The proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;
- (bb) The proposed work will not have an adverse effect on the architectural features of the structure;
- (cc) The proposed work will not have an adverse effect on the historic overlay district; and
- (dd) The proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 06/9/2021

TIME: 5:30 pm

MEETING PLACE: Virtual

Applicant Name: Zak Mailey
Address: 4907 Tremont
Date of CA/CD/CR Request: 06/03/2021

RECOMMENDATION:

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve with the recommendation that proposal C be used.

Task force members present

<input checked="" type="checkbox"/> Emily Stevenson (Chair)	<input type="checkbox"/> Kari Houston Osborn (Munger Alt.)
<input type="checkbox"/> Mark Guest (Prof)	<input checked="" type="checkbox"/> Kelly Gordon
<input type="checkbox"/> Wesley Powell	<input checked="" type="checkbox"/> Greg Johnston
<input type="checkbox"/> VACANT	<input type="checkbox"/> Richard Catron
<input type="checkbox"/> VACANT (MP alt)	<input type="checkbox"/>

Ex Officio staff members present : Melissa Parent ☒

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker: Greg Johnston

2nd: Emily Stevenson

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 06/9/2021

The task force recommendation will be reviewed by the Landmark Commission on Monday, June 7, 2021 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-485(MLP)
LOCATION: 5500 Swiss
STRUCTURE: Main & Accessory, Contributing
COUNCIL DISTRICT: 14
ZONING: PD-63

PLANNER: Melissa Parent
DATE FILED: June 3, 2021
DISTRICT: Swiss Avenue
MAPSCO: 36-X, 46-B
CENSUS TRACT: 0014.00

APPLICANT: RuLan Hebler

OWNER: DALLAS CO MEDICAL SOC WOMENS AUXILIARY

REQUEST:

Install sculpture/artwork in rear yard.

BACKGROUND / HISTORY:

The structure is listed as contributing to the Swiss Avenue Historic District.

PROJECT DESCRIPTION:

Installation of sculpture/artwork in rear yard.

ANALYSIS:

Artworks and sculptures are a unique request among our districts, however several can be found throughout Dallas including the Swiss/Munger gateway and the Savage Park memorial, both in close proximity of this address. The ordinance stipulates that sculpture gardens are prohibited landscaping, however, since there is only one piece of artwork proposed at this time, it is considered that the proposed work would not constitute a sculpture "garden." The sculpture itself will be situated in the rear yard and will be screened by existing fencing and hedges along the Parkmont Street side, and will be accessible via the side garden gate entrance. It is therefore considered that the effect of the proposed sculpture on the character and appearance of the district, given its size and location would be negligible.

STAFF RECOMMENDATION:

Install sculpture/artwork in rear yard. - Approve drawings and specifications dated 6/7/2021 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Install sculpture/artwork in rear yard. – Approve as submitted.

Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA 201 - 485 (MLP)
Office Use Only

Name of Applicant: RuLan Hebler
Mailing Address: 5500 Swiss Ave
City, State and Zip Code: Dallas, Texas 75214
Daytime Phone: 214-906-4410 Alternate Phone: _____
Relationship of Applicant to Owner: President

OFFICE USE ONLY
Main Structure:
<input checked="" type="checkbox"/> Contributing
<input type="checkbox"/> Non-contributing

PROPERTY ADDRESS: 5500 Swiss Ave
Historic District: Swiss Avenue Historic District

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

At corner sideyard existing rear garden area - install new art piece on limestone clad base with new ornamental plantings and stepping pads connecting to existing walk path.
Existing perimeter hedge to remain, trimmed. Existing interior garden hedges, ornamental trees, ground cover & planting beds to be cleaned & trimmed.

Signature of Applicant: RuLan Hebler Date: June 2, 2021
Signature of Owner: Dallas County Medical Society Alliance Foundation Date: June 2, 2021
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes ☐ No

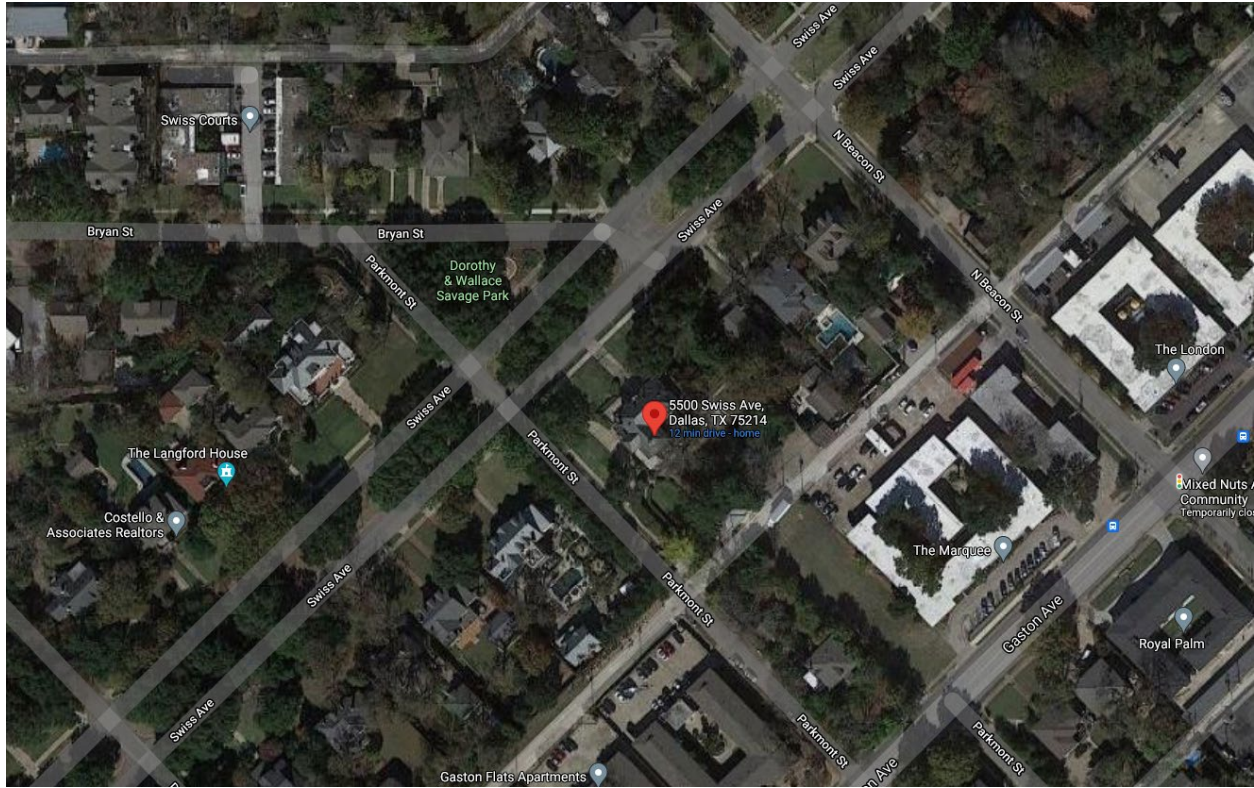
Office of Historic Preservation

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 010220



Aerial image



Main Structure



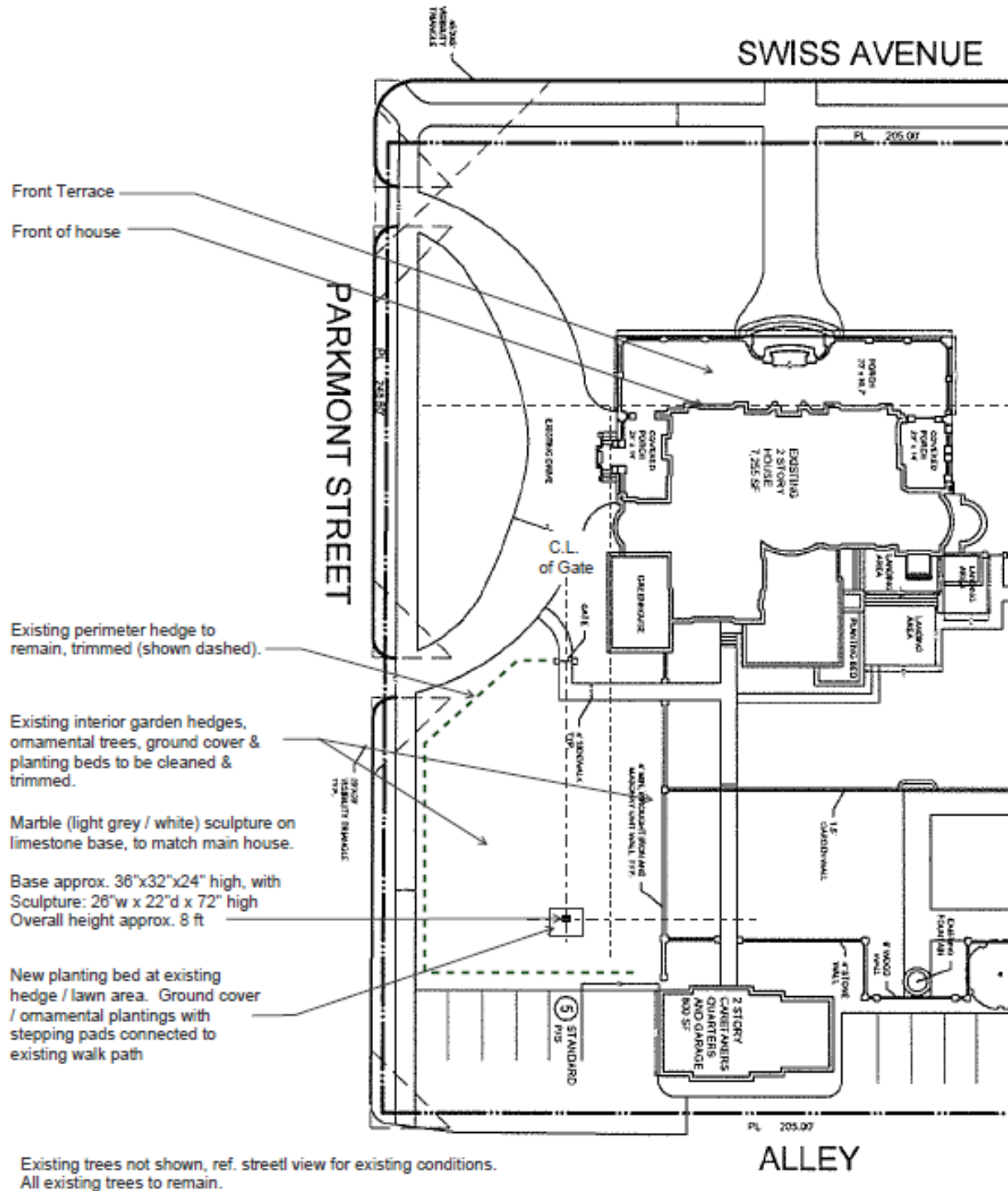
Property adjacent to the left



View across Swiss Avenue

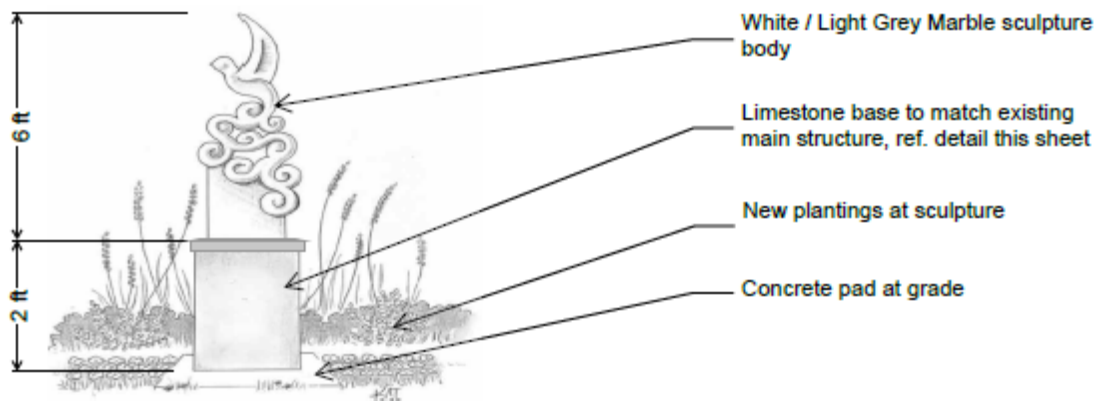


View across Parkmont St.

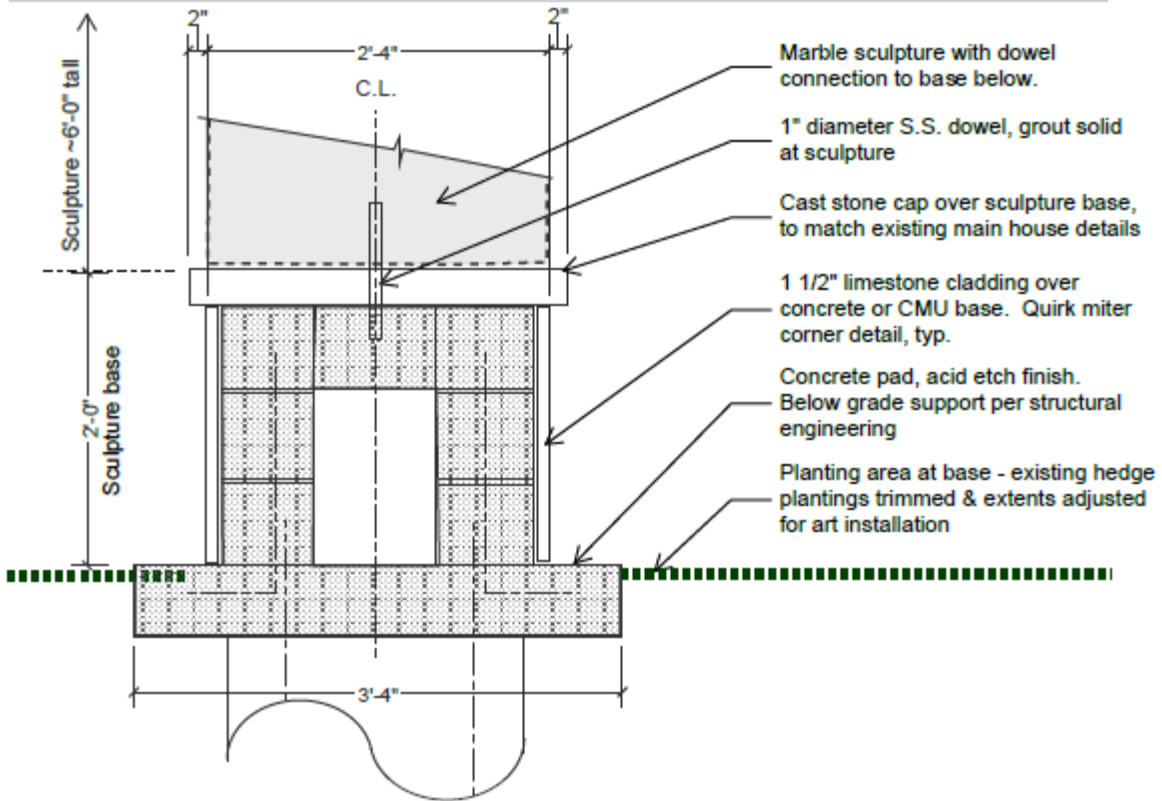


Site plan

CONCEPT RENDERING OF VIRGINIA SAVAGE McALESTER TRIBUTE SCULPTURE



SCULPTURE BASE DETAIL



Detail drawings



Alternative views of rear yard

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

CONTRIBUTING STANDARDS:

Standards for contributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i):

The landmark commission must approve the application if it determines that:

(i) for contributing structures:

- (aa) The proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;
- (bb) The proposed work will not have an adverse effect on the architectural features of the structure;
- (cc) The proposed work will not have an adverse effect on the historic overlay district; and
- (dd) The proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district..

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 06/9/2021

TIME: 5:30 pm

MEETING PLACE: Virtual

Applicant Name: RuLan Hebler

Address: 5500 Swiss (Aldredge House)

Date of CA/CD/CR Request: 06/03/2021

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve as submitted

Task force members present

☒ Emily Stevenson (Chair) ☐ Kari Houston Osborn (Munger Alt.)
☐ Mark Guest (Prof) ☒ Kelly Gordon ☐ Richard Catron
☐ Wesley Powell ☒ Greg Johnston (Greg Johnston recused himself from this particular matter)
☐ VACANT (MP alt) ☐ VACANT

Ex Officio staff members present : Melissa Parent ☒

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Emily Stevenson

2nd: Kelly Gordon

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 06/9/2021

The task force recommendation will be reviewed by the Landmark Commission on Monday, June 7, 2021 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-483(MLP)
LOCATION: 5731 Swiss
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 14
ZONING: PD-63

PLANNER: Melissa Parent
DATE FILED: June 3, 2021
DISTRICT: Swiss Avenue
MAPSCO: 36-Y
CENSUS TRACT: 0014.00

APPLICANT: Leslie Nepveux

OWNER: EHRHARDT JOHN A

REQUEST:

Removal of a non-historic greenhouse addition and construct new rear porch on main structure.

BACKGROUND / HISTORY:

The structure is listed as contributing to the Swiss Avenue Historic District.

PROJECT DESCRIPTION:

Removal of a non-historic greenhouse addition and construction of a rear porch addition on the main structure.

ANALYSIS:

The proposed addition is in the rear and includes a covered balcony. This is an interior lot, and while the addition will be somewhat visible on the northeast side facade (see Figure "X"), the impact will be minimal. The proposed porch addition is more compatible in style and materials to the structure and the district than the greenhouse addition. The brick cladding, roofing, columns, windows, and doors will all match those on the existing main structure. The scale and location of the addition will be subordinate to the main house and its positioning on the site would make the addition partially visible from the street. Given the massing of the existing house the effects of the proposed addition on the character and appearance of the district would be less than minor. The proposal meets ordinance criteria and is compatible with the structure and the district.

STAFF RECOMMENDATION:

Construct new rear porch on main structure. - Approve drawings and specifications dated 6/7/2021 with the finding the proposed work is consistent with the criteria for windows and doors in the preservation criteria Section 51P-63.116(1)(B) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Construct new rear porch on main structure. – Approve with the condition that additional details are provided that would illustrate how the balustrade, deck, and balcony structure join together.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 201 - 483 [MLP]
Office Use Only

Name of Applicant: LESLIE NEPVEUX
Mailing Address: 718 DUMAS
City, State and Zip Code: DALLAS, TEXAS 75214
Daytime Phone: 602-758-9795 Alternate Phone: _____
Relationship of Applicant to Owner: ARCHITECT

OFFICE USE ONLY

Main Structure:
P Contributing
____ Non-contributing

PROPERTY ADDRESS: 5731 SWISS AVENUE
Historic District: SWISS AVENUE

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

MODIFYING FOOTPRINT OF PROPOSED REAR YARD PORCH.

RECEIVED BY

Signature of Applicant: [Signature] Date: 5.31.2021
Signature of Owner: [Signature] Date: 5.31.2021
(IF NOT APPLICANT)

APPLICATION DEADLINE
Office of Historic Preservation (OHP)

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ____ Yes ____ No

Office of Historic Preservation

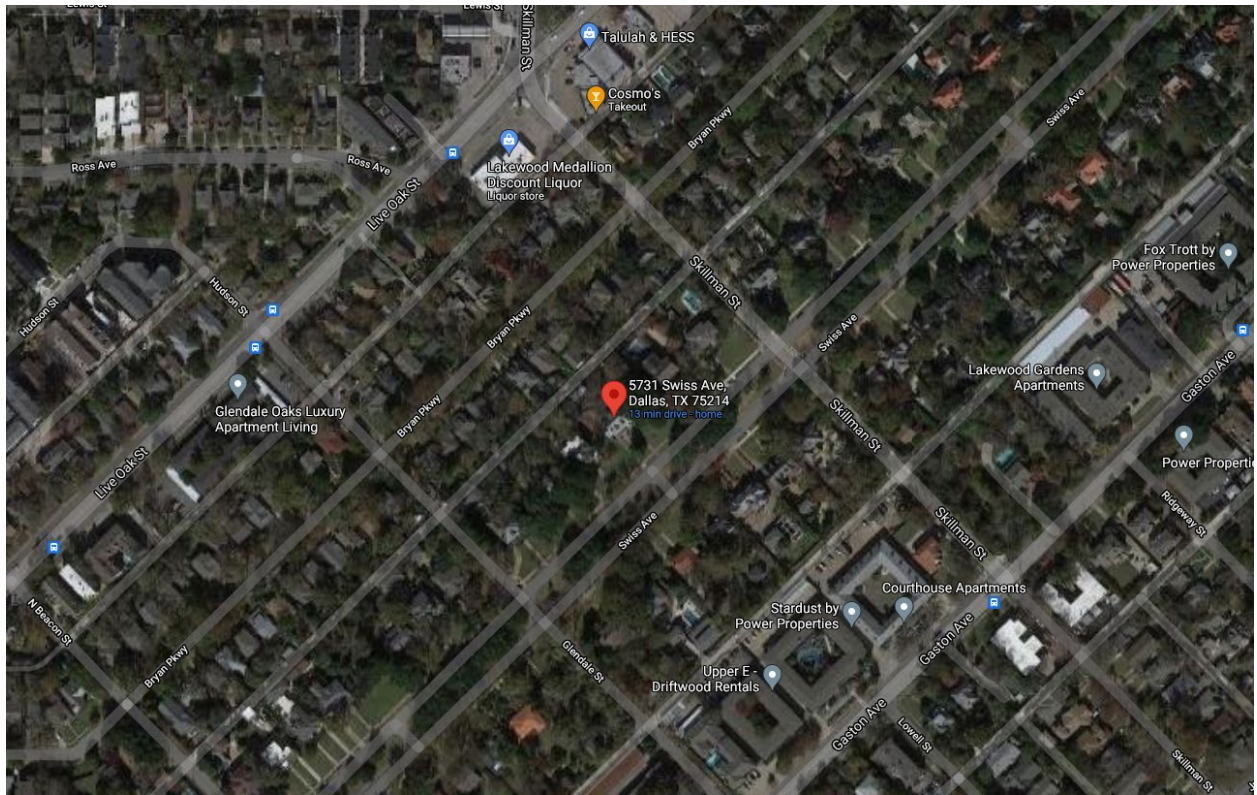
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 010220



Aerial image



Main Structure



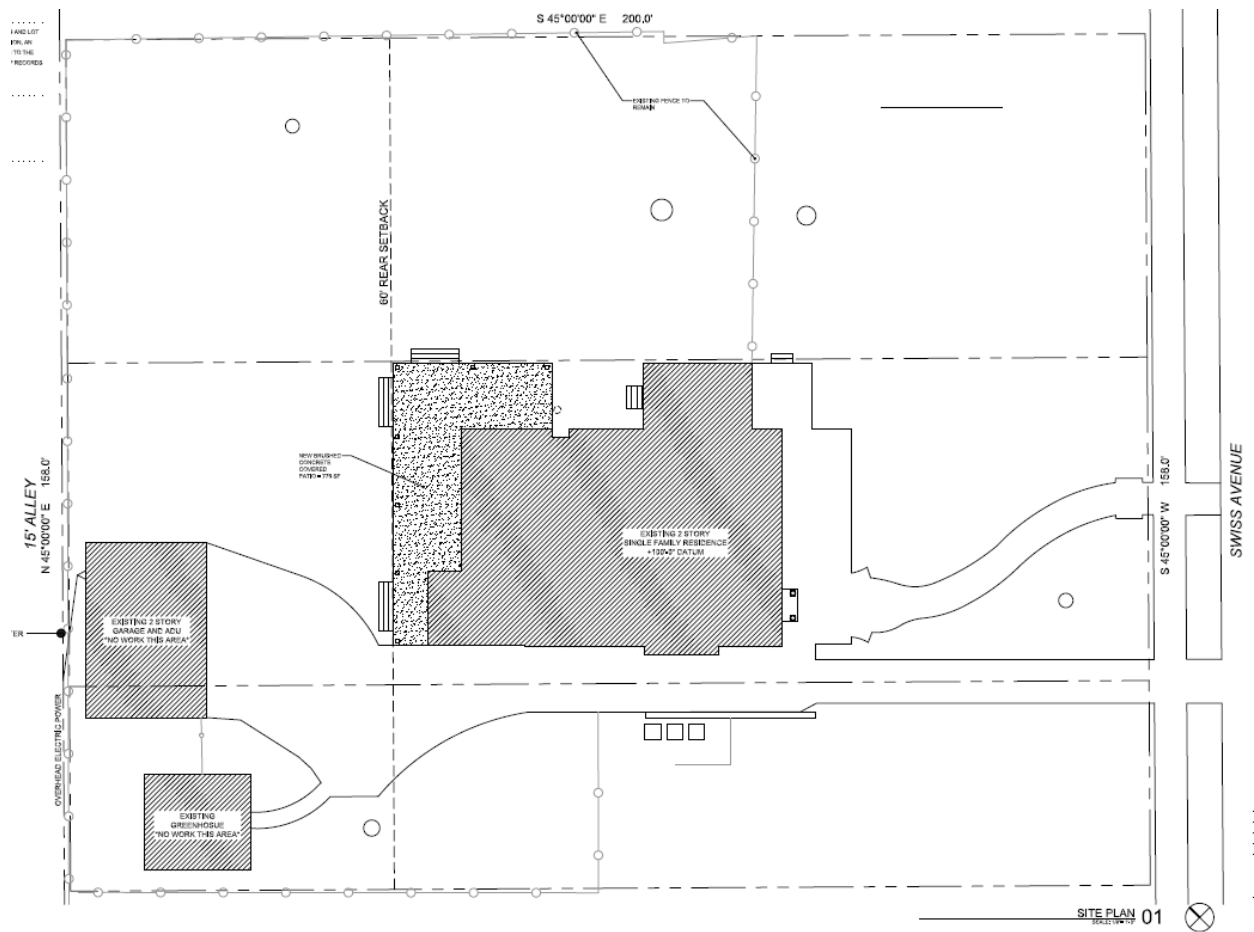
Property adjacent to the right



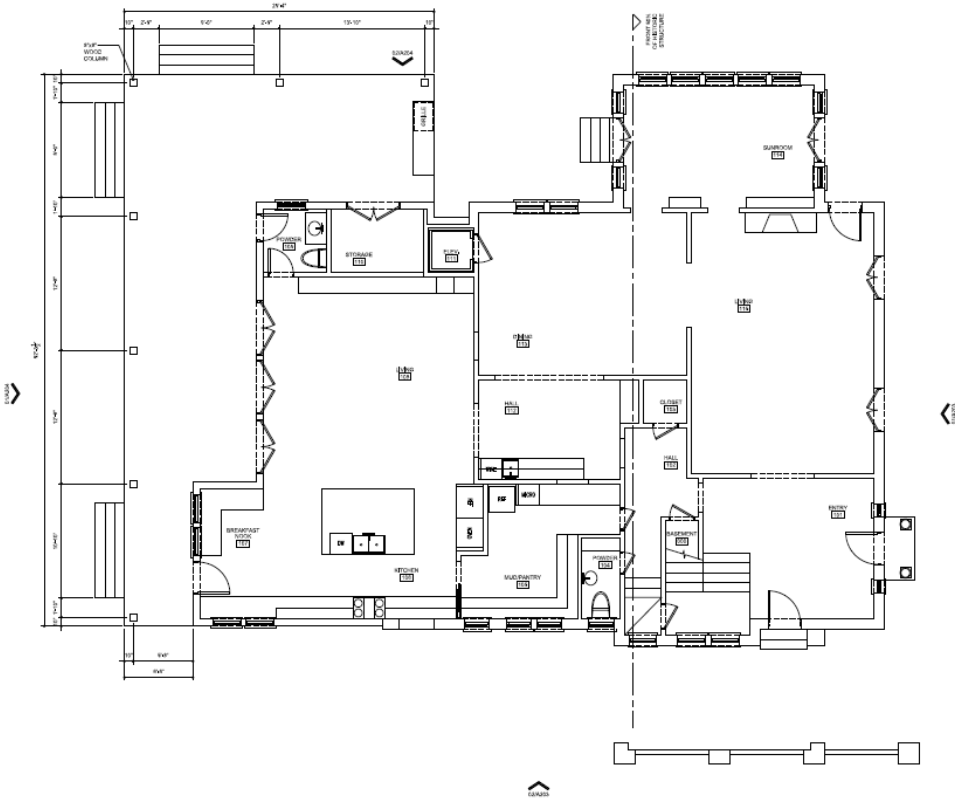
Property adjacent to the left



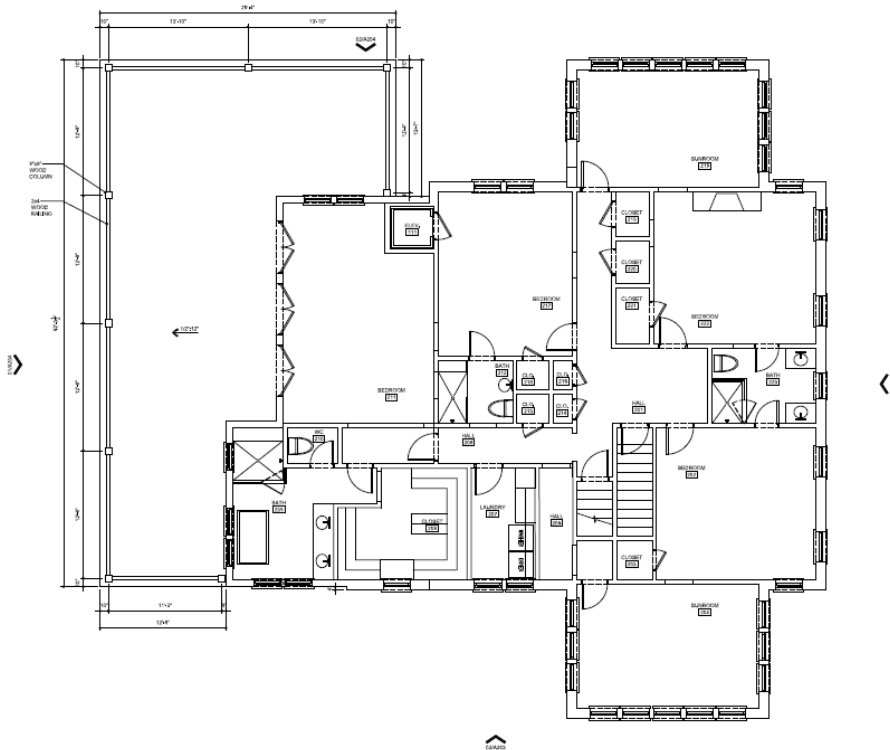
View across Swiss



Site plan



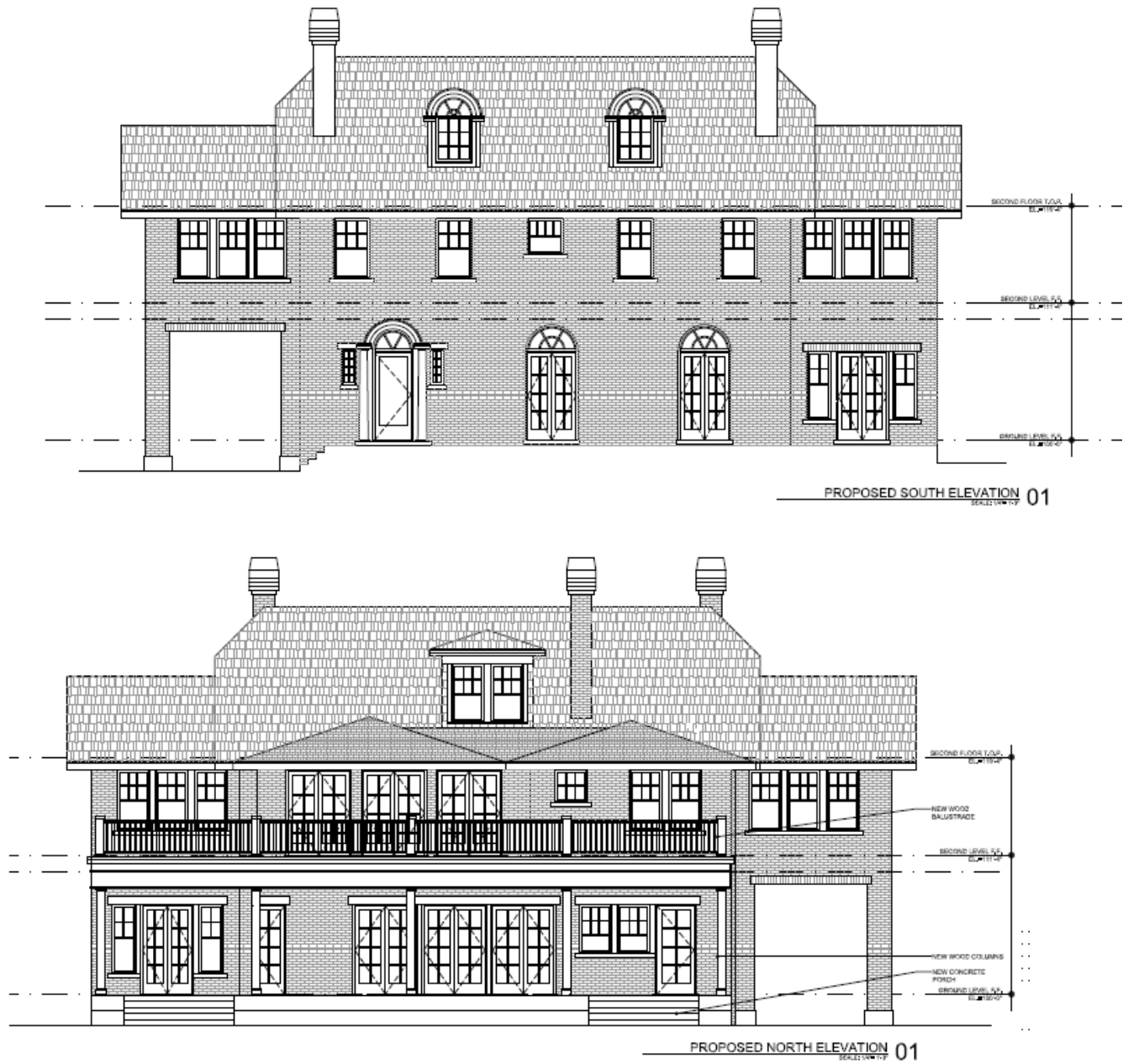
Proposed 1st floor



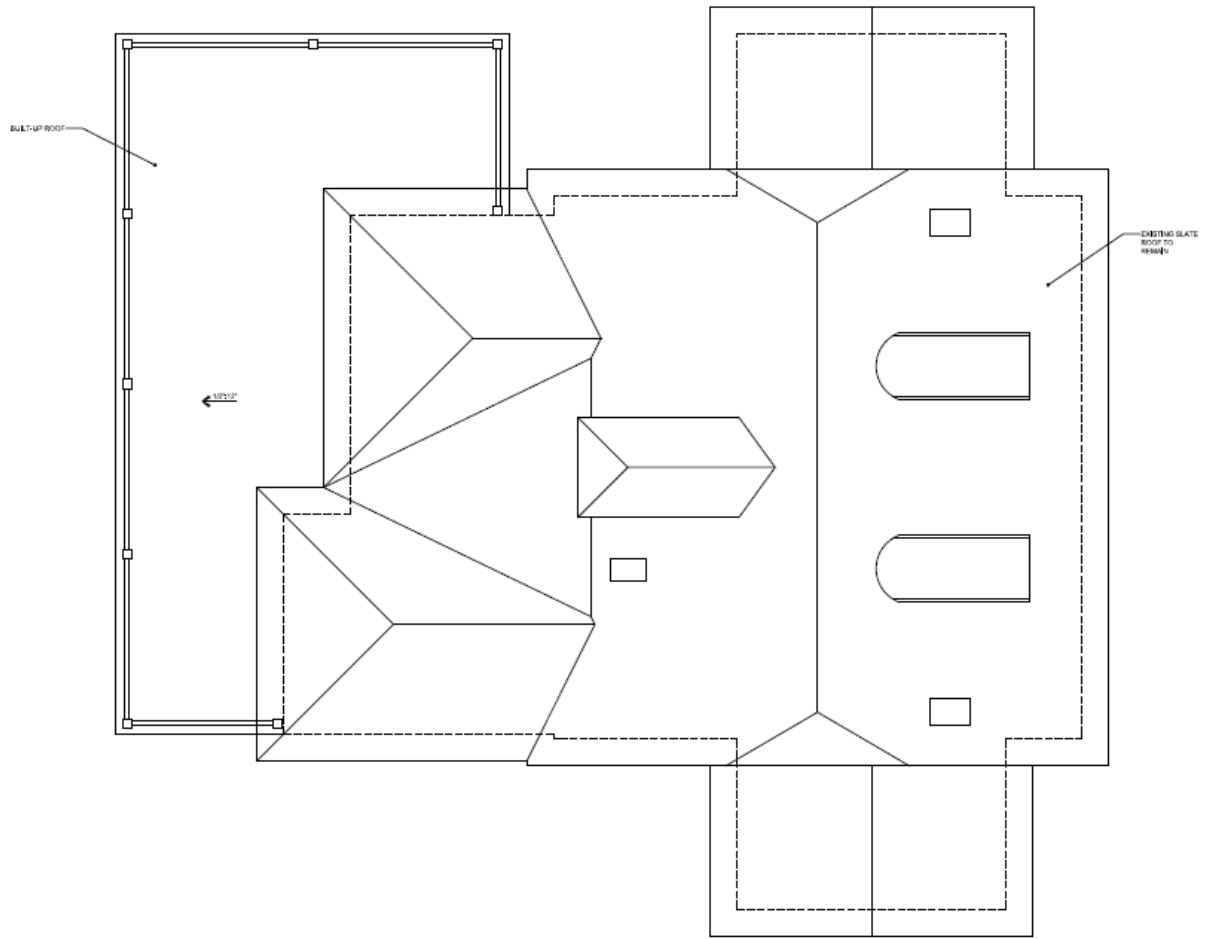
Proposed 2nd floor



Elevations – side facades



Elevations - front and rear



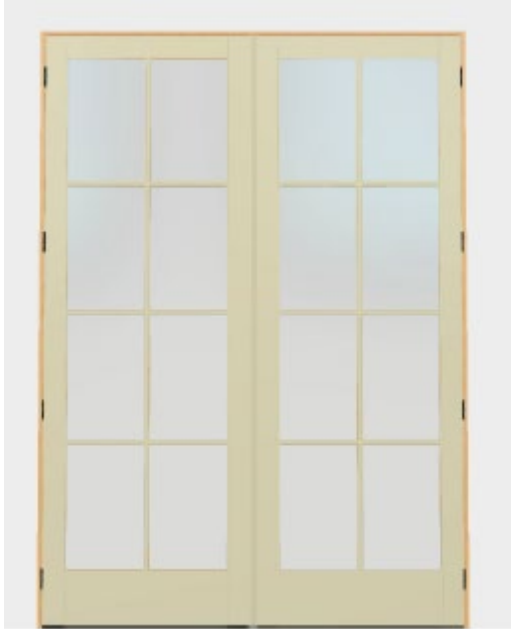
ROOF PLAN 01
SCALE 1/8" = 1'-0"

*Waiting on window/door spec

EAST ELEVATION



Existing non-historic addition at rear



Custom Wood Patio Door: 2 Panel Swinging

Door Specification – Jeld-Wen



Product Details

Wood Interior / Wood Exterior

4⁵/₈" jamb depth; 5¹/₈" with optional screenstop; extension jambs available

1¹/₁₆" insulated glass with EnerEDGE® warm-edge spacer

Width: 14" – 54"

Height: 24" – 96"

Performance Data

U-Value (w/ Low-E Glass): 0.28

SHGC (w/ Low-E Glass): 0.28

Performance Class: LC-40

Window specification

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

Section 51P-63.116(1) Building placement, form, and treatment

(B) Additions. All additions to a building must be compatible with the dominant horizontal or vertical characteristics, scale, shape, roof form, materials, detailing, and color of the building.

CONTRIBUTING STANDARDS:

Standards for contributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i):

The landmark commission must approve the application if it determines that:

(i) for contributing structures:

- (aa) The proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;
- (bb) The proposed work will not have an adverse effect on the architectural features of the structure;
- (cc) The proposed work will not have an adverse effect on the historic overlay district; and
- (dd) The proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 06/9/2021
TIME: 5:30 pm
MEETING PLACE: Virtual

Applicant Name: Leslie Nepveux
Address: 5731 Swiss
Date of CA/CD/CR Request: 06/03/2021

RECOMMENDATION:

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve with the condition that additional details are provided that would illustrate how the balustrade,
deck, and balcony structure join together.

Task force members present

☒ Emily Stevenson (Chair) ☐ Kari Houston Osborn (Munger Alt.)
☐ Mark Guest (Prof) ☒ Kelly Gordon ☐ Richard Catron
☐ Wesley Powell ☒ Greg Johnston ☐
VACANT
☐ VACANT (MP alt)

Ex Officio staff members present : Melissa Parent ☒

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker: Greg Johnston

2nd: Emily Stevenson

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 06/9/2021

The task force recommendation will be reviewed by the Landmark Commission on Monday, June 7, 2021 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-484(MLP)
LOCATION: 6020 Swiss
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 14
ZONING: PD-63

PLANNER: Melissa Parent
DATE FILED: June 3, 2021
DISTRICT: Swiss Avenue
MAPSCO: 36-Y
CENSUS TRACT: 0014.00

APPLICANT: Andy & Jennifer Scripps

OWNER: FARELL HAROL DAN TR & LINDA TR

REQUEST:

Construct rear addition on main structure.

BACKGROUND / HISTORY:

The structure is listed as contributing to the Swiss Avenue Historic District.

PROJECT DESCRIPTION:

Construction of a rear addition on the main structure.

ANALYSIS:

The proposed addition will be completely in the rear and includes a covered balcony. This is an interior lot and the new construction will have minimal visible impact on the streetscape. Brick, cast stone arches, roofing, columns, and windows will match those existing on the structure. The applicant has proposed several French doors for the side and rear facades, which will not be visible. The light pattern in the doors will replicate the window light patterns. The roof of the addition has been stepped down to delineate the old from the new construction. The new addition also includes construction of a rear chimney, designed to match the chimney in the front of the structure. The proposal adheres to the ordinance and is compatible with the structure and the district.

STAFF RECOMMENDATION:

Construct rear addition on main structure. - Approve drawings and specifications dated 6/7/2021 with the finding the proposed work is consistent with the criteria for windows and doors in the preservation criteria Section 51P-63.116(1)(B) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Construct rear addition on main structure. – Approve as submitted

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA <u>201</u> - <u>484</u> (MLP)
Office Use Only

Name of Applicant: ANDY & JENNIFER SCRIPPS
Mailing Address: 6020 SWISS AVENUE
City, State and Zip Code: DALLAS TX, 75214
Daytime Phone: 214 632 3316 Alternate Phone: _____
Relationship of Applicant to Owner: OWNER

OFFICE USE ONLY
Main Structure:
<input checked="" type="checkbox"/> Contributing
<input type="checkbox"/> Non-contributing

PROPERTY ADDRESS: 6020 SWISS AVENUE
Historic District: SWISS AVENUE HISTORIC DISTRICT

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. DO NOT write "see attached."

FIRST FLOOR- RENOVATION W/ ADDITION OF A COVERED PORCH AT THE BACK OF THE HOUSE
SECOND FLOOR- RENOVATION W/ ADDITION OF A PRIMARY SUITE OVER EXISTING FIRST FLOOR
FAMILY ROOM AND ADDITION OF TERRACE OVER THE COVERED PORCH
ROOF - A NEW ROOF OVER PRIMARY SUITE ADDITION, ROOF SLOPE TO MATCH EXISTING
* FURTHER DETAIL INFORMATION ON SCOPE INCLUDED

Signature of Applicant: Andrew Scripps Date: 06.02.21

Signature of Owner: Andrew Scripps Date: 06.02.2021
(IF NOT APPLICANT)

APPLICATION DEADLINE: 03 2021

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

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OTHER:

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☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes ☐ No

Sustainable Construction and Development

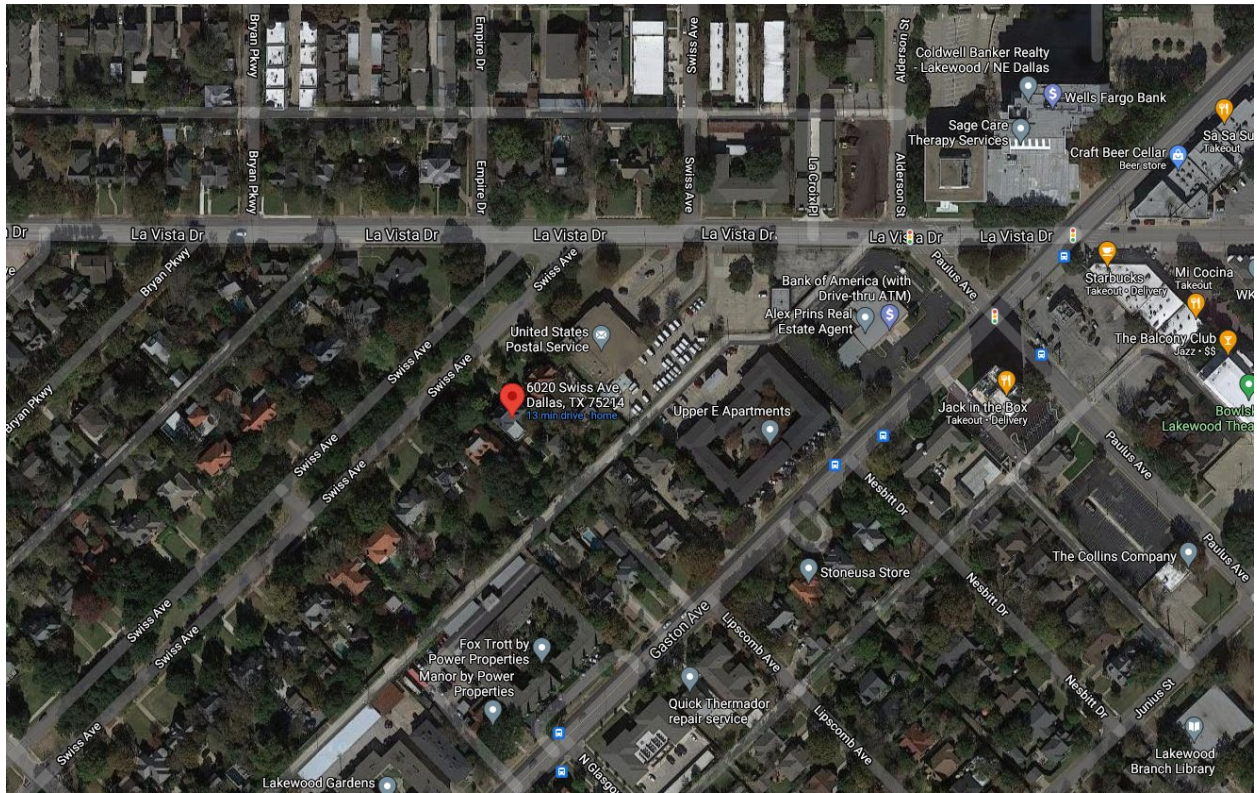
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 061419



Aerial image



Main Structure



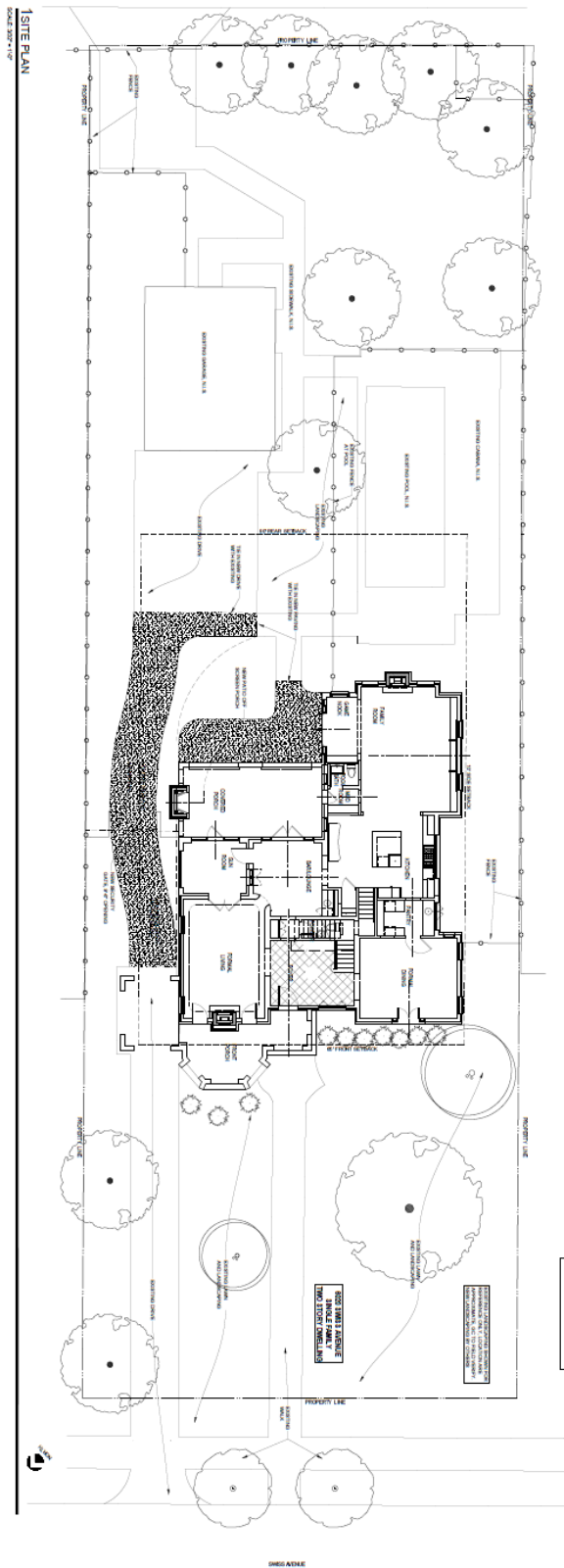
Property adjacent to the right



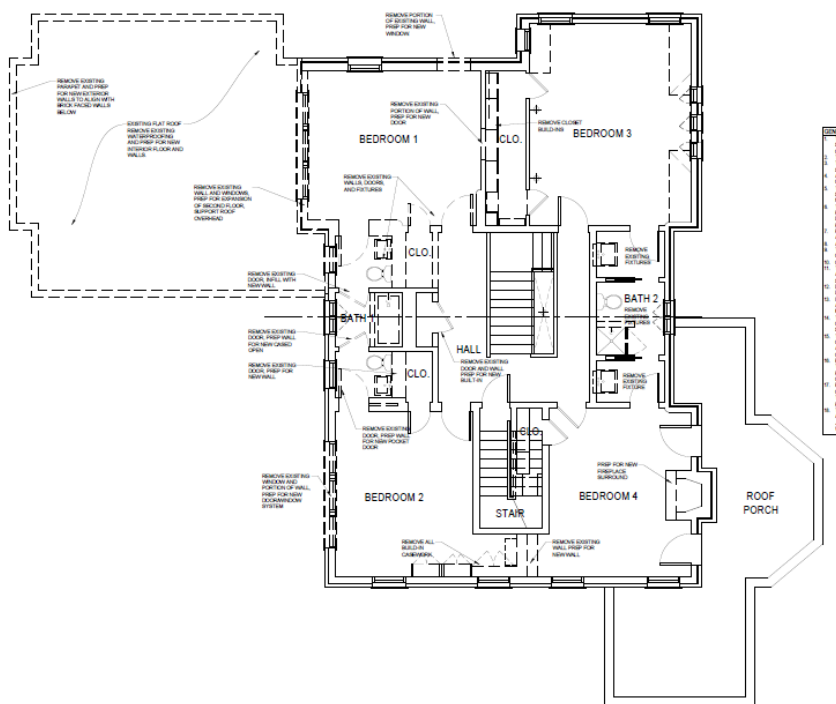
Property adjacent to the left



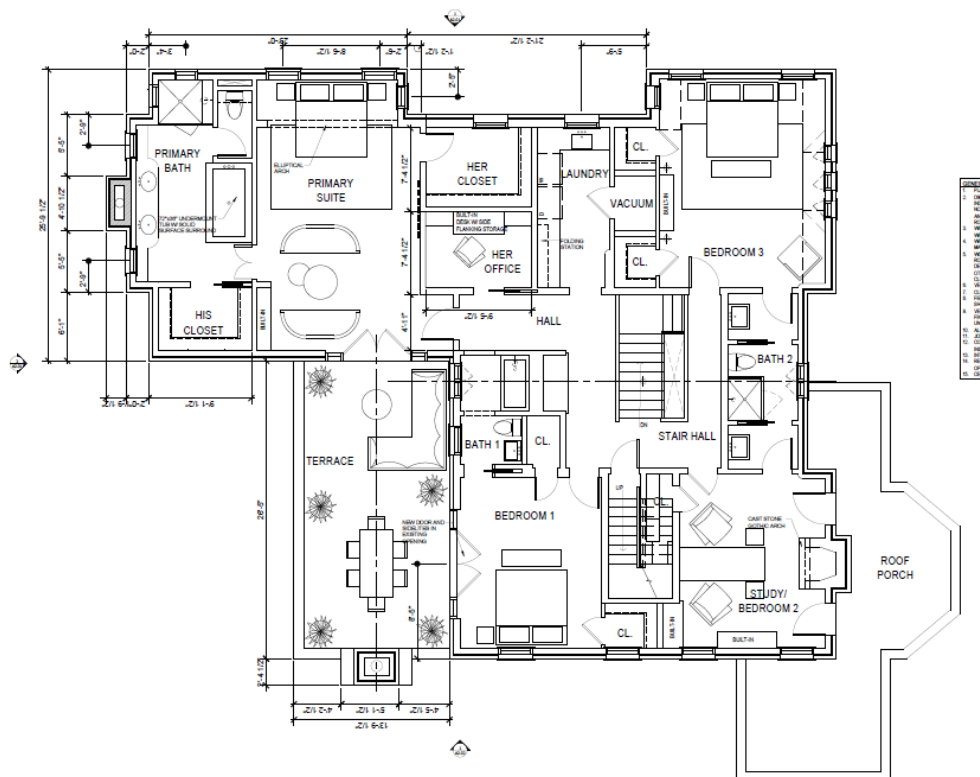
View across Swiss



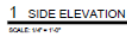
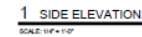
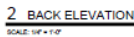
Site plan



Existing 2nd floor plan



Proposed 2nd floor plan



C12-10



INTERIOR

EXTERIOR

Features of the Ultimate Double Hung G2 Window

- Available in heights up to 10.5 feet or widths up to 5.5 feet
- Marvin's exclusive auto-lock activates when sashes are closed for convenient security
- Unique wash mode allows cleaning of both sides of glass from indoors
- Narrow checkrail maximizes view, while maintaining historical accuracy
- Retractable screen option is nearly invisible when the screen is not in use
- Available with the same features in a single hung style, with optional Lift Lock
- Additional configurations include round top, stationary transom or picture window
- Hidden Lock Status Sensor option connects with your smart home to indicate when windows are closed and locked
- Available with IZ3 coastal/hurricane certification
- Available with Commercial Windows Performance certification
- CE certified

Window specification

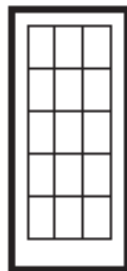
MARVIN SIGNATURE™ COLLECTION | ULTIMATE

1 3/4" INSWING / OUTSWING FRENCH DOOR

6-8 HEIGHT

Clad MO (mm)	3-1 15/16 (946)
Wood MO (mm)	3-4 9/16 (1030)
RO (mm)	3-2 7/16 (976)
FS (mm)	3-1 7/16 (951)
DLO (mm)	2-1 19/32 (650)

6-10 1/4 (2089)	3068
6-11 9/16 (2122)	3070
6-10 1/2 (2096)	3080
6-10 (2083)	3090
5-6 5/8 (1680)	



3068
3070
3080
3090

Door specification

CA201-484(MLP)

C12-12

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

Section 51P-63.116(1) Building placement, form, and treatment

(B) Additions. All additions to a building must be compatible with the dominant horizontal or vertical characteristics, scale, shape, roof form, materials, detailing, and color of the building.

CONTRIBUTING STANDARDS:

Standards for contributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i):

The landmark commission must approve the application if it determines that:

(i) for contributing structures:

(aa) The proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;

(bb) The proposed work will not have an adverse effect on the architectural features of the structure;

(cc) The proposed work will not have an adverse effect on the historic overlay district; and

(dd) The proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 06/9/2021
TIME: 5:30 pm
MEETING PLACE: Virtual

Applicant Name: Andy & Jennifer Scripps
Address: 6020 Swiss
Date of CA/CD/CR Request: 06/03/2021

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve as submitted

Task force members present

☒ Emily Stevenson (Chair) ☐ Kari Houston Osborn (Munger Alt.)
☐ Mark Guest (Prof) ☒ Kelly Gordon ☐ Richard Catron
☐ Wesley Powell ☒ Greg Johnston ☐
VACANT
☐ VACANT (MP alt)

Ex Officio staff members present : Melissa Parent ☒

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Greg Johnston

2nd: Emily Stevenson

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 06/9/2021

The task force recommendation will be reviewed by the Landmark Commission on Monday, June 7, 2021 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-478(MLP)
LOCATION: 130 N Montclair
STRUCTURE: Main & Accessory, Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87

PLANNER: Melissa Parent
DATE FILED: June 3, 2021
DISTRICT: Winnetka Heights
MAPSCO: 54-E
CENSUS TRACT: 0046.00

APPLICANT: Lucinda Dodds

OWNER: ASTON CUSTOM HOMES & DESIGN INC

REQUEST:

Paint main and accessory structures. Brand: Sherwin Williams. Main: SW0032 "Needlepoint Navy." Trim: SW2832 "Colonial Revival Gray." Accent: SW7674 "Peppercorn."

BACKGROUND / HISTORY:

The structure is listed as contributing to the Winnetka Heights Historic District.

PROJECT DESCRIPTION:

The proposed scope of work consists of a new paint scheme for the main and accessory structure.

ANALYSIS:

The proposed work would maintain the maximum 3 colors per the ordinance, and the proposed colors are compatible with the district. While slightly darker than the existing color palette, other color schemes on the block face are predominantly tones in yellow and white, along with several red brick structures, and the proposed colors will lend to some variety on the block.

STAFF RECOMMENDATION:

Paint main and accessory structures. Brand: Sherwin Williams. Main: SW0032 "Needlepoint Navy." Trim: SW2832 "Colonial Revival Gray." Accent: SW7674 "Peppercorn." - Approve drawings and specifications dated 6/7/2021 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section

51P-87.111(a)(8)(C) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Paint main and accessory structures. Brand: Sherwin Williams. Main: SW0032 "Needlepoint Navy." Trim: SW2832 "Colonial Revival Gray." Accent: SW7674 "Peppercorn." - Colors approved as submitted. Provide clarity on color locations, provide key notes and legend. Provide photos of surrounding neighbor house color schemes

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 201-478 (MLP)
Office Use Only

Name of Applicant: Lucinda Dodds
Mailing Address: 130 N. Montclair Ave
City, State and Zip Code: Dallas TX 75208
Daytime Phone: 469.544.6554 Alternate Phone: 214 726-6222
Relationship of Applicant to Owner: Owner

OFFICE USE ONLY

Main Structure:

☒ Contributing

☐ Non-contributing

PROPERTY ADDRESS: 130 N. Montclair
Historic District: Winnexa Heights

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. DO NOT write "see attached."

Painting exterior of house and garage
using slightly darker versions of existing
colors. Currently colors are: Body - light blue;
Trim - egg shell, trim - gray. (Propose
Body - Needlepoint Navy SW 6032; Trim - Colonial Revival
Gray SW 6832; accent - Peppercorn SW 7674

Signature of Applicant:

Date:

Signature of Owner:

Date:

(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214-670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes ☐ No

Sustainable Construction and Development

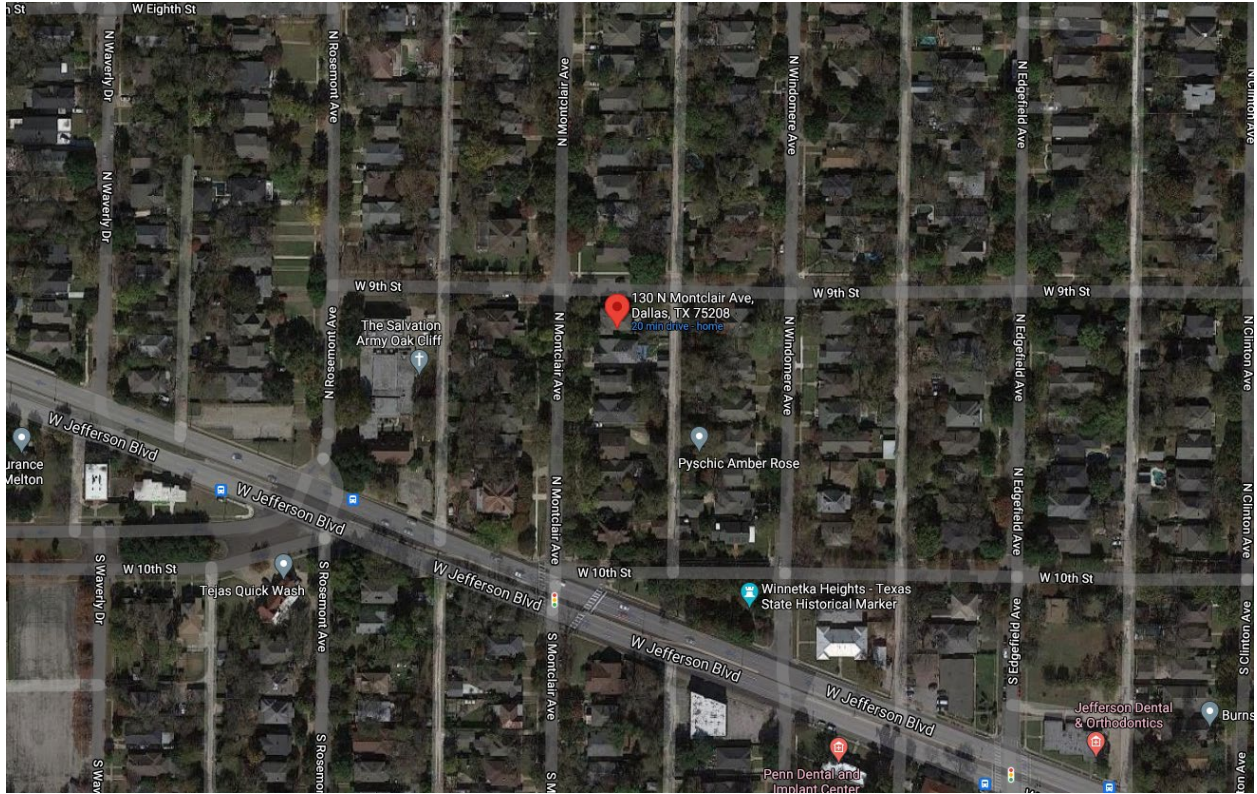
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 061419



Aerial image



Main Structure



Property adjacent to the right



View across N Montclair

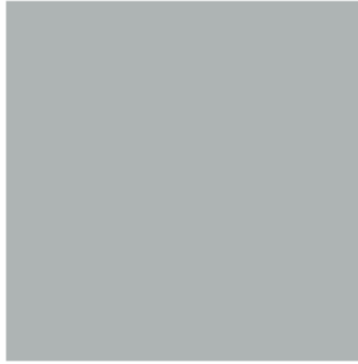


View across W 9th St.



Needlepoint Navy SW 0032...
sherwin-williams.com

Body color



Colonial Revival Gray SW 283...
sherwin-williams.com

Trim



Peppercorn SW 7674 - Neut...
sherwin-williams.com

Accent



Existing color scheme

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

CONTRIBUTING STANDARDS:

Standards for contributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i):

The landmark commission must approve the application if it determines that:

(i) for contributing structures:

- (aa) The proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;
- (bb) The proposed work will not have an adverse effect on the architectural features of the structure;
- (cc) The proposed work will not have an adverse effect on the historic overlay district; and
- (dd) The proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

**A TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 06/09/2021

TIME: 5:30pm

MEETING PLACE: Virtual

APPLICANT NAME: Lucinda Dodds

PROPERTY ADDRESS: 130 N Montclair

DATE of CA / CD REQUEST: 06/03/2021

RECOMMENDATION:

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

1. Colors approved as submitted
2. Provide clarity on color locations, provide key notes and legend
3. Provide photos of surrounding neighbor house color schemes

Task force members present

<input checked="" type="checkbox"/> Alfredo Pena	<input checked="" type="checkbox"/> Mia Ovcina	<input type="checkbox"/> Michelle Walker
<input checked="" type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Nicholas Dean	<input type="checkbox"/> VACANT (LC Resident)
<input checked="" type="checkbox"/> Jeff Cummings (Chair)	<input type="checkbox"/> Amber Teague	<input type="checkbox"/> VACANT (LC Alt)

Ex Officio staff members present ☒ Melissa Parent

Simple Majority Quorum: ☒ yes ☐ no

Maker: Fred

2nd: Jeff

Task Force members in favor: all

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force	Jeff Cumming	DATE 06/09/2021
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The task force recommendation will be reviewed by the Landmark Commission on Monday, July 6, 2021 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-493(JKA)
LOCATION: 5833 Columbia
STRUCTURE: Main/Garage, Noncontributing
COUNCIL DISTRICT: 14
ZONING: PD No. 397

PLANNER: Jennifer Anderson
DATE FILED: June 3, 2021
DISTRICT: Junius Heights
MAPSCO: 46-C
CENSUS TRACT: 0013.01

APPLICANT: Steel Toe Stiletto

REPRESENTATIVE: Tam Pham

OWNER: GALAVIZ JUAN CARLOS & ROSA MARIA

REQUEST(S): Construct main and accessory structure.

BACKGROUND / HISTORY: The previous home on the site had been built in 1979 and was destroyed due to fire in December 2020. The Landmark Commission approved a request for a certificate for demolition in April 2021.

PROJECT DESCRIPTION: Construct main and accessory structure.

RELEVANT PRESERVATION CRITERIA:

New Construction – Section 8 (Tract D)

New construction in Tract D must be in Prairie or Craftsman style, typical to contributing main buildings within this tract. Massing, solid-to-void ratios, details, color, and general appearance of new construction must be compatible with the selected historic style. Height and width must not exceed existing structures on the blockface, and setbacks should match the average setbacks for the blockface. Chimneys visible from a public street must be clad in masonry.

Accessory structures – Section 9

Must be compatible with the scale, shape, roof form, materials, detailing, and color of the main building (9.2). Accessory structures must be located at least 8-0' from the main structure (9.3). The eave height of the accessory structure cannot be higher than the eave height on the main building (9.6).

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES

Standards for Rehabilitation

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

ANALYSIS: The main structure is proposed to be 1884 sq. ft. and the garage is proposed to be 554.6 sq. ft., bringing the total lot coverage to 30%. The maximum lot coverage allowed in Junius Heights is 45%. The proposed setbacks for the main and accessory structure meet the ordinance requirements, and the contextual site plan illustrates that the height, width, and front yard setbacks are compatible with the averages for existing structures on the blockface. The average height and width of structures on the blockface is between 17' and 22,' and 40', respectively. The height and width proposed for the main structure is 19'8" (height) and 40'11" (width).

The Junius Heights ordinance states that new construction in Tract D must be either Prairie Style or Craftsman style in keeping with the majority of contributing structures in the district (Section 8.3(d)). The style proposed is Spanish Eclectic inspired, which is not as common in Tract D as Prairie Style or Craftsman, and would create a false sense of development by introducing an atypical style to the area. The majority of the structures along the blockface are non-contributing, although the property next door is a contributing structure. While the proposed style is not compatible with the Junius Heights preservation criteria, the effects would be moderate since there are no contributing Craftsman style structures on this particular block to provide context to the dominance of this style elsewhere in the historic district; however, there are also no examples of Spanish Eclectic style structures on this block, so the introduction of this style would stand out as an anomaly that is not characteristic of the blockface.

The proposed structure includes details found in Spanish Eclectic style architecture and is to include furred-out window casings, stucco cladding, roof tiles above the front windows, and other elements of the style; however, several details proposed are uncharacteristic of the style. The proposed tiles above the window openings on the front façade do not match the proposed composition shingles on the roof, and historically the roof would have likely had clay roof to match tiles above window and door openings. The solid-to-void ratio and relationship of the gables to the fenestration design on the front, west, and east elevations are not typical of Spanish Eclectic style and leave large expanses of negative space between window and door openings. This is uncharacteristic of contributing structures in the area such as the house directly next door, although it is more characteristic of other non-contributing structures on this blockface. Perpetuating uncharacteristic issues known to be common to non-contributing structures on a newly built structure would have an adverse effect on the predominant traditional character of the historic overlay district.

The proposed garage is 554.6 sq. ft. and is proposed to be 15'6" tall, which is shorter than the main structure by 4 feet. The massing, height, and width is appropriate and subservient to the main structure; however, the exterior material is proposed to be Cemplank. The preservation criteria states that cementitious material is allowed on accessory structures only when it is in keeping with the main structure, and the proposed cladding is not compatible with the stucco exterior or style proposed for the main structure. The effect of the accessory structure on the historic district would be moderate since it will be visible from the public right of way, but is set back from the street in the rear yard.

STAFF RECOMMENDATION(S): Construct main and accessory structure – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 8.3(d), 8.4, and 9.5.

TASK FORCE RECOMMENDATION(S): Construct main and accessory structure – None. **NOTE:** *The motion to approve the new main and accessory structures failed due to a tied vote and Task Force did not make another motion before ending the meeting.*

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA	-	[]
Office Use Only			

Name of Applicant: STEEL TOE STILETTO LLC/TAM PHAM
Mailing Address: 1914 SKILLMAN ST. #110183
City, State and Zip Code: DALLAS TX 75206
Daytime Phone: 214533-1706 Alternate Phone: _____
Relationship of Applicant to Owner: CONTRACTOR

OFFICE USE ONLY
Main Structure:
____ Contributing
____ Non-contributing

PROPERTY ADDRESS: 5833 COLUMBIA
Historic District: JUNIUS HEIGHTS

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

BUILD NEW IN-FILL STRUCTURE PER PLANS (NEW
STRUCTURE REPLACES A NON-CONTRIBUTING BUILDING)
IN CONTRIBUTING STYLE LISTED IN JUNIUS HEIGHTS
ORDINANCE

Signature of Applicant: _____ Date: 5/29/21

Signature of Owner: _____ Date: 5/29/21
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ____ Yes ____ No

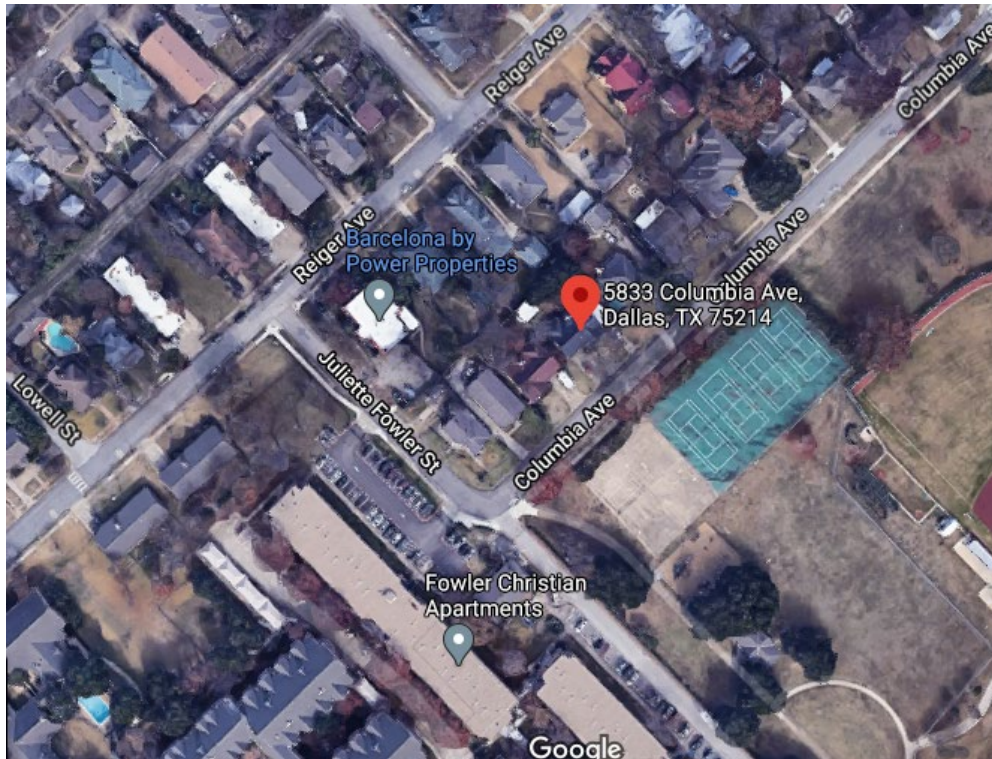
Office of Historic Preservation

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 010220



Aerial image



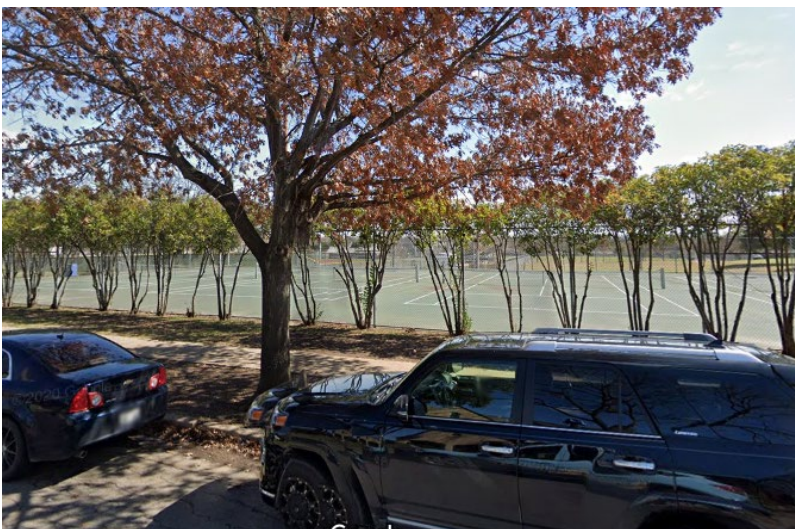
Main structure



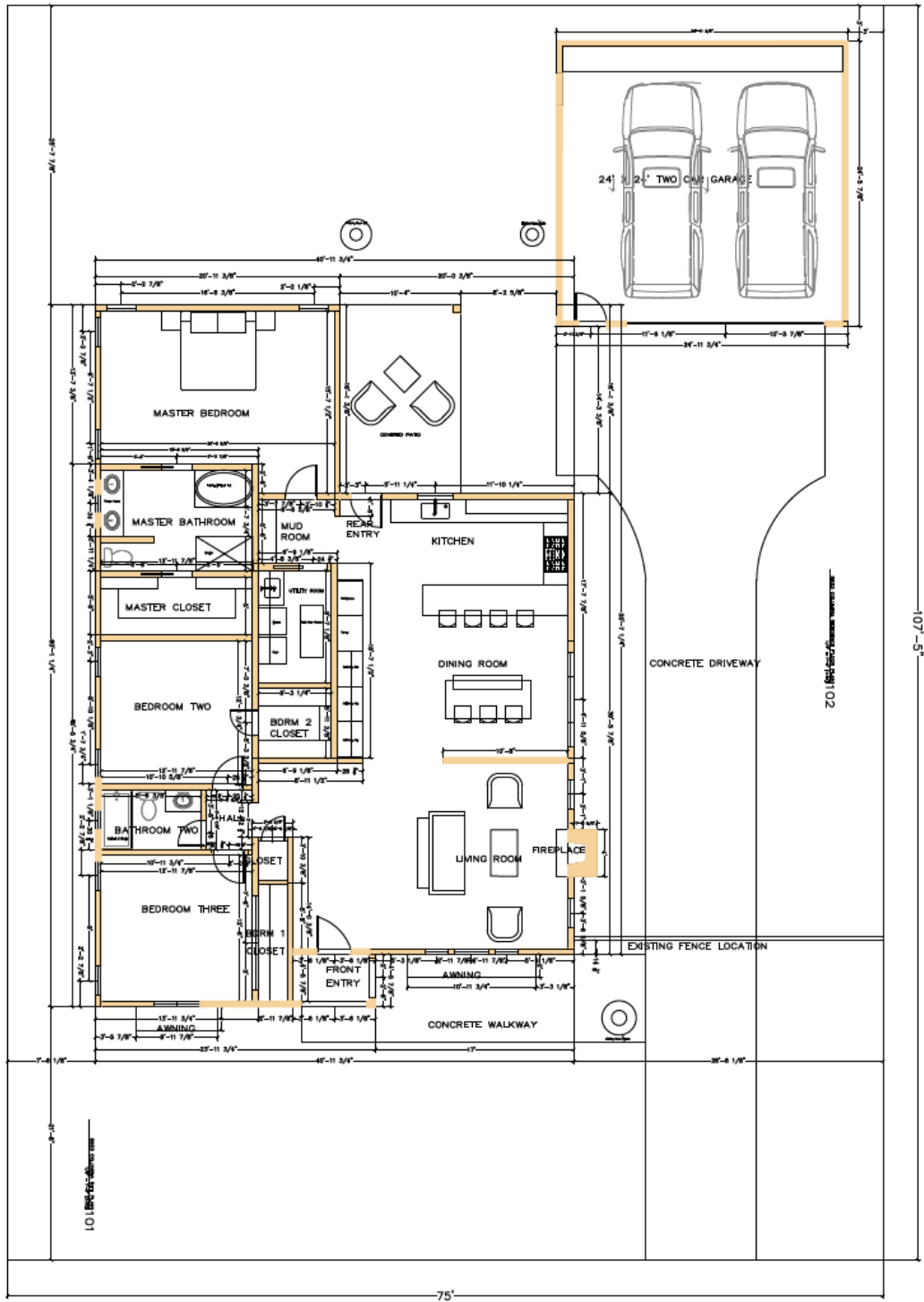
To left



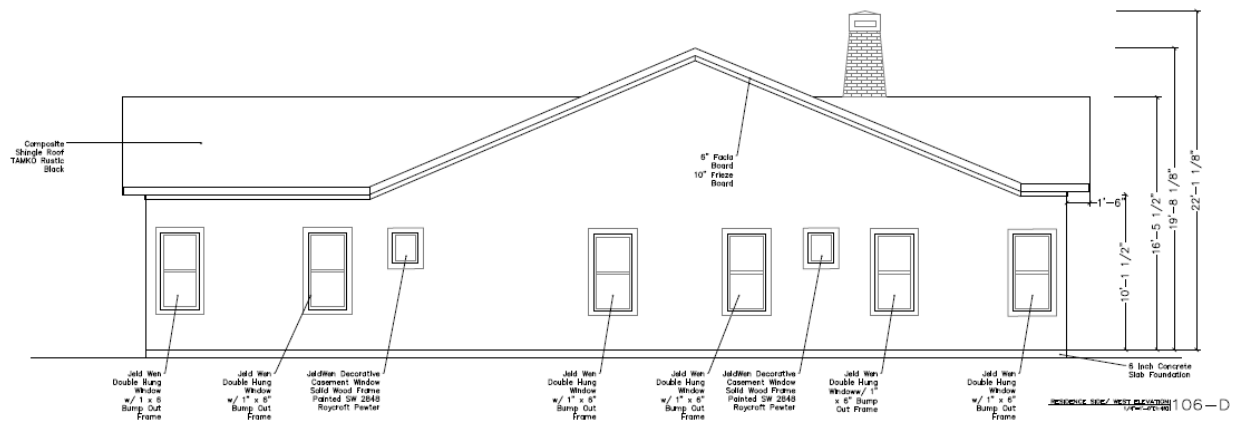
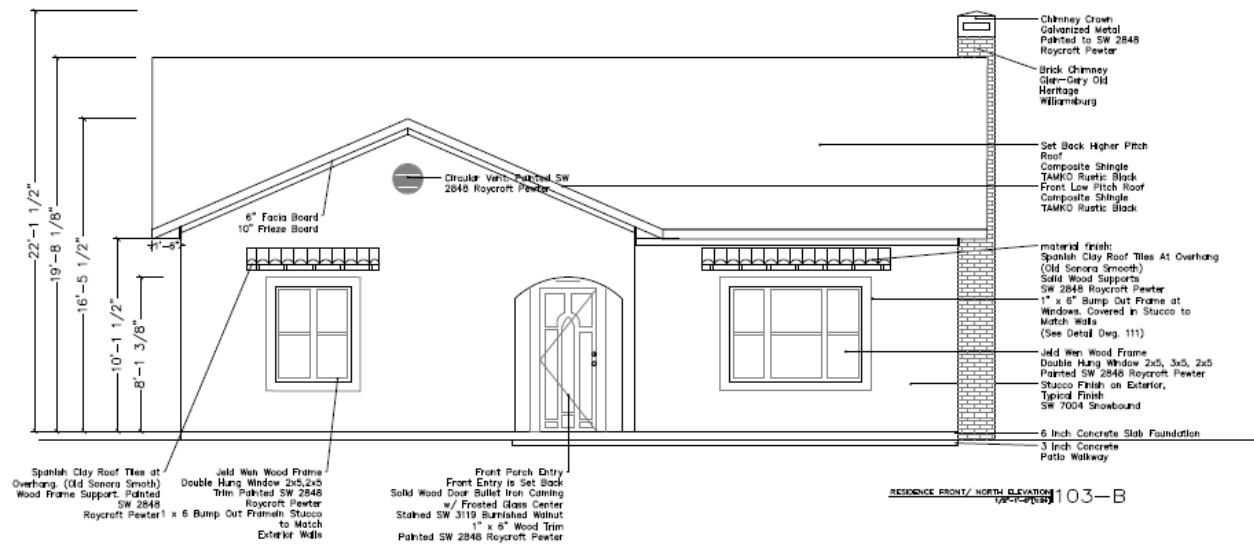
To right

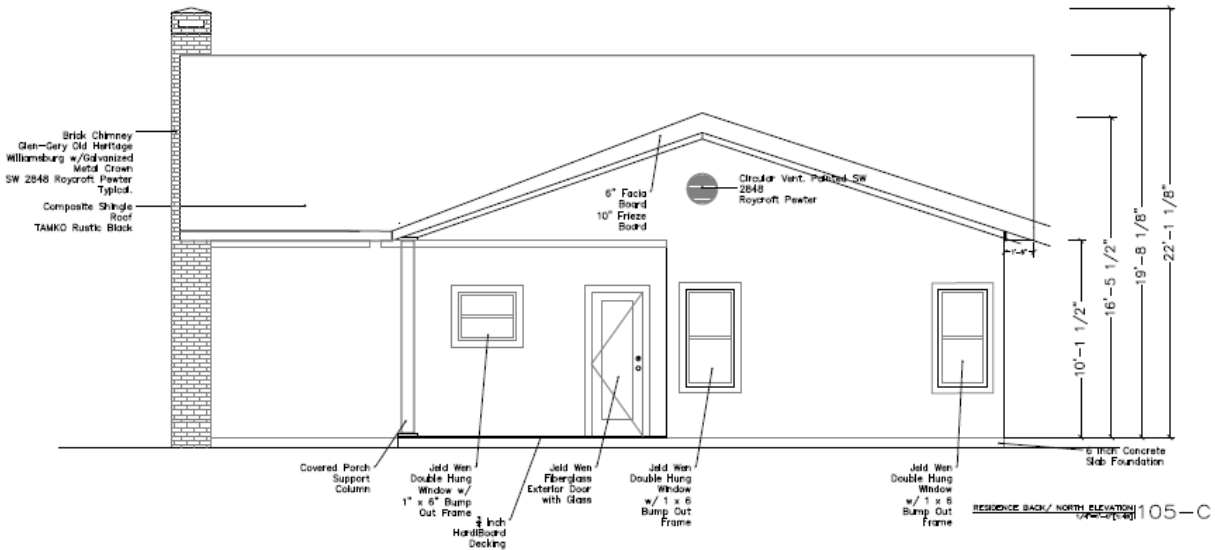
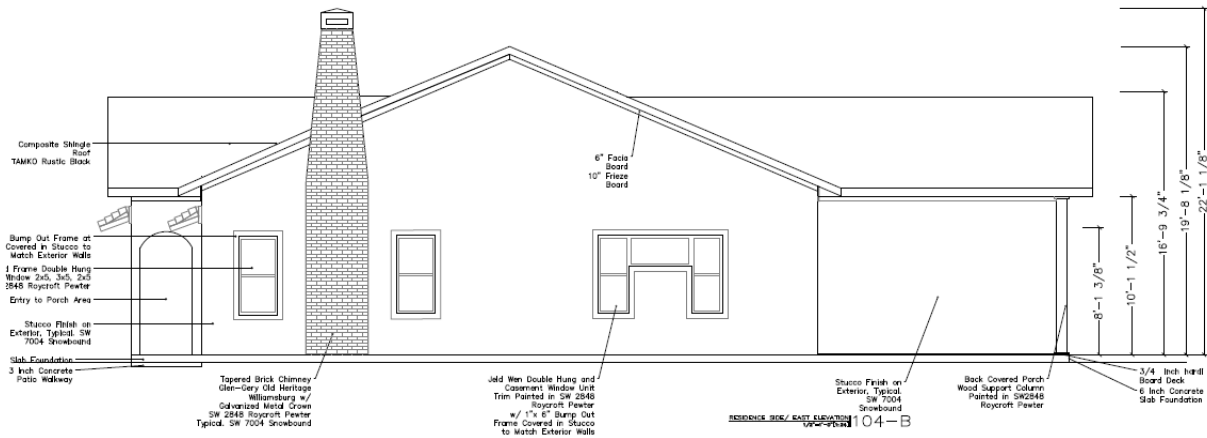


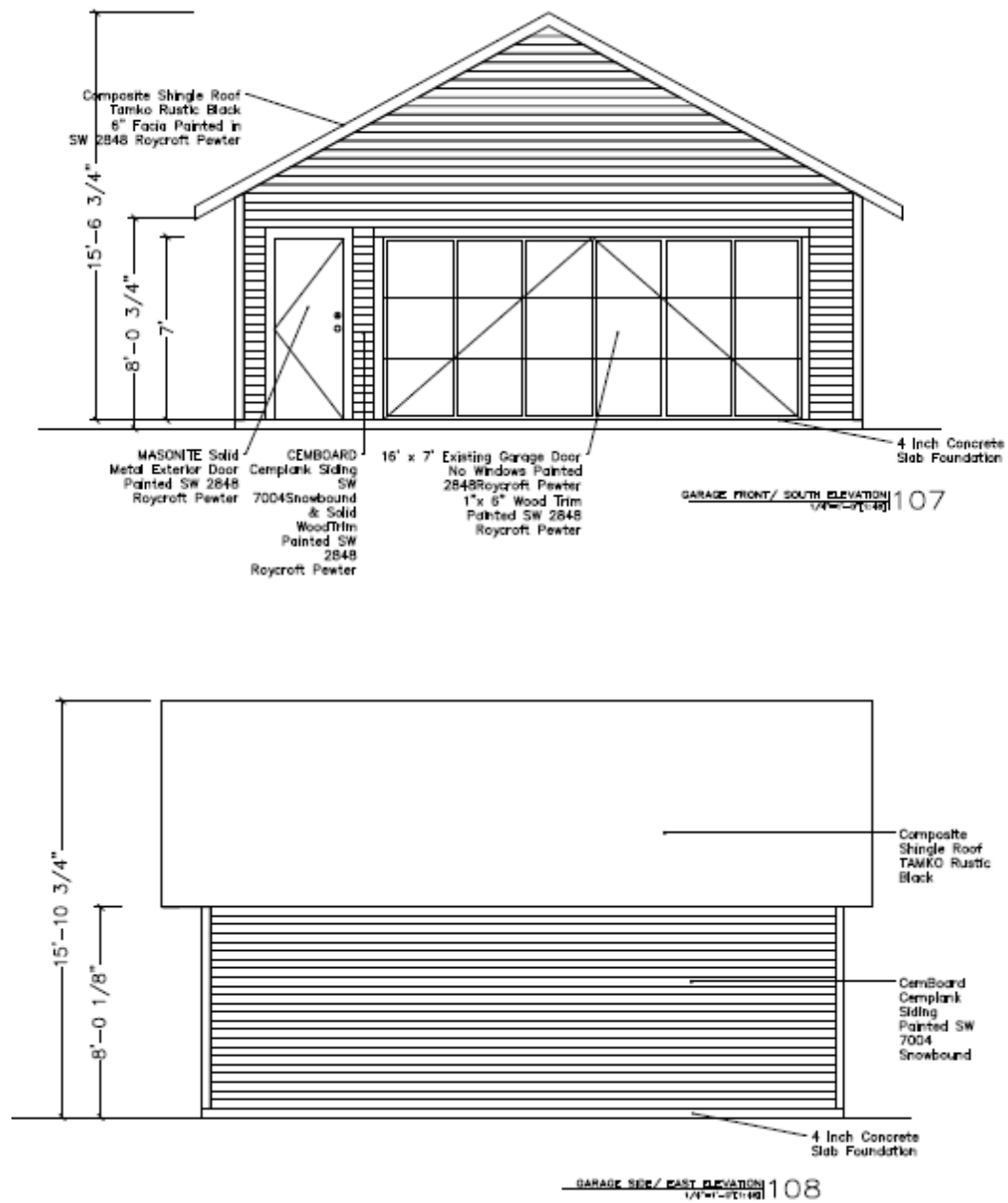
Across street

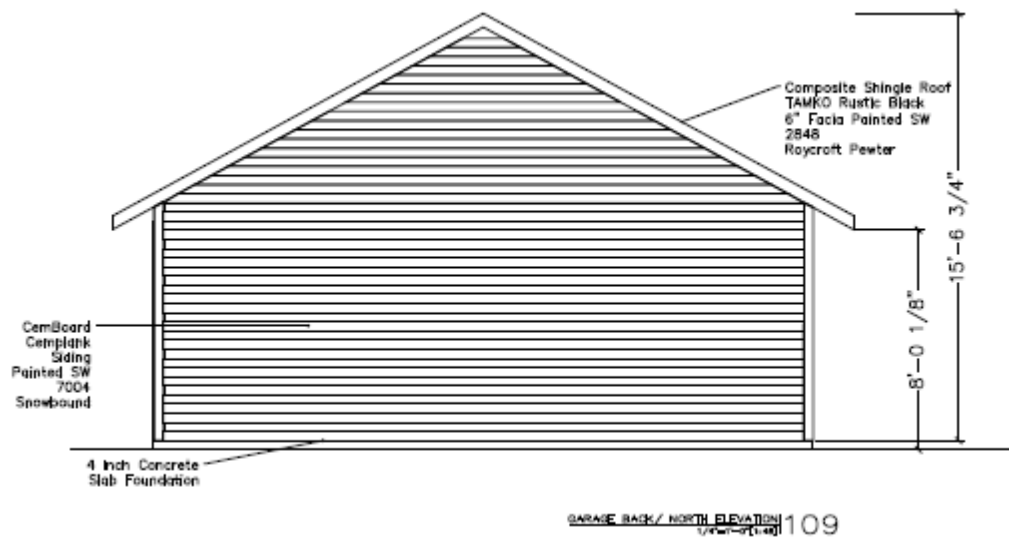
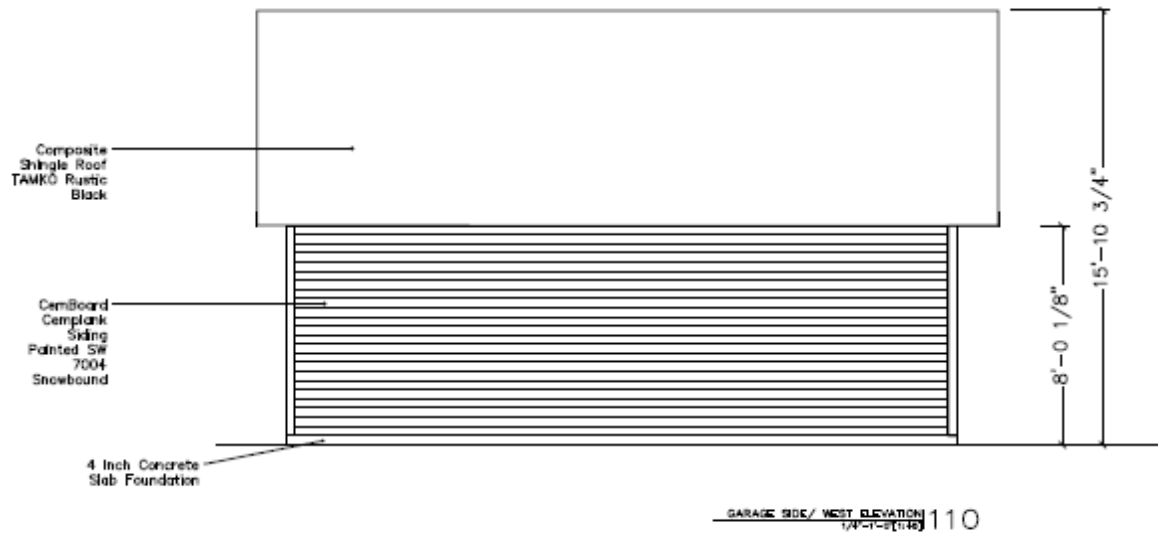


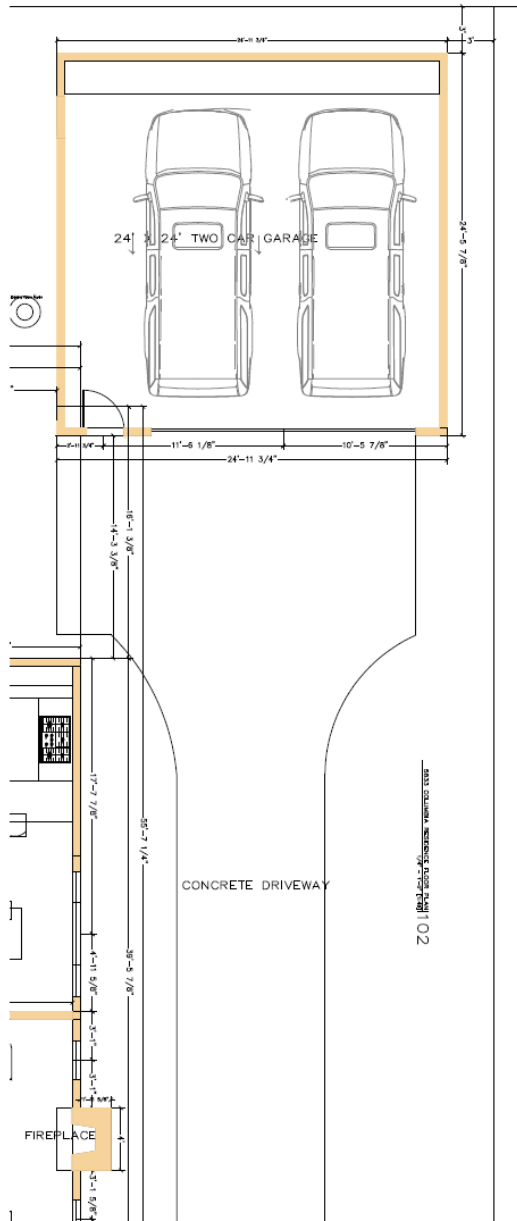
Site plan

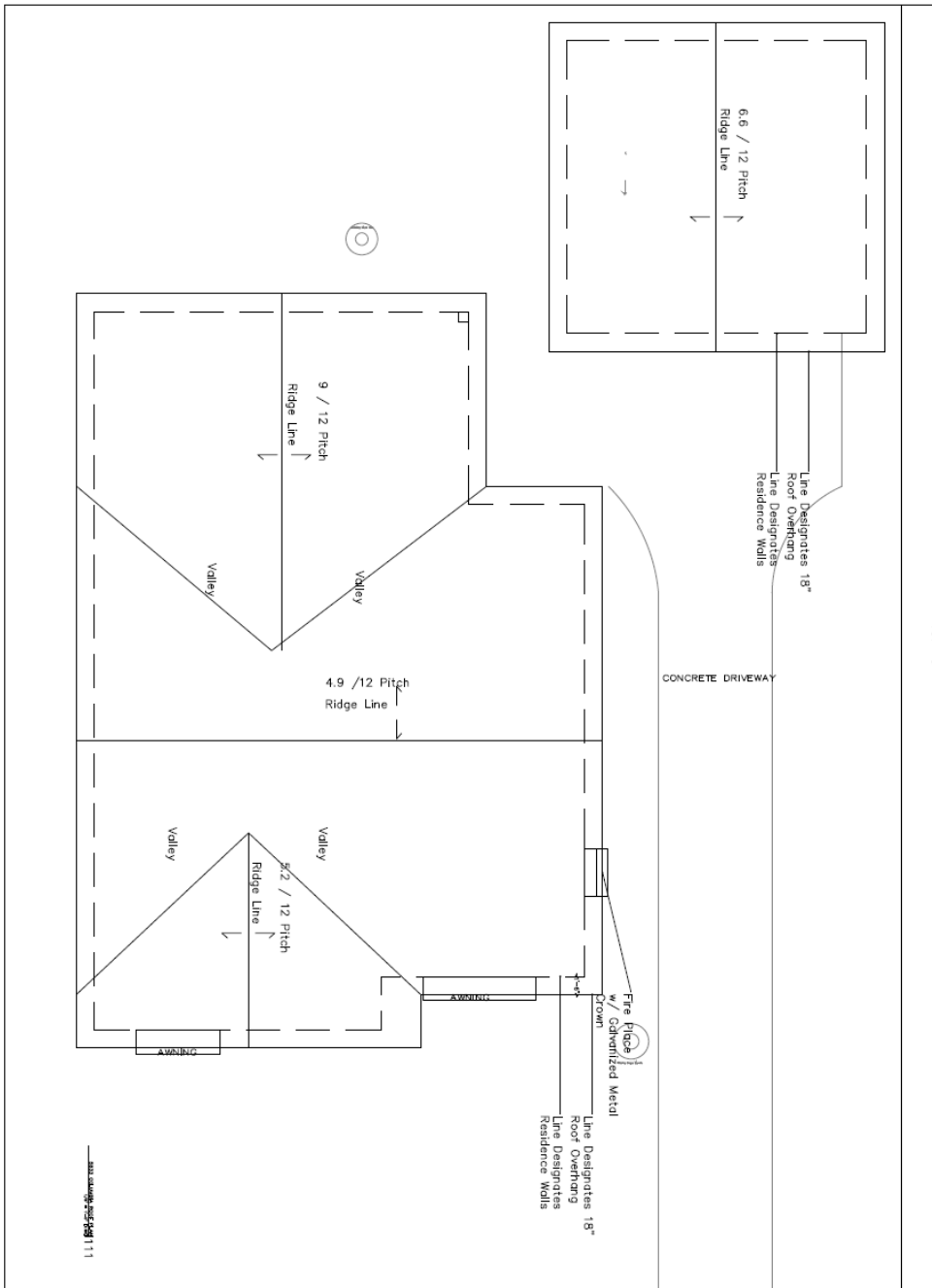


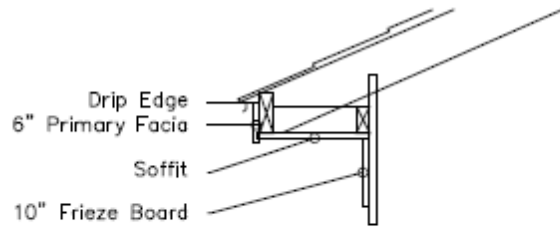




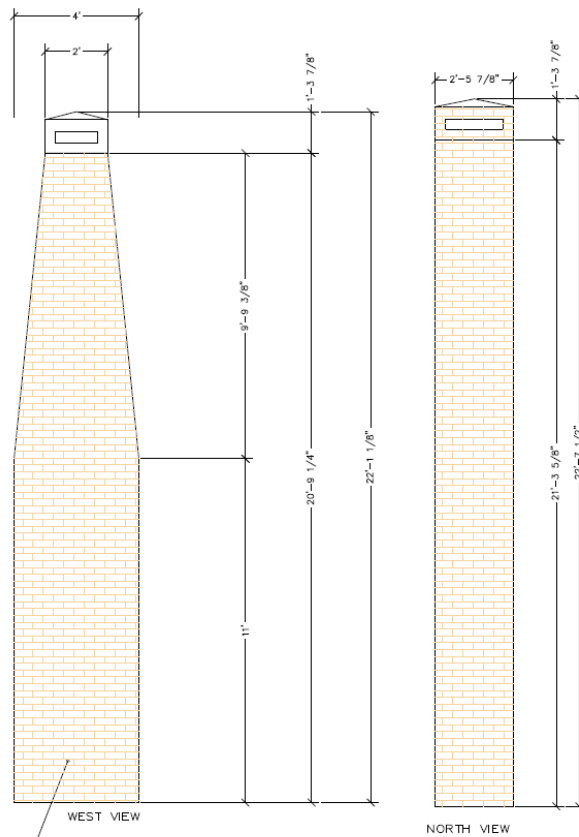








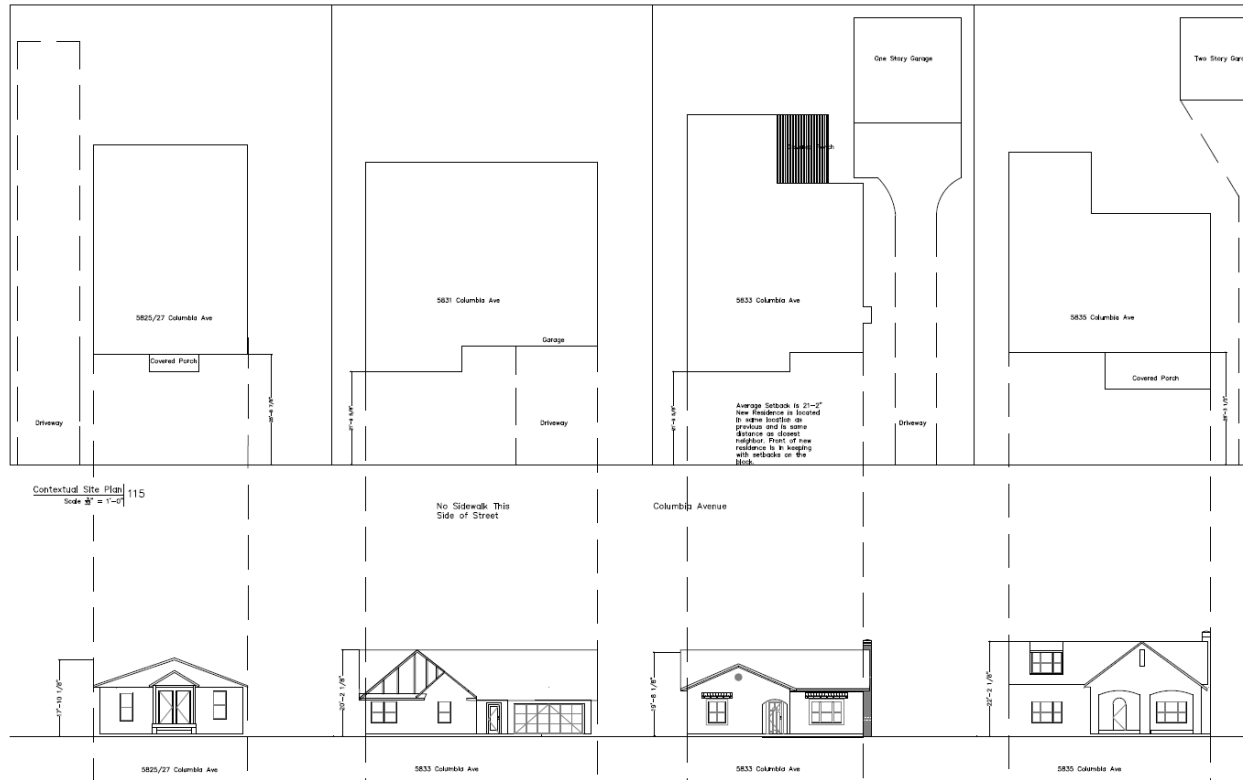
ROOF EAVE DETAIL 114 1/2"=1'-0"



Brick Chimney Glen-Gery Old
Heritage Williamsburg w/
d Metal Crown Painted to SW
2848 Roycroft Pewter

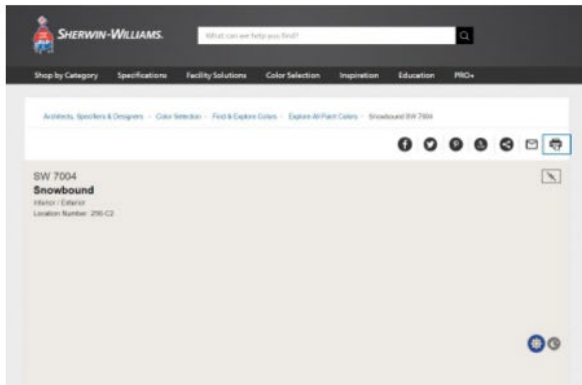
CHIMNEY DETAIL 112 1/2"=1'-0"

Detail drawings

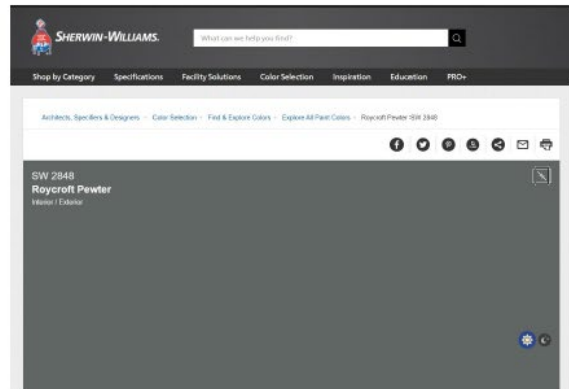


Exterior Paint chips

Stucco color



Trim/accent

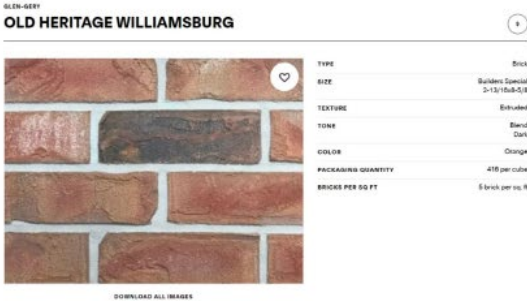


Tamko Heritage Rustic Black



Masonry accents

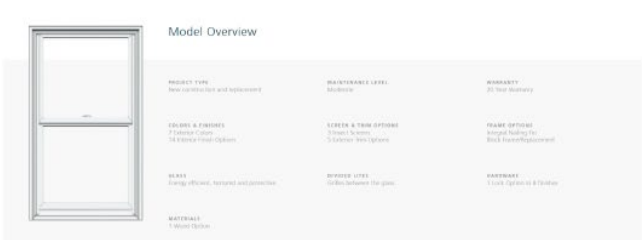
Chimney Brick



Clay roof tile



Jeld Wen 2500 wood windows



Front door – solid wood bullet door

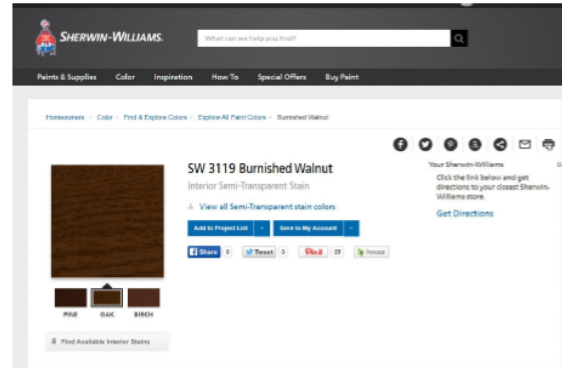
Door



Welcome home nature with this solid core wood entry door. Get maximum privacy with the bullet design without any glass. This prehung door and preassembled jamb can be stained, painted or clear coated. Choose from satin nickel or oil rubbed bronze for the hinges and threshold. This door is assembled in house and comes standard with a double bore or single bore per request. This door ships nationwide or can be picked up from our door showroom.

Door is 1-3/4 in. thick
Overall dimensions with the frame are 37 3/4 in. x 82 3/4 in.
This unfinished door can be stained or painted.
[Click here for Door Care Instructions and Warranty Information](#)
[Click here to Shop Exterior Door Handles](#)
[Click here for video How to Measure your Door](#)

Front door stain color



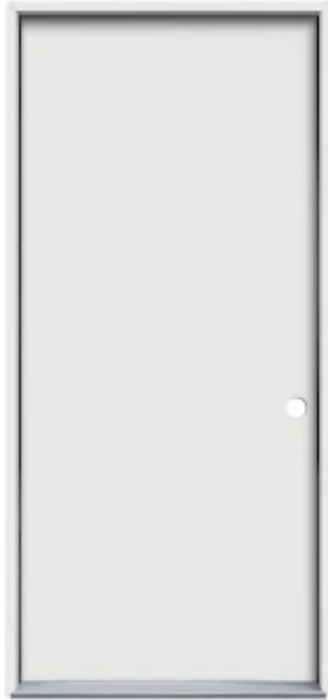
Back door

Jeld Wen Full light door



Garage Passage door

Jeld Wen



Garage siding



The Cemboard® Siding Advantage
Fiber Cement Performance

- Home
- Products
- Product Performance
- Installation Requirements
- FAQ
- Contact Us

Resistant to Termite Damage
Durable
Non-Combustible
Easy to Install & Finish
Moisture Resistant

[Contact Us](#) / [Terms & Conditions](#) / [Privacy Policy](#)



Products

Cemplank® Lap Siding

[Installation Guidelines](#) | [Warranty](#) | [MSDS](#)

Cemplank lap siding is an attractive and durable alternative to vinyl and wood-based siding. The cedar grain texture of Cemplank lap siding provides a wood appearance with proven fiber cement performance. Cemplank lap siding comes with a 26 year limited product warranty including non-prorated coverage for the first 10 years.



Cemplank lap siding is primed and ready for you to paint in the color of your choice to enhance the beauty of your home.

Available texture and sizes:
Texture: Traditional Cedar
Thickness: 5/16"
Sizes: 6 1/4", 7 1/2", 8 1/4", 9 1/2", 12"
Subject to availability by market.

© 2015 JHBP. All rights reserved.

Similar scheme to 703 Glasgow



Similar brick chimney & stucco exterior



PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

[Request #X: Section No.]

[Paste preservation criteria]

TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: June 10, 2021
TIME: 5:30
MEETING PLACE: Virtual

Applicant Name: Steel Toe Stiletto/Tam Pham
Address: 5833 Columbia
Date of CA/CD Request: 5/29/21

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Split decision on applicant's request. Motion was made to approve because (1) the proposed Spanish electric house is a contributing style in the Junius Heights Historic District and (2) the house that was destroyed was non-contributing.

Motion by Rene Schmidt, seconded by Terri Raith. In Favor: Schmidt, Raith, Mesh
Opposed: Graham, Aveton, Cohen

Reason for Opposition: Tract D only allows Prairie and Craftsman Structures.

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt	<input checked="" type="checkbox"/> Noel Aveton	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Terri Raith	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Eric Graham	<input checked="" type="checkbox"/> Barbara Cohen	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Jennifer Anderson

Simple Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Rene Schmidt
2nd: Terri Raith

Task Force members in favor:

Task Force members opposed:

Basis for opposition: Tract D only allows Prairie and Craftsman Structures

CHAIR, Task Force *Rene Schmidt*

DATE June 10, 2021

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-492(JKA)
LOCATION: 5603 Reiger Avenue
STRUCTURE: Main, Non-contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 397

PLANNER: Jennifer Anderson
DATE FILED: June 3, 2021
DISTRICT: Junius Heights
MAPSCO: 46-C
CENSUS TRACT: 0013.01

APPLICANT: Ryan Casse

OWNER: ALEKHINE ALEX N & LARISSA

REQUEST(S): Install 8' cedar fence in the side and rear yard. Work completed without a Certificate of Appropriateness.

BACKGROUND / HISTORY: No fence has been located in the cornerside or rear yard since at least 2007 according to Google Streetview (see page 10 of this report). A chain link fence was located in the interior side yard. The existing 8' wood fence was constructed without a Certificate of Appropriateness.

PROJECT DESCRIPTION: Approval is sought to retain an 8' wood fence that was installed in the cornerside, side, and rear yard without a Certificate of Appropriateness.

RELEVANT PRESERVATION CRITERIA:

The property is non-contributing, so work must be compatible with the historic overlay district in order to be approved (51A-4.501(g)(6)(C)(ii)).

ANALYSIS:

The cornerside façade fronts Beacon Street. The majority of properties with cornerside facades along Beacon Street do not have fences in front of their corner facades (please see pages 11-14 of this report). There is a chain-link fence in front of the cornerside façade on the property across Beacon Street, but this was installed prior to the establishment of the district and chain link is not considered an appropriate fence material per the Junius Heights ordinance so this is not a typical condition. The most typical condition for fences in front of cornerside facades along this stretch of Beacon Street is to be set back behind the cornerside façade, so the fence as built is not compatible with

the historic overlay district. This structure is located on an intersection that is a primary entrance point to the Junius Heights Historic District from Columbia Avenue. Fences do not contribute to the character of the streetscape, and the proposed work would reinforce a distracting element in an area of high visibility from the public right-of-way that would produce an adverse effect on the streetscape and on the character and appearance of the district. The applicant did not present evidence of safety concerns to justify additional fence coverage at this location, and there are no windows in the front 50% of the cornerside façade. There are windows in the rear 50% of the cornerside façade.

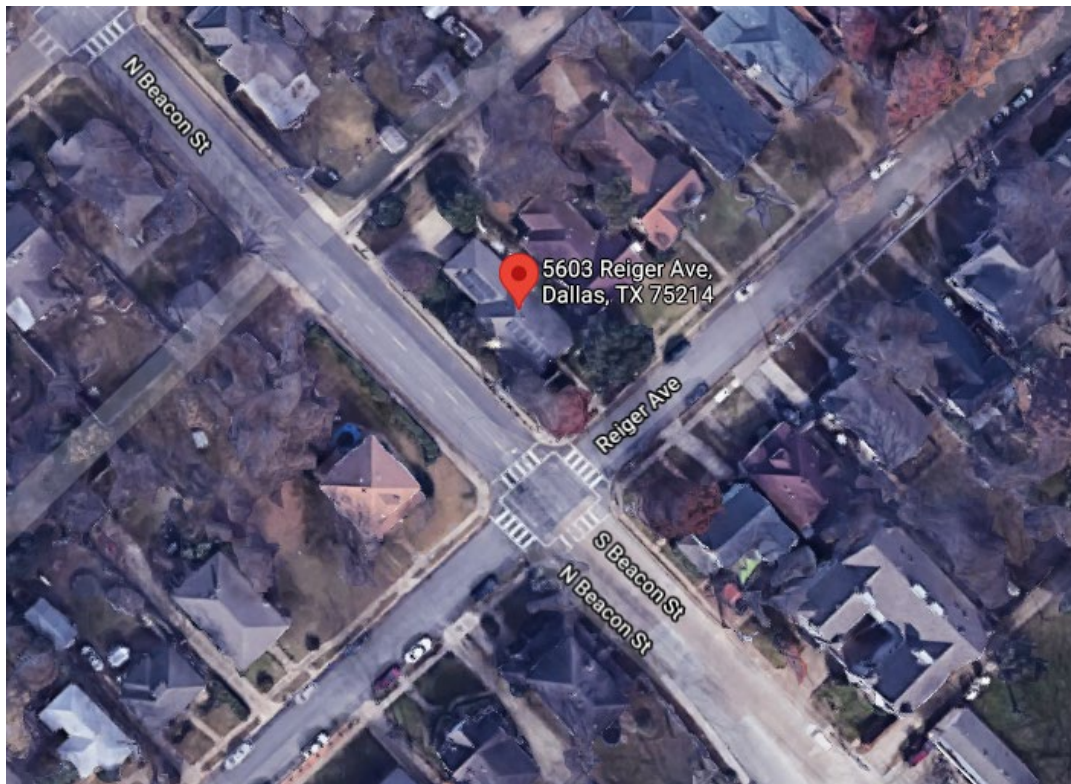
The side yard originally contained a chain link fence that was placed between the two properties. It was removed and the existing 8' wood fence was installed without a Certificate of Appropriateness. This blockface has interior side yard fences that are in the rear 50% of the side façade and a few fences that are in the front 50% of the side façade (please see pages 14-16 of this report). The fence as constructed in the interior side yard has a minor impact on the character of the historic district.

NOTE: The Task Force members questioned the accuracy of the site plan submitted when the applicant stated that they didn't believe that it fully reflected the work that was done, but the applicant clarified the following day that the site plan is accurate up to an 1/8" of an inch which, in addition with the photos, Staff believes is sufficient for a thorough review of the completed work.

STAFF RECOMMENDATION(S): Install 8' cedar fence in the side and rear yard. Work completed without a Certificate of Appropriateness – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) because it is not compatible with the historic overlay district.

TASK FORCE RECOMMENDATION(S): Install 8' cedar fence in the side and rear yard. Work completed without a Certificate of Appropriateness – Deny without Prejudice – The request is not compatible with the Junius Heights Historic District. Applicant to resubmit drawing with correct measurements.

NOTE: The applicant clarified after the meeting that the measurements on the drawing were only off by a few inches.



Aerial image



Main structure



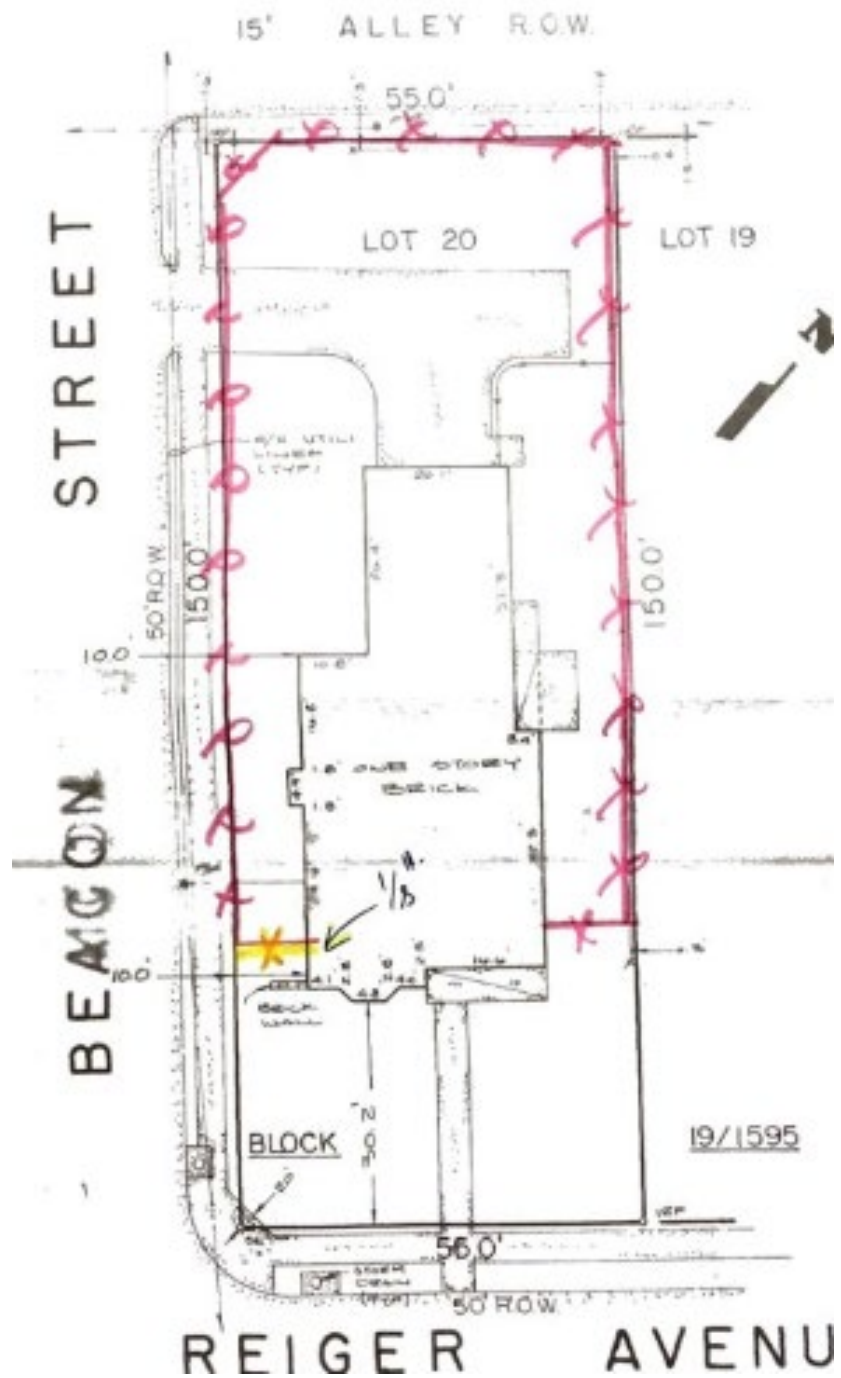
To left



To right



Across street



Site plan with completed fence in red







Fence constructed without a CA, prior to staining.



Conditions in January 2021 (Google Streetview image)



Conditions in 2007 (Google Streetview image)



Cornerside property across Beacon Street from main structure



Cornerside property across Beacon Street from main structure



Cornerside property across Beacon Street from main structure



Cornerside property at corner of Victor and Beacon Street



Cornerside property at corner of Victor and Beacon Street



Cornerside property at corner of Victor and Beacon Street



Cornerside property at corner of Victor and Beacon Street



Interior side yard fence along 5600 block of Reiger.



Interior side yard fence along 5600 block of Reiger.



Interior side yard fence along 5600 block of Reiger.



Interior side yard fence along 5600 block of Reiger.

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

NON-CONTRIBUTING STANDARDS:

Standards for noncontributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(ii)

The landmark commission must approve the application if it determines that:

(ii) for non-contributing structures:

The proposed work is compatible with the historic overlay district.

TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: June 10, 2021
TIME: 5:30
MEETING PLACE: Virtual

Applicant Name: Ryan Casse
Address: 5603 Reiger
Date of CA/CD Request: 5/11/21

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☒ Deny without prejudice

Recommendation / comments/ basis:

Deny without prejudice because the request is not compatible with the Junius Heights Historic District.
Applicant to resubmit drawing with correct measurements.

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt	<input checked="" type="checkbox"/> Noel Aveton	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Terri Raith	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Eric Graham	<input checked="" type="checkbox"/> Barbara Cohen	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Jennifer Anderson

Simple Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Eric Graham

2nd: Mary Mesh

Task Force members in favor: All

Task Force members opposed: None

Basis for opposition:

CHAIR, Task Force *Rene Schmidt*

DATE June 10, 2021

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-494(JKA)
LOCATION: 5527 Worth Street
STRUCTURE: Main, Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 397

PLANNER: Jennifer Anderson
DATE FILED: June 3, 2021
DISTRICT: Junius Heights
MAPSCO: 46-C
CENSUS TRACT: 0013.02

APPLICANT: Veux Deux Designs

REPRESENTATIVE: Leslie Nepveux

OWNER: SZKLARSKI JOHN A & JENNIFER B

REQUEST(S):

1. Construct horizontal addition.
2. Construct vertical addition and dormers on west and east elevations.

BACKGROUND / HISTORY: An addition was added to the rear of the home prior to the establishment of the historic district. In May 2021 Landmark Commission denied without prejudice a request to install a horizontal and vertical addition that encroached into the front 50% of the side yard.

PROJECT DESCRIPTION: A horizontal addition and a vertical addition with two dormers are proposed for the rear and side facades. The design is similar to the one denied without prejudice by Landmark in May 2021, but has been moved behind the front 50% of the main structure.

RELEVANT PRESERVATION CRITERIA:

Section 4.2 states that all additions and alterations must be architecturally sensitive and appropriate to the overall design of the existing structure.

Section 8.5 states that the massing, shape, building and roof form, materials, solid-to-void ratio, details, color, and general appearance of additions must be compatible with the existing historic structure.

Section 8.14 states that additions must be designed so that the connections between the historic building and the new construction is clearly discernable.

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES

Additions - Standards for Rehabilitation

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

ANALYSIS: The 1922 Sanborn map reveals the original footprint of the structure and suggests that the 50% line lies in the middle of the projecting bay on the west side. The applicant revised the previously submitted drawings to place the proposed addition at the 50% line. This would extend the existing projecting bay, a character defining feature, by approximately eight feet. While the siding, roofing, window material, and other details are proposed to match the main structure and while the addition meets the required setbacks, the proposed addition is not compatible with preservation criteria Section 8.5 since it would alter a projecting bay in a way that would obscure its original massing, shape, building and roof form to a considerable degree.

The dormers that are proposed for the west and east side would add a second floor to the structure. The cladding proposed for the dormer mimic the shingles and other materials of the historic dormer on the front façade, but neither of the proposed dormers have a relationship with the wall or windows below. Instead the dormers terminate directly above the eaves on a wall that is substantially larger in width, which is not typical of the character of the Craftsman style, and would create uncharacteristic forms and relationships that would be visible from the public right-of-way. The proposed dormers are therefore not compatible with Section 8.5 because they are not sensitive to the character of traditional roof forms that contribute to the character and appearance of the district .

The proposed horizontal addition and the proposed dormers are also inconsistent with preservation criteria 8.14 and the Secretary of Interior's Standards which say that that there must be a clear line of demarcation between the historic building and new additions. There is no line of demarcation or recession between the historic building and the new construction proposed, and the work would dominate the historic portions of the structure in a way that would obscure the building's original shape, massing, and roof form and prevent the viewer from discerning the building's original form and features.

The renderings submitted show that the addition and dormers would be highly visible from the street and would have an adverse impact on the setting of the structure and the character and appearance of the historic district since the proposed work is creates

inappropriate relationships within the setting of the primary structure and detracts from the character and appearance of the district.

STAFF RECOMMENDATION(S):

1. Construct horizontal addition – Deny without Prejudice because the work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) since it is not consistent with preservation criteria Sections 4.2, 8.5, or 8.14 and because the proposed work would have an adverse impact on the setting of the structure and the character and appearance of the district.
2. Construct vertical addition and dormers on west and east elevations – Deny without Prejudice because the work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) since it is not consistent with preservation criteria Sections 4.2, 8.5, or 8.14 and because the proposed work would have an adverse impact on the setting of the structure and the character and appearance of the district.

TASK FORCE RECOMMENDATION(S):

1. Construct horizontal addition – Deny without Prejudice because the measurements on the front 50% of the protected façade are incorrect (they are the same as what was incorrectly submitted last month). Height of adjacent structures and proposed addition to structure not documented. No delineation exists between existing and proposed addition. Task force also requested to see how the new addition would look from the perspective of somebody standing in the middle of the street in front of the house.
NOTE: The delineation line for the 50% mark of the main structure was incorrect on the roof plan, but proposed additions were drawn correctly behind the 50% line of the main structure on the site plan and elevation.
2. Construct vertical addition and dormers on west and east elevations – Deny without Prejudice, comments same as request #2.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA	-	[]
Office Use Only		

Name of Applicant: LESLIE NEPVEUX
Mailing Address: 718 DUMAS
City, State and Zip Code: DALLAS, TX 75214
Daytime Phone: 214-758-9795 Alternate Phone: _____
Relationship of Applicant to Owner: ARCHITECT

OFFICE USE ONLY
Main Structure:
<input type="checkbox"/> Contributing
<input type="checkbox"/> Non-contributing

PROPERTY ADDRESS: 5527 WORTH
Historic District: JUNIUS HEIGHTS

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. DO NOT write "see attached."

- ☐ *BUILD ADDITION IN REAR 50% OF HISTORIC HOME.
- ☐ *ADD ATTIC DORMERS ON EAST AND WEST ELEVATIONS.

Signature of Applicant: [Signature] Date: 6.2.2021
Signature of Owner: [Signature] Date: 6.2.2021
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes ☐ No

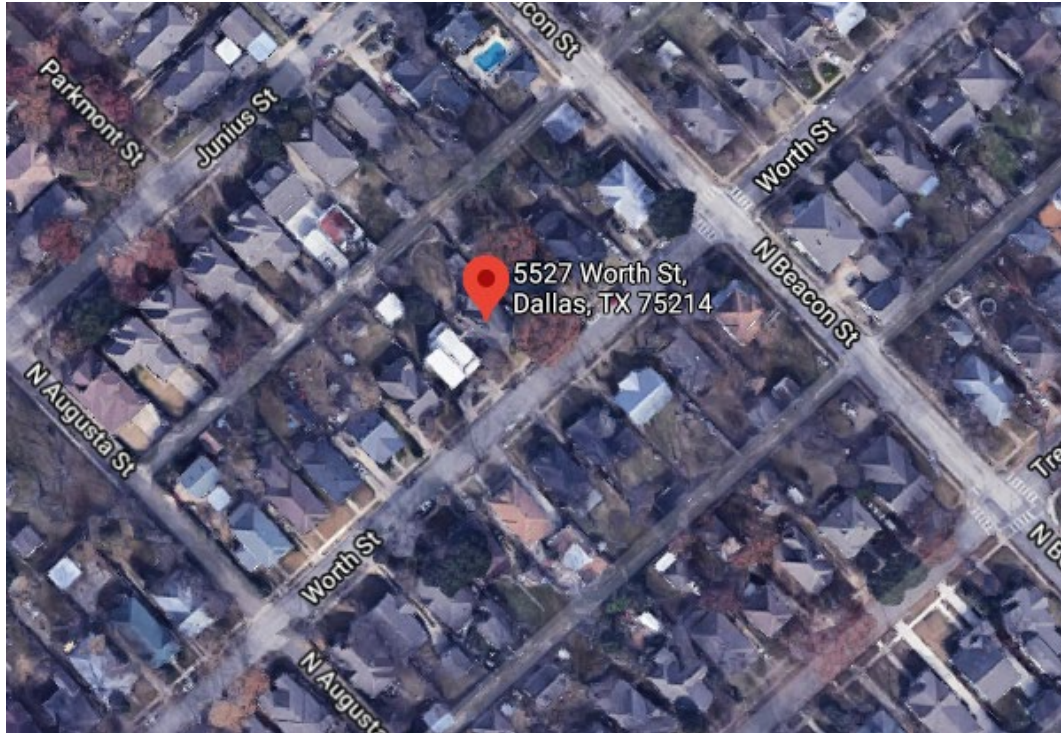
Office of Historic Preservation

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 010220



Aerial image



Main structure

CA201-494(JKA)

D3 1-5



To left



To right



Across street



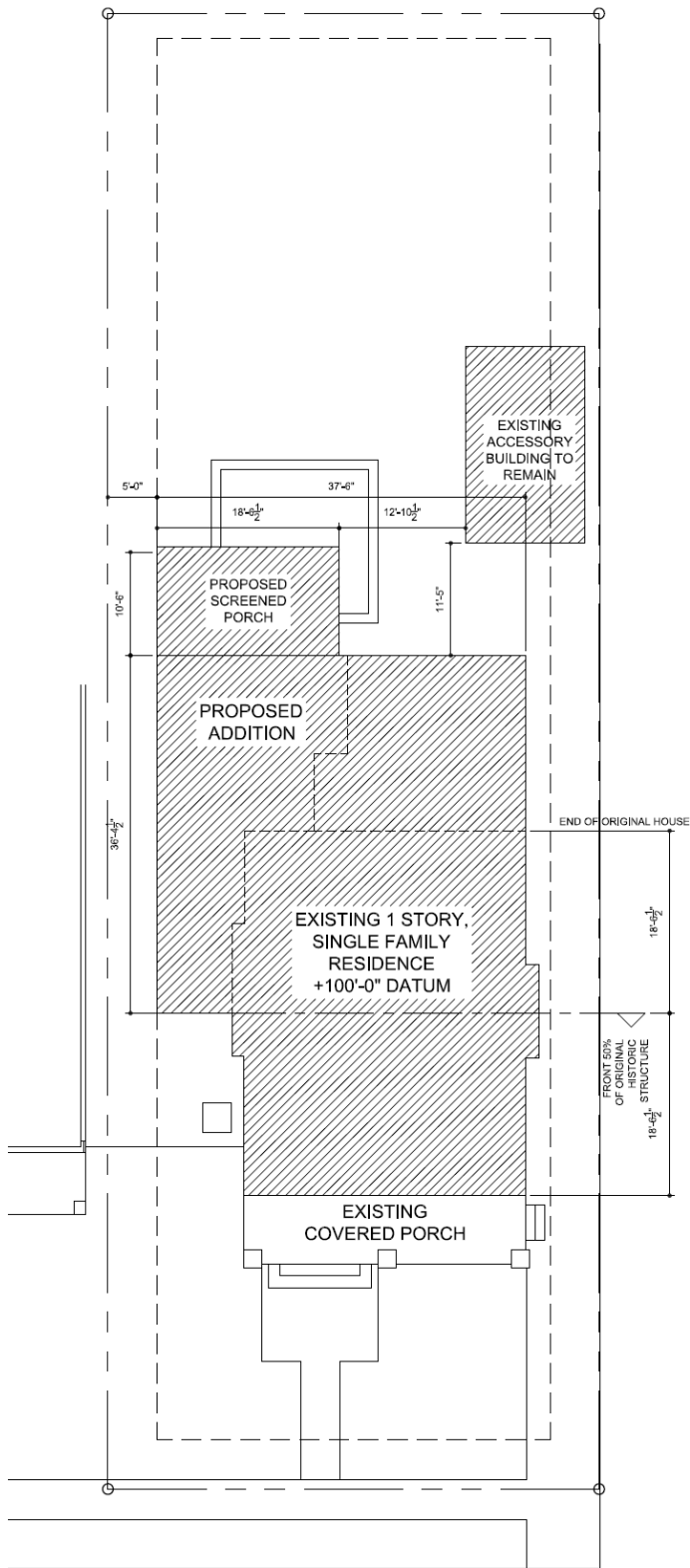
Main structure front and southwest façade



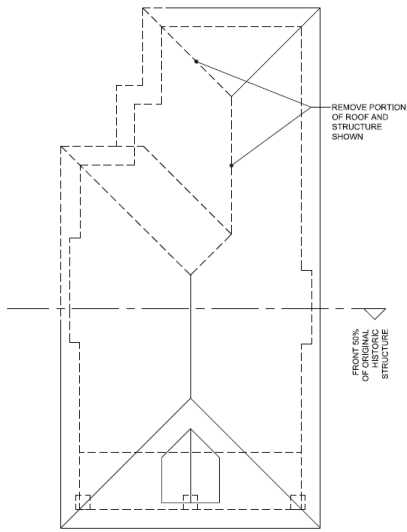
Northeast and rear facade



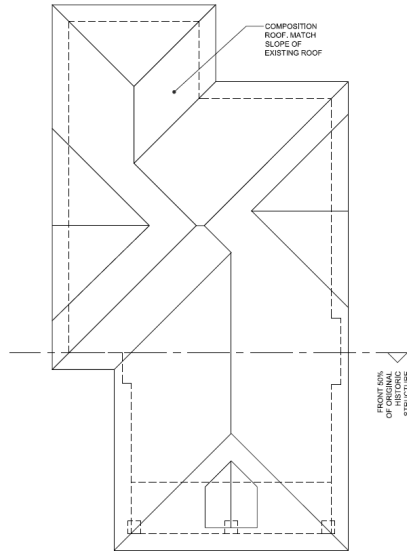
Rear facade



SITE PLAN 01
SCALE: 1/8" = 1'-0"



DEMO ROOF PLAN 02
SCALE: 1/8" = 1'-0"



ROOF PLAN 03
SCALE: 1/8" = 1'-0"



Existing vs. proposed roof plan

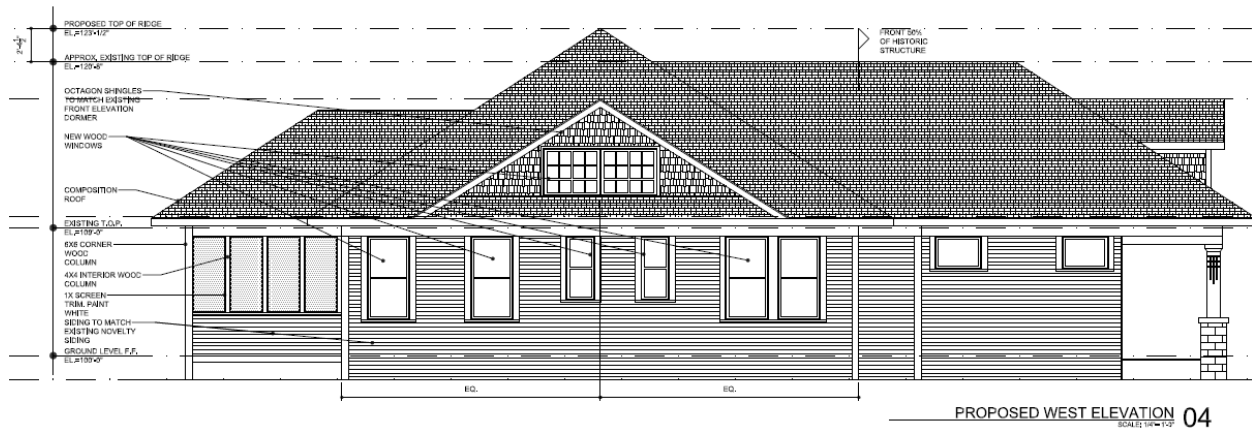
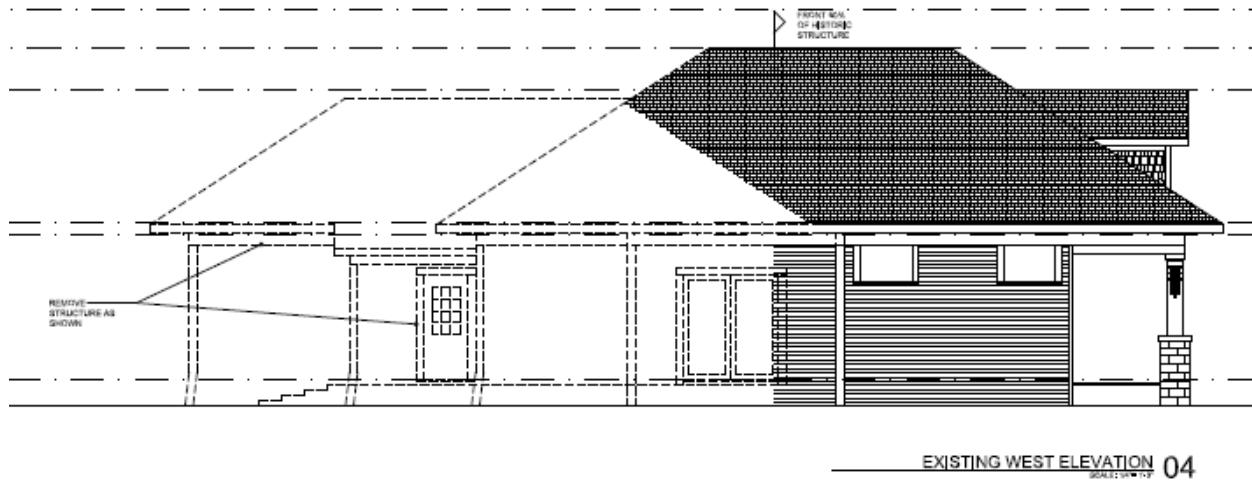


EXISTING SOUTH ELEVATION 01
SCALE 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION 01
SCALE 1/8" = 1'-0"

Existing vs proposed front elevation



Existing vs proposed west elevation



EXISTING EAST ELEVATION 03
SCALE 1/4" = 1'-0"

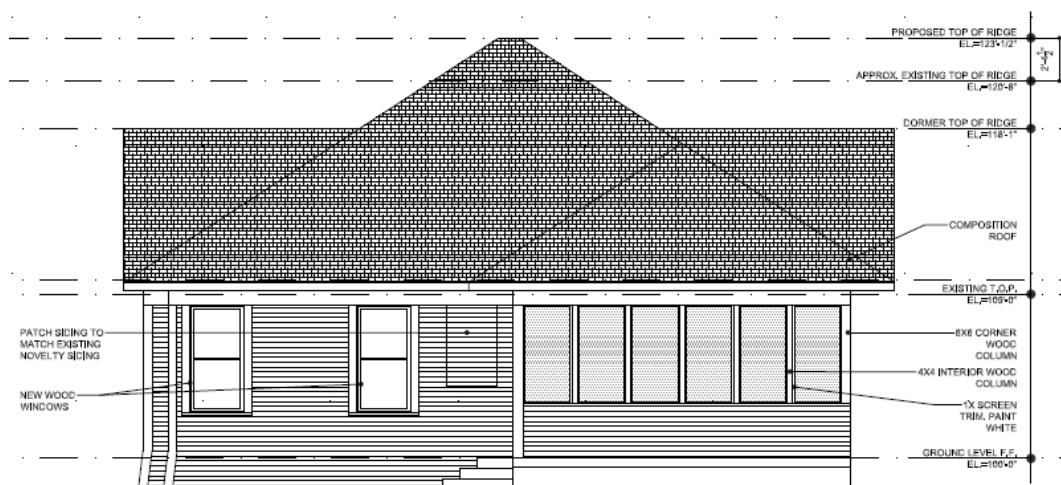


PROPOSED EAST ELEVATION 02

Existing vs proposed east elevation



EXISTING NORTH ELEVATION 02
SCALE: 1/8" = 1'-0"

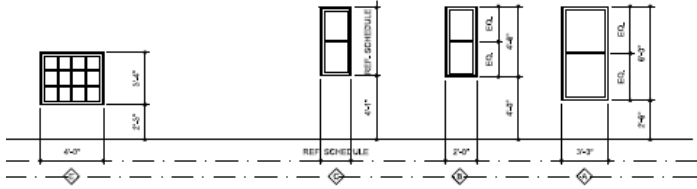


PROPOSED NORTH ELEVATION 02
SCALE: 1/8" = 1'-0"

Existing vs proposed rear elevation

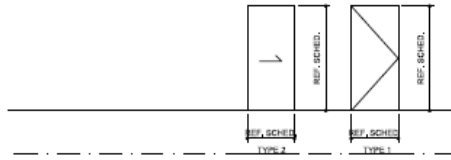
WINDOW SCHEDULE					
NO	TYPE	SIZE (WxH)	MATERIAL	GLASS	NOTES
A	DOUBLE HUNG	3'-0" x 6'-0"	ALL WOOD	INSULATED	
B	DOUBLE HUNG	2'-0" x 4'-0"	ALL WOOD	INSULATED	VERIFY SIZE
C	DOUBLE HUNG	2'-0" x 4'-0"	ALL WOOD	INSULATED	RE-GLAZED SALVAGED WINDOW
E	FIXED	3'-6" x 4'-0"	ALL WOOD	INSULATED	

- WINDOW NOTES:
1) DIMENSIONS PROVIDED ARE TO OUTSIDE OF FRAME, UNLESS NOTED OTHERWISE (A.N.D.)
2) GLAZING TO HAVE U FACTOR .35 MAX / SHGC .25 MAX PER ENERGY CODE
3) WINDOWS TO MATCH FINISH AND MATERIAL OF EXISTING WINDOWS
4) WINDOWS TO BE ALUMINUM, ALUMINUM OR EQUAL



DOOR SCHEDULE						
NO	TYPE	SIZE (WxH)	THICKNESS	MATERIAL	GLASS	NOTES
31	2	2'-0" x 6'-0"		WOOD		POCKET DOOR
32	1	2'-0" x 6'-0"		WOOD		
33	1	2'-0" x 6'-0"		WOOD		
34	2	2'-0" x 6'-0"		WOOD		POCKET DOOR
35	1	2'-0" x 6'-0"		WOOD		
36	1	2'-0" x 6'-0"		WOOD		
37	1	2'-0" x 6'-0"		WOOD		
38	2	2'-0" x 6'-0"		WOOD		POCKET DOOR
39	1	2'-0" x 6'-0"		WOOD		
40	1	2'-0" x 6'-0"		WOOD		

- DOOR NOTES:
1) GLAZING TO HAVE U FACTOR .35 MAX / SHGC .25 MAX PER ENERGY CODE
2) REFER PLANS FOR SWING DIRECTION



Proposed window and door schedule



L300 Double Hung Window



Product Details

Wood Interior / Wood Exterior

4 ⁵/₈" jamb depth; 5 ¹/₈" with optional screenstop; extension jambs available

¹¹/₁₆" insulated glass with EnerEDGE® warm-edge spacer

Width: 14" – 54"

Height: 24" – 96"

Performance Data

U-Value (w/ Low-E Glass): 0.28

SHGC (w/ Low-E Glass): 0.28

Performance Class: LC-40

Window specifications

Perfection Shingles

Cedar Impressions Perfection Shingles reflects a style once reserved for the finest homes. Clean edges and smooth lines complement the quiet beauty of the natural wood textures. With a straight edge design, perfection shingles create a more refined look.

DORMER SIDING SPECS- COLOR TBD

7" STRAIGHT EDGE PERFECTION [3G]

NEW SOLID COLORS



Molded Perimeter Lock

A full panel lock for a more secure and long-lasting installation

NEW SOLID COLORS



Deep Panel Projection

A 3/4" panel projection for excellent rigidity and straighter-on-the-wall performance. Also, enhanced shadow lines for better aesthetics.

Double 7" Straight Edge Perfection Shingles [3G]

Spruce

Double 7" Staggered Perfection Shingles

Pacific Blue

Single 7" Straight Edge Perfection Shingles

Cedar Blend

Single 6-1/3" Scallop Perfection Shapes

Charcoal Gray

Single 6-1/3" Octagon Perfection Shapes

Autumn Red

Single 6-1/3" Half-Cove Perfection Shapes

Natural Clay

AR MC SB HS SPR

F PB FS CG GG

SG BB SEA CYP HB

DT NC SW LM BS

HC AY SN CW

AR MC SB HS SPR

F PB FS CG GG

SG SEA CYP HB DT

NC SW LM BS HC

CW

NB DB CB RB SB

HS PB FS CG GG

SG SEA CYP NC SW

CW

AR PB CG SG CYP

NC SW CW

AR PB CG SG NC

CW

PB SG NC CW

15 See matrix on pages 21-22 for detailed color availability.

Dormer shingle specifications

CA201-494(JKA)

D3 1-21

Novelty Siding
DH117 YP
1x6



V-Joint Center Match with Center V
DH116 YP
1x6



Car Siding

V-Joint Center Match
DH122 YP
1x6



Also in 8"

Single Drop
DH105 YP
1x6



Also in 8"

Barn Siding
DH9391
5/8 x 5 1/8



Also in 8"

Paneling
DH44
1x8



KP-44
Also in 10" and 12"

ROOF SPECS



PRODUCTS AVAILABLE NEAR ZIP CODE:

ENTER ZIP CODE

PLEASE ENTER YOUR ZIP CODE TO VIEW PRODUCTS
AVAILABLE IN YOUR AREA

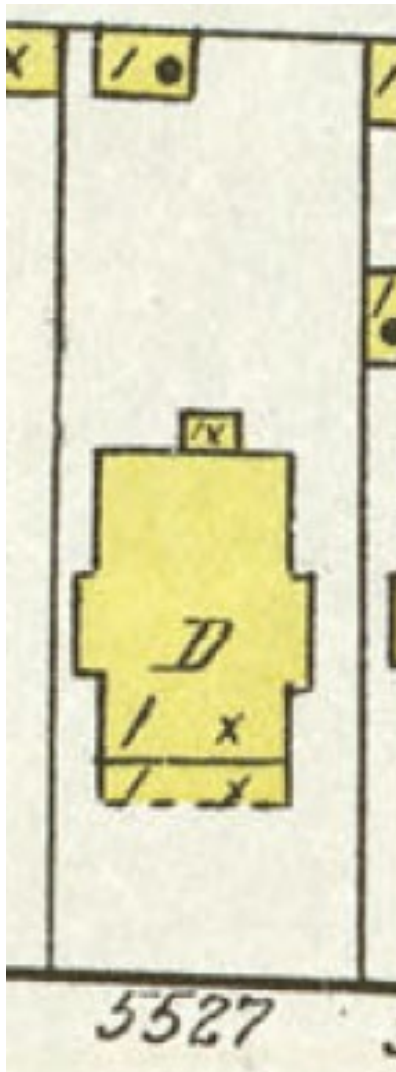


WEATHERED WOOD

LANDMARK®

[OVERVIEW](#)

Roof shingle specifications



1922 Sanborn Map



Renderings



Renderings

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

- 4.2 All additions and alterations must be architecturally sensitive and appropriate to the overall design of the existing structure.
- 8.5 The massing, shape, building and roof form, materials, solid-to-void ratios, details, color, and general appearance of additions must be compatible with the existing historic structure.
- 8.6 The height of new construction and vertical or horizontal additions must not exceed the height of similar historic structures on the block.
- 8.14 New construction and additions must be designed so that connections between new construction or additions and the historic structure are clearly discernible as suggested by the Secretary of the Interior in Preservation Brief No. 14. A clear definition of the transition between new construction or additions and the historic structure must be established and maintained. Historic details in the coping, eaves, and parapet of the historic structure must be preserved and maintained at the point where the historic structure abuts new construction or additions.

TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: June 10, 2021
TIME: 5:30
MEETING PLACE: Virtual

Applicant Name: Leslie Nepveux
Address: 5527 Worth
Date of CA/CD Request: 6/02/21

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☒ Deny without prejudice

Recommendation / comments/ basis:

Deny without prejudice because of lack of information:

1. Measurements on the front 50% of the protected facade are incorrect (they are the same as what was incorrectly submitted last month.)
2. Height of adjacent structures and proposed addition to structure not documented.
3. No delineation exists between existing and proposed addition.

Pre 8.2 and 8.5

Task Force also requested last month to see how the massing of the new addition would look from the perspective of somebody standing in the middle of the street in front of the house. Request made again on 6/20/21.

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt	<input checked="" type="checkbox"/> Noel Aveton	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Terri Raith	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Eric Graham	<input checked="" type="checkbox"/> Barbara Cohen	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Jennifer Anderson

Simple Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Eric Graham

2nd: Noel Aveton

Task Force members in favor: All

Task Force members opposed: None

Basis for opposition:

CHAIR, Task Force *Rene Schmidt*

DATE June 10, 2021

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

JULY 6, 2021

FILE NUMBER: CA201-497(MP)
LOCATION: 4827 Gaston Ave
STRUCTURE: Main & Noncontributing
COUNCIL DISTRICT: 2
ZONING: PD-362 (in Commercial Tract)

PLANNER: Marsha Prior
DATE FILED: Jun 3, 2021
DISTRICT: Peak's Suburban Addtn
MAPSCO: 46-B
CENSUS TRACT: 0015.04

APPLICANT: Melissa Perez

OWNER: 911 FITZHUGH LP

REQUEST:

Install sign on front elevation.

BACKGROUND / HISTORY:

None

The main structure is listed as noncontributing to the Peak's Suburban Addition Historic District.

PROJECT DESCRIPTION:

The proposed work is to hang a 3'x10' vinyl sign from the soffit using metal hooks and eyebolts.

RELEVANT PRESERVATION CRITERIA:

DEVELOPMENT CODE FOR NON-CONTRIBUTING STANDARDS:

Standards for noncontributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(ii)

The landmark commission must approve the application if it determines that:

(ii) for non-contributing structures:

The proposed work is compatible with the historic overlay district.

ANALYSIS:

The vinyl material is a manufactured material that would not have been common during the district's period of significance (1895-1945) when natural materials, such as wood, would have been common. Additionally, the location of the sign would obscure a portion of the upper window. Both the material and location of the sign would, therefore, have an adverse effect on the historic overlay district.

The proposed sign also does not meet the code requirements for signs. Per a sign inspector, signs are to be bolted onto a flat surface and not hanging from the soffit.

STAFF RECOMMENDATION:

Install sign on front elevation – Deny without prejudice because the proposed work does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(ii) due to the historically inappropriate material and placement of signage that would obscure part of a window, and thus, have an adverse effect on the historic overlay district.

TASK FORCE RECOMMENDATION:

Install sign on front elevation – Denial without prejudice of the plastic sign as submitted. Recommend a painted wood sign to be located within the fascia board above window.

Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA _____ - _____ ()
Office Use Only

Name of Applicant: Melissa Perez
Mailing Address : 431 Frances Way
City, State and Zip Code: Richardson, Texas 75081
Daytime Phone: (289)720-8056 Alternate Phone: _____
Relationship of Applicant to Owner : Tenant/Client

OFFICE USE ONLY
Main Structure:
____ Contributing
____ Non-contributing

PROPERTY ADDRESS: 4827 Gaston Avenue Dallas, Texas 75246
Historic District: Old East Dallas Peak's Suburban Addition

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT write "see attached."**

Installation will have a 3x10 foot sign that will be placed under the frame on the eastside of the roof with five 3/4" x 18" Galvanized Regular Eye bolts to hold sign through its embedded steel loop with 5 S Shaped Steel Hooks 2.6 Inch Long hooks will hold the vinyl sign. The wood will be drilled under with a 1/8 inch drill bit about 5 inches in and place the eyebolt to build the anchor and place hooks through eyebolts and the sign connected through the steel loop holes. Hooks will be pressed together with pliers to close any excess space and secure the sign against hook and hooks secured on eyebolt.

Signature of Applicant: Melissa Perez Date: 06/01/2021
Signature of Owner: [Signature] Date: 06/03/2021
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ APPROVED. Please release the building permit.
☐ APPROVED WITH CONDITIONS. Please release the building permit in accordance with any conditions.
☐ DENIED. Please do not release the building permit or allow work.
☐ DENIED WITHOUT PREJUDICE. Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ____Yes ____No

Office of Historic Preservation

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 010220

SUPPLEMENTARY INFORMATION

Existing Conditions

Site Conditions



Figure 1 – Aerial view of the subject property.



Figure 2 – View of the subject property as seen from Gaston Avenue, facing north.



Figure 3 – View to left of subject property as seen from Gaston Avenue, facing west.



Figure 4 – View to right of subject property as seen from Gaston Avenue, facing east.



Figure 5 – View across from subject property as seen from Gaston Avenue, facing south.

Proposed Changes



Figure 6 -- Proposed vinyl sign and proposed location on main structure.



- CITY OF DALLAS

LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-391(MP)
LOCATION: 201 Landis St
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 4
ZONING: PD-388

PLANNER: Marsha Prior
DATE FILED: May 6, 2021
DISTRICT: Tenth Street
MAPSCO: 55-B
CENSUS TRACT: 0041.00

APPLICANT: Heather Kelley

OWNER: UNCLE BOB RENTALS LLC

REQUEST:

- 1) Replace 100% of non-historic siding with wood #117 siding.
- 2) Install wood Craftsman style front door.
- 3) Replace windows with wood one-over-one windows.
- 4) Install one-over-one wood window on rear elevation.
- 5) Rebuild front porch deck, add railing, and repair concrete steps.

BACKGROUND / HISTORY:

A routine CA was issued April 8, 2019, to replace roof shingles, repair siding, repair/replace the wood flooring on the porch, and paint (CA189-459(MP)). The applicant proceeded to overlay a wood siding that did not match the existing original siding, replaced all windows with aluminum windows, and failed to initiate the other tasks intended to improve the structure. Multiple attempts were made to contact owner and notices of violation were issued, but to no avail. Current application is submitted on behalf of new property owners.

The property is contributing to the Tenth Street Neighborhood Historic District.

PROJECT DESCRIPTION:

The proposed work is to re-install several features, including siding, windows, front porch flooring/steps/railing, and a front door to their previous condition, some of which was illegally installed in 2019. Proposed work includes removing the historically inappropriate siding and vinyl windows to be replaced with wood #117 siding and one-over-one double hung wood windows. A Craftsman-style wood door is proposed for the front entrance and a double-hung wood window is proposed for the rear elevation. The work proposed for

the front porch consists of re-building the flooring, railing, and re-pouring the concrete steps.

As Staff was researching and developing the case report, it was discovered that additional alterations requiring approval were not included in the submission, and could not be added as it was too late. These include requesting to remove the secondary door on the front elevation, requesting to remove a door and three windows on the rear elevation (or requesting to re-install the door and windows), and installation of new eaves, including fascia boards, rake boards, etc. Since they were discovered too late to add to the CA and agenda, they cannot be discussed at the hearing, but Staff wanted to point out that the applicant will be asked to submit a CA to address these items.

RELEVANT PRESERVATION CRITERIA:

2.2 To the extent practical, materials similar to original materials in texture, color, pattern, grain, and module size must be used for reconstruction, renovation, or repair of the opaque elements of the protected facades.

2.6 Wood siding, trim, and detailing must be carefully restored when practical. Historic materials should be repaired and should be replaced only when necessary. Badly deteriorated paint should be removed in accordance with the Department of the Interior standards before refinishing. All exposed wood must be painted, stained, or otherwise protected. No resurfacing with vinyl or aluminum siding or stucco is permitted on main structures. Imitation materials are allowed on accessory structures only if they are consistent with the style and materials of the main structure.

2.11 Original doors and windows and their openings must remain intact and be preserved. Where replacement of an original door or window is necessary due to damage or structural deterioration, replacement doors and windows must express mullion size, light configuration, and material to match the original doors and windows. Replacement of windows and doors that have been altered and no longer match the historic appearance is strongly recommended.

2.24 Front porch floor finishes shall be of concrete, wood, or other materials if compatible with the appearance and architectural qualities of the historic structure. Porch floors may not be covered with carpet. Wood floors must be painted or stained. Concrete, brick or stone floors may not be painted. A clear sealant is acceptable.

DEVELOPMENT CODE FOR CONTRIBUTING STANDARDS:

Standards for noncontributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i).

The landmark commission must approve the application if it determines that:

- (aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay ordinance;
- (bb) the proposed work will not have an adverse effect on the architectural features of the structure;
- (cc) the proposed work will not have an adverse effect on the historic overlay district; and
- (dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

ANALYSIS:

Replace 100% of non-historic siding with wood #117 siding.

Images of the structure prior to the inappropriate 2019 alterations show it was completely clad in #117 wood siding and included a wide frieze board (wide trim piece at the top of the wall above the siding and just below the roof eaves.) The current unapproved siding installed in 2019 has a different profile and a wider reveal than the original siding, and does not include a frieze board. The applicant is requesting to restore the #117 wood siding on the structure. However, they have not included the return of the original frieze board which is a character defining feature and part of the original cladding. In addition, on the proposed rear elevation drawing it is unclear if the rear will be clad in #117 (as labeled) or a lap siding with a wider profile (as drawn). Photos (see Figure 22) show the rear addition to have #117 wood siding.

The preservation criteria states that reconstruction, renovation or repair of the opaque elements of the protected facades must employ materials similar to the original materials in texture, color, pattern, grain and module size as much as practical. In this case, there is no absence of evidence. There are clear images of the structures original siding and trim, including on the rear elevation which is highly visible due to this being a corner lot. Anything less than the return of the original #117 wood siding on the entire structure, including the frieze board trim, would not be consistent with the preservation criteria and may have an adverse effect on the character and appearance of the district.

Install wood Craftsman style front door.

Although the style of the original door is unknown, the proposed Craftsman-style door is not compatible with the main structure. The building form, roof form with shingled gable on hip roof over the front porch, short boxed eaves, etc. point more toward Folk Victorian.

The preservation criteria states that replacement doors and windows must match the original in mullion size, light configuration, and material. The installation of a Craftsman style door may have an adverse effect on the character and appearance of the district.

Replace windows with wood one-over-one windows.

Images of the structure prior to the inappropriate 2019 alterations show it had one-over-one wood windows. Replacing the unapproved, flush-mounted, vinyl windows installed in 2019 with one-over-one double-hung wood windows is appropriate and would also have a positive impact on the character and appearance of the district provided window trim and installation matches the historic.

The preservation criteria states that replacement windows must match the original in material, light configuration, mullion size, etc. Trim, including window frames and sills, and installation method should match as well. A section drawing of the proposed window replacements (recommended but not a required application material) was not included in this submission to show additional trim detail or whether the windows will be flush or recess mounted. Any new windows should be recess mounted to match the historic windows.

Install one-over-one wood window on rear elevation.

Images of the structure prior to the inappropriate 2019 alterations show it had one door opening and four window openings on the rear elevation (see Figure 23). All were removed in 2019. The applicant is only requesting to reinstall one window opening back in roughly the same location as one of the previous rear window openings. The rear elevation is a secondary elevation and an unprotected façade. The return of an original window opening, as well as the proposed one-over-one wood window, meets the preservation criteria and is appropriate, provided the window is recessed mounted and has trim to match the original. This work would not have an adverse effect on the historic structure, nor on the historic overlay district.

Though the rear elevation is a non-protected façade, 201 Landis is a corner lot. Therefore, the rear elevation is highly visible from the right-of-way on North Street. The applicant is encouraged to consider the return of the other original openings in the future that were removed in 2019.

Rebuild front porch deck, add railing, and repair concrete steps.

Images of the structure prior to the inappropriate 2019 alterations, as well as Sanborn maps (see Figures 20, 21, 24, 25) show it had a wrap around porch with a gable on hip porch roof, and wood porch railing, all of which were inappropriately removed. The applicant is not requesting to restore the original front porch, but instead construct a roofless wraparound front porch deck with wood railing.

The preservation criteria states that original porches on protected facades must be retained and preserved, and that it is encouraged that porches be restored to their original appearance. At a minimum, Staff believes that the new front porch footprint should match the original. However, the proposed does not. It shows the front porch beginning at the far left edge of the front façade. The original appeared to be inset approximately two feet in from the edge. Also, the proposed porch footprint juts out slightly forward to the right side of the front porch steps, but not to the left of the steps. Originally the porch extended across the front of structure in the same plane. The footprint as proposed not only does not match the original, but is not typical of other front porch footprints from the same period. In addition, it is Staff's hope that the original front porch roof, railing and columns be restored in the future. Approval of the proposed irregular shaped porch footprint would have a negative impact on the practicability of restoring the original porch roof and columns. It would most definitely impact the roof form, as well as the placement and

rhythm of porch columns. Any new roof following the irregular footprint is not going to match the original.

STAFF RECOMMENDATION:

- 1) Replace 100% of non-historic siding with wood #117 siding – Approve drawings dated 7/6/2021 with the condition that all facades be clad in #117 wood siding and that the original frieze board trim be added back into the design with the finding the work is consistent with preservation criteria Sections 2.2 and 2.6 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Install wood Craftsman style front door – Deny without prejudice the proposed work because it does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) due to its inconsistency with preservation criteria Section 2.11 for doors, and thus, would have an adverse effect on the historic overlay district.
- 3) Replace vinyl windows with wood one-over-one windows – Approve elevation drawing and window specifications dated 7/6/2021 with the condition that the window frames match that of previously existing frames and that it is recess-mounted with the finding the work is consistent with preservation criteria Section 2.11 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 4) Install one-over-one wood window on rear elevation – Approve elevation drawing and window specifications dated 7/6/2021 with the condition that the window frame matches that of previously existing frames and that it is recess-mounted with the finding the work is consistent with preservation criteria Section 2.11 for windows, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 5) Rebuild front porch deck, add railing, and repair concrete steps – Deny without prejudice because the work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) and is inconsistent with preservation criteria Section 2.24 due to the footprint not matching the original footprint, and thus, having an adverse effect on the historic structure and historic overlay district.

TASK FORCE RECOMMENDATION:

1. Replace 100% of non-historic siding with wood #117 siding – We recommend changing the paint color to a lighter color that matches the context of the neighborhood; we recommend changing the siding profile back to the original profile before the illegal renovation.
2. Install wood Craftsman style front door – No recommendation.
3. Replace windows with wood one-over-one windows –We recommend ensuring that an exterior casing frames the window that matches the original.
4. Install one-over-one wood window on rear elevation – No recommendation.
5. Rebuild front porch deck, add railing, and repair concrete steps – No recommendation.

Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA _____ - _____ []
Office Use Only

Name of Applicant: Heather N. Kelley
 Mailing Address: 9202 Flickering Shadow Dr
 City, State and Zip Code: Dallas, TX 75243
 Daytime Phone: 214) 417-4910 Alternate Phone: ---
 Relationship of Applicant to Owner: Design contractor

OFFICE USE ONLY
Main Structure:
<input type="checkbox"/> Contributing
<input type="checkbox"/> Non-contributing

PROPERTY ADDRESS: 201 Landrise St Dallas TX 75203
 Historic District: Historic Tech District

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Interior remodel, Exterior remodel, New wood siding, new wood windows, new wood front door, redo front porch, paint exterior.
Repair
Front porch A to match existing size, shape & materials.
7" pine lap siding - entire House 100%

Signature of Applicant: [Signature] Date: 03/31/2021
 Signature of Owner: [Signature] Date: 3-31-21
 (IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

signed drawings and/or specifications are enclosed ☐ Yes ☐ No

Office of Historic Preservation

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 010220

SUPPLEMENTARY INFORMATION

Existing Conditions

Site Conditions



Figure 1 – Aerial view of the subject property.



Figure 2 – View of subject property as seen from Landis St, facing west.



Figure 3 – View of left side elevation as seen from side of house on Landis Street, facing west.



Figure 4 – View of right side elevation as seen from North St, facing south.

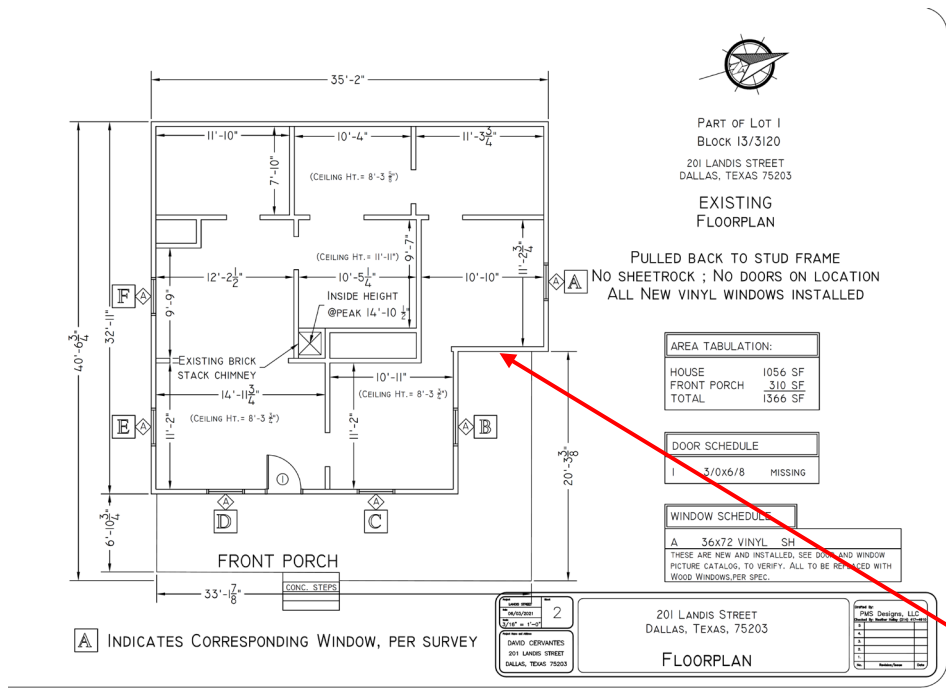


Figure 5 -- Existing floorplan. Note: door existing in May 2019 google image would have been in this location.

Photographs



Figure 6 -- Measured corner board.



Figure 7 -- Measured window trim.

Proposed Changes (see folder for larger images)

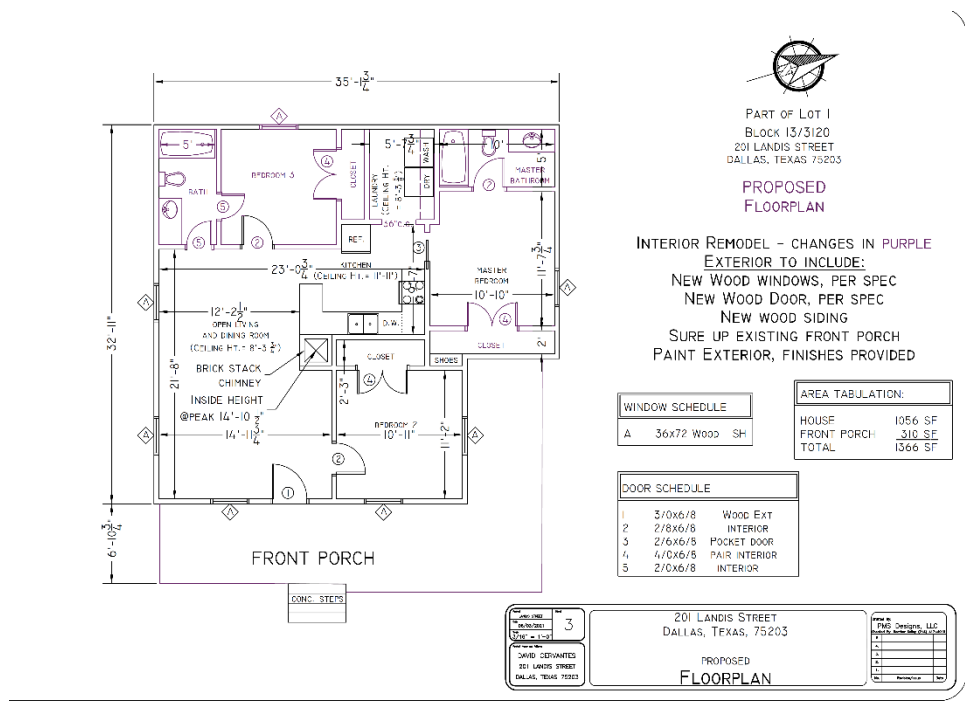


Figure 8 -- Proposed floor plan.

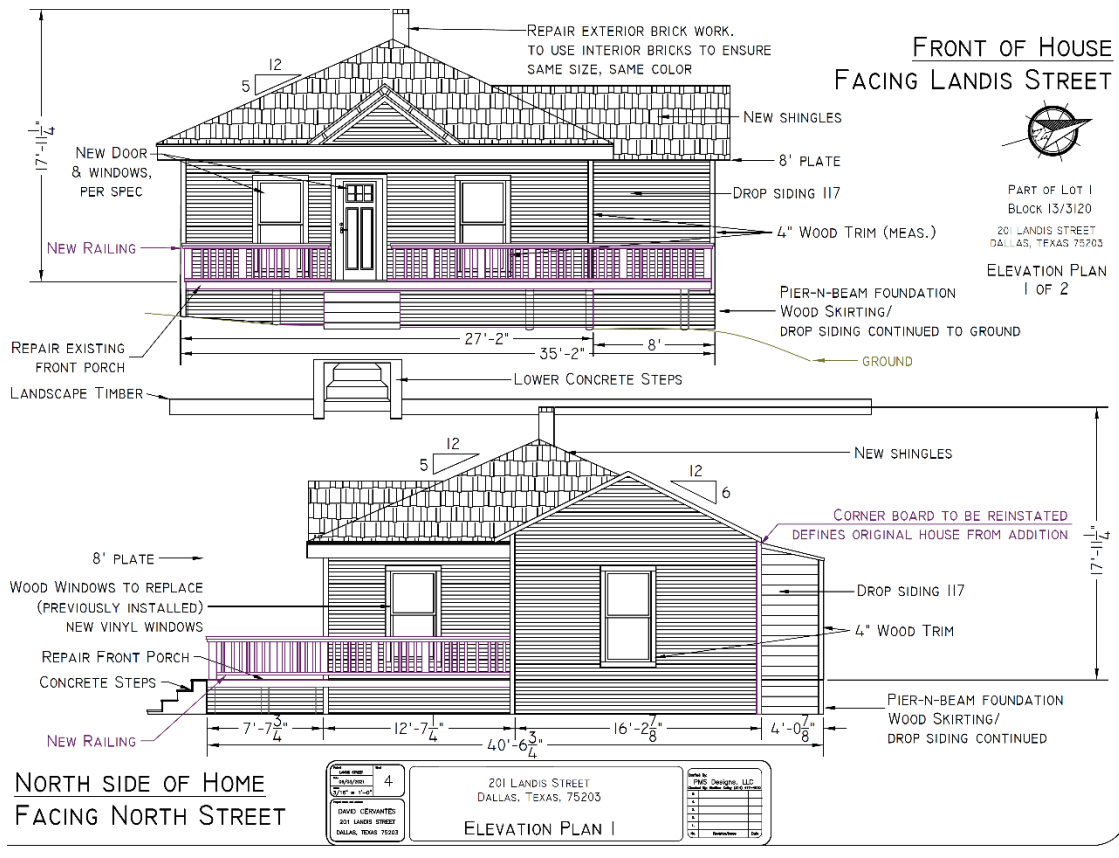


Figure 9 -- Proposed front and right side elevations.

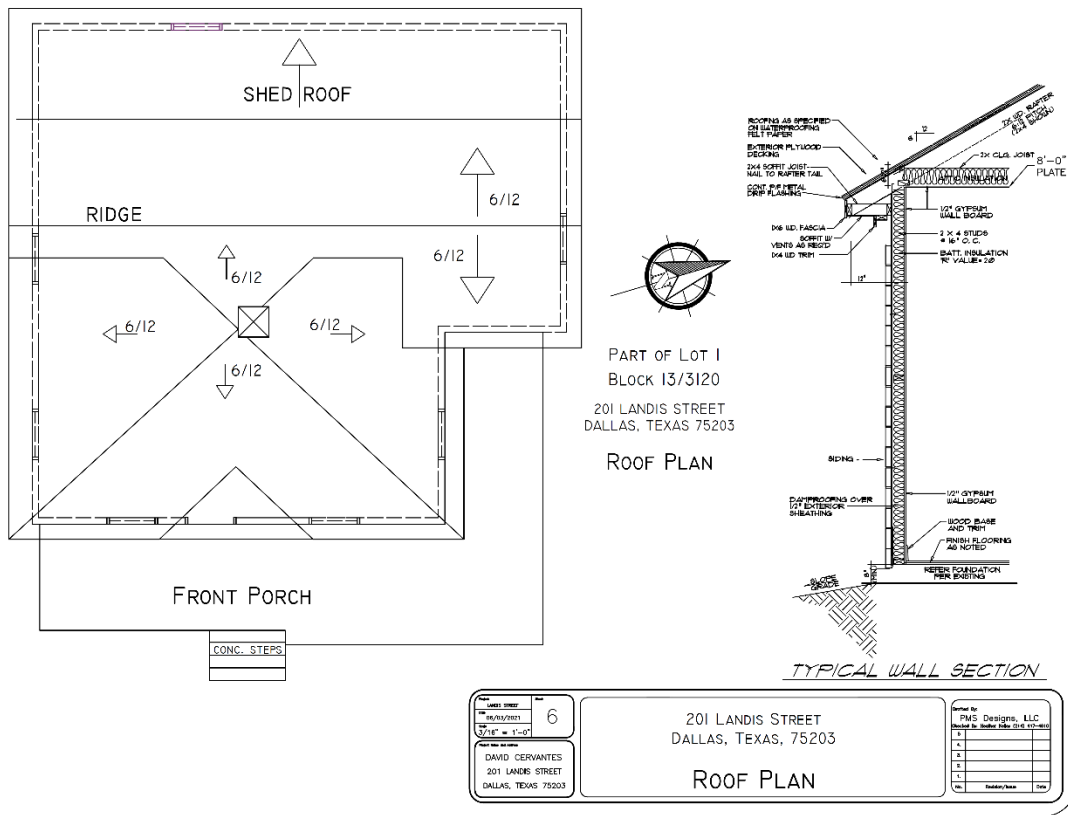


Figure 11 -- Proposed roof plan.

Previous Conditions



Figure 12 -- Front elevation prior to work in 2019.



Figure 13 -- Left side elevation prior to work in 2019.



Figure 14 – Right side elevation prior to work in 2019.



Figure 15 -- Google image, May 2019. Note secondary door on front elevation.



Figure 16 -- Photo of interior where applicant examined framework for a secondary door; however, photo does not include wall where the secondary door would have been located. Secondary door would have been off to the left of this photo facing Landis Street.

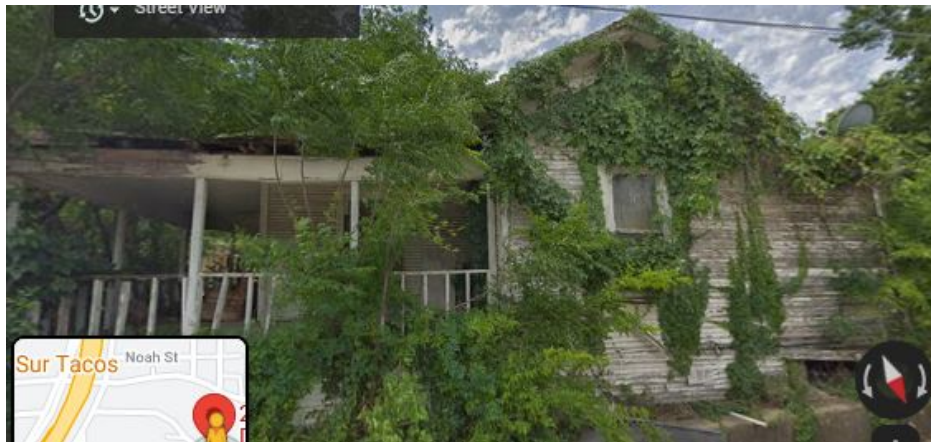


Figure 17 -- Google image, June 2018.



Figure 18 -- Google image, June 2018, note close up of secondary door on front elevation.



Figure 19 -- Google image, July 2015.

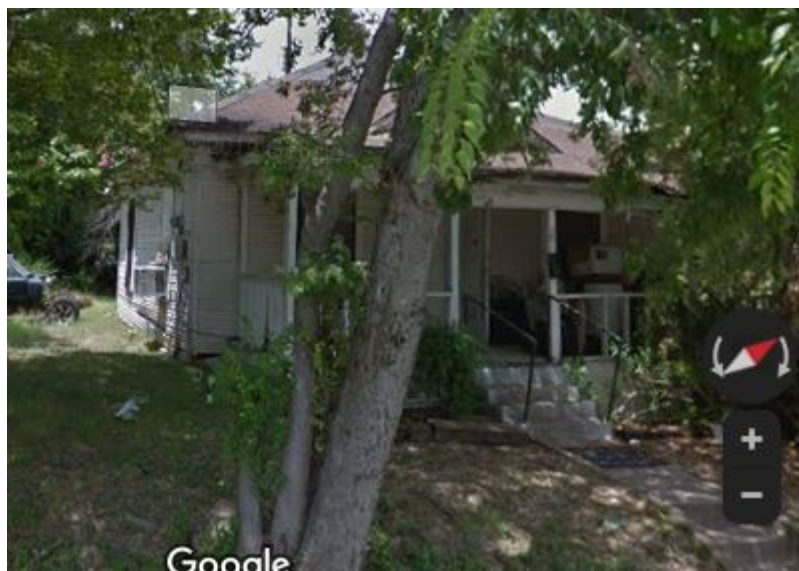


Figure 20 -- Google image, July 2015.



Figure 21 -- Google image, Oct 2012.

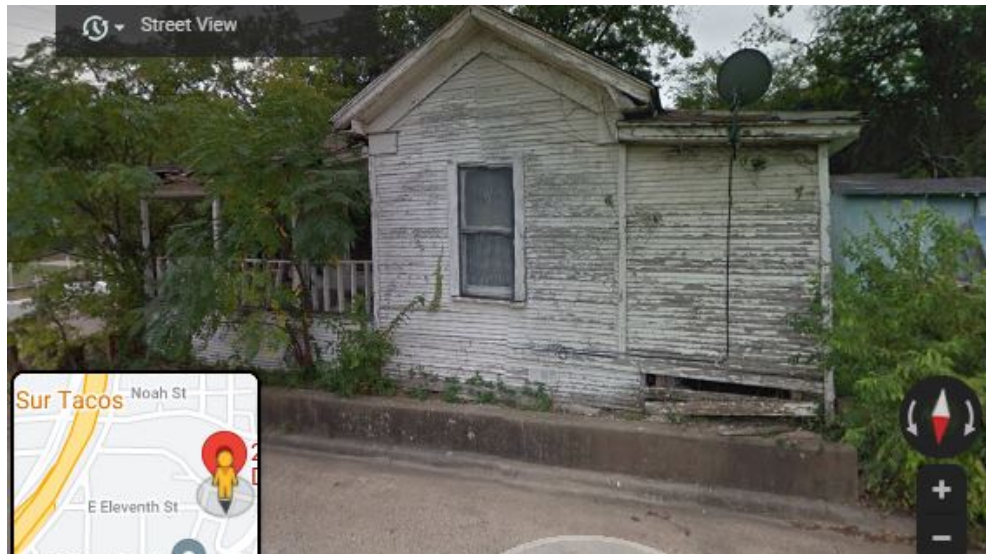


Figure 22 -- Google image, Oct 2012.



Figure 23 -- Google image, Oct 2012, showing windows and door on rear elevation. Red arrow is location where proposed rear window will be installed.



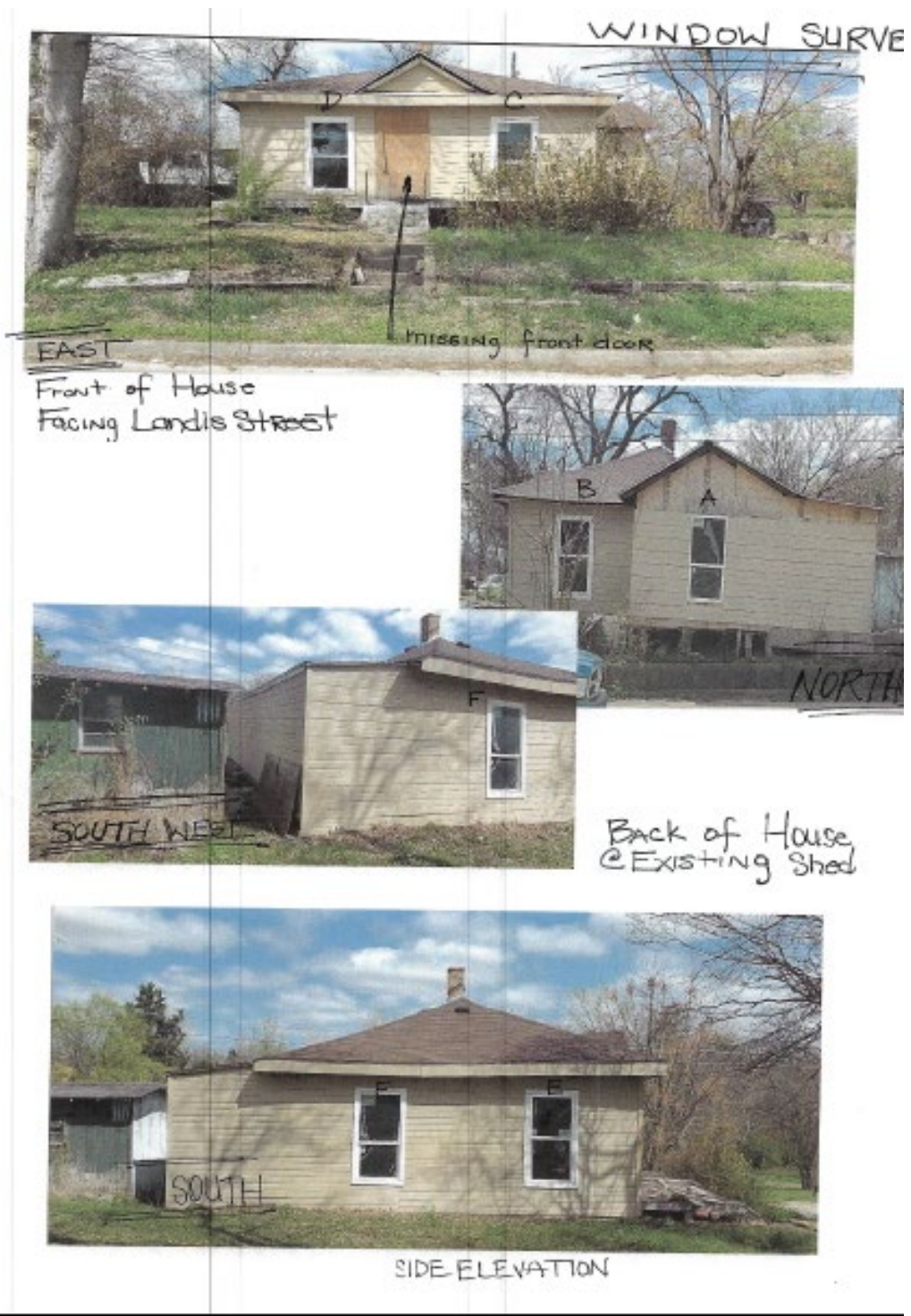
Figure 24 -- Google image, May 2019, showing windows and door on rear elevation. Red arrow is location where proposed rear window will be installed.



Figure 25 -- 1952 Sanborn Map.

ATTACHMENTS

Attachment 1 – Window survey.





NORTH EV



FRONT
PORCH



EAST

Attachment 2 – Specifications

Krosswood Doors 36 in. x 80 in.
Krosswood Craftsman Unfinished
Rustic Knotty Alder Solid Wood Single
Prehung Front Door
★★★★★ (40)



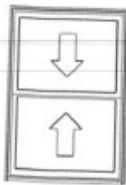
FRONT DOOR



Proposed front door.

WINDOWS

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 6	Master Bedroom	TWD3756			
	Rough Opening : 38 1/8 X 57 1/4	Frame Size : 37 3/8 X 56 1/2 W-2500 Wood Double Hung, Auralast Pine, Primed Exterior, Natural Interior, No Exterior Trim, No Sill Nosing, 4 9/16 Jamb, Sill Stop Applied, With-Plow White Jambliner, Compression Jambliner & No Tilt Latches, White Hardware, US National-WDMA/ASTM, PG 25 Insulated Low-E 366 Annealed Glass, No Protective Film, Black Spacer, Argon Filled, No Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, **Screens on Wood Double Hung/Slide-By Units Without Trim Have No Method for Attachment. Clear Opening: 34w, 24.1h, 5.7 sf U-Factor: 0.29, SHGC: 0.20, VLT: 0.47, CPD: JEL-N-578-01933-00001 PEV 2020.4.0.3290/PDV 6.359 (12/06/20)CW			



Viewed from Exterior. 1/2" = 1'

Proposed wood windows.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-473(MP)
LOCATION: 100 N Moore St
STRUCTURE: Infrastructure & Contributing
COUNCIL DISTRICT: 4
ZONING: PD-388

PLANNER: Marsha Prior
DATE FILED: Jun 3, 2021
DISTRICT: Tenth Street
MAPSCO: 55-B
CENSUS TRACT: 0041.00

APPLICANT: Oyekanmi, Gbenro

OWNER: Public Works, City of Dallas

REQUEST:

Reconstruct 10th Street, including modifications to street width, curbs, and sidewalks.

BACKGROUND / HISTORY:

On May 3, 2021, the Landmark Commission denied without prejudice the proposed work on 10th Street citing that the work did not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) and would have an adverse effect on the historic overlay district.

PROJECT DESCRIPTION:

This proposed street improvement project is from the 2017 Bond Program. The project area includes that portion of 10th Street that cuts through the Tenth Street Neighborhood district from I-35 eastward to Clarendon Drive/N Moore Street. In addition to repaving the street, the work will include reducing the width of 300 linear feet of street from 26' to 24' adjacent to the cemetery between North Denley Drive and Clarendon. Existing curbs and sidewalks will be reconstructed/repoured, and will retain their existing 5' width. No new sidewalks are proposed to be constructed. Driveway approaches will also be re-poured as part of this work. In a few cases, the approach might be slightly altered. For example, the existing driveway approach at 1219 E 10th Street is slightly narrower than the existing driveway width. The re-poured driveway approach will be adjusted to meet the existing driveway width. Retaining walls will remain and sidewalks on the northside adjacent to retaining walls will not be constructed or enlarged.

RELEVANT PRESERVATION CRITERIA:

DEVELOPMENT CODE FOR CONTRIBUTING STANDARDS:

Standards for noncontributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i)

The landmark commission must approve the application if it determines that:

(i) for contributing structures:

- (aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance.
- (bb) the proposed work will not have an adverse effect on the architectural features of the structure.
- (cc) the proposed work will not have an adverse effect on the historic overlay district; and
- (dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES

1. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

ANALYSIS:

For the most part, this project is an in-kind repaving and reconstruction of the existing street, curbs, sidewalks and driveway approaches along a segment of 10th Street. The exception is the narrowing of the street by two feet between North Denley Drive and Clarendon, which is specifically being narrowed in an effort to avoid impacts to the adjacent historic cemetery. Furthermore, the proposed shoring of this south end of the street adjacent to the cemetery is designed to retain the current slope and vegetation.

At the May 2021 Landmark Commission Hearing, as well as at the recent Task Force meeting, it was suggested that 10th Street should be returned to its 1920-30s condition which would mean raising the grade of 10th Street to match the grade at the south end of the Oak Cliff Cemetery, removing all paving and concrete elements, and installing a gravel road. From a Historic Preservation perspective, without extensive historical documentation that provides specific details on all or most aspects of the original roads, historic grade conditions, as well as historic landscaping, this would not be feasible to do. In fact, the Secretary of the Interior's Standards for Rehabilitation section on setting recommends against creating an inaccurate appearance because the replacement of the feature is based upon insufficient physical or historic documentation. From a practical,

functional and City code perspective for residential neighborhoods, the engineers in the Public Works Department have provided a thorough summary outlining the many challenges and issues in attempting to return the street to its 1920s condition (see attached summary). Also, the proposed work is intended to improve the street for both vehicular and pedestrian traffic. The Secretary of the Interior's Standards for Rehabilitation section on code work encourages sensitive solutions to meeting accessibility and life-safety code requirements.

The preservation criteria only addresses appropriate paving materials for driveways and sidewalks. It does not specifically address street reconstruction projects. Nor does it call for the restoration of 1920s street conditions. The intent of the preservation criteria ordinance, like ordinances for other Dallas historic districts, is intended, primarily, to preserve and maintain the historic integrity that currently exists. The proposed work is mostly in-kind, with only a few minor adjustments near driveway approaches and adjacent to the cemetery. The work is consistent with the Secretary of the Interior's Standards for Rehabilitation #9 in that it will not impact historic materials, features or spatial relationships that characterize the district, and is differentiated as new. In addition, the proposed work is consistent with the contributing structures standards in the Dallas Development Code because the work meets the Secretary of the Interior's Standards, will not have an adverse impact on any historic structures or the site/district as a whole, and will not adversely impact future preservation or maintenance of the feature.

STAFF RECOMMENDATION:

Reconstruct 10th Street, including modifications to street width, curbs, and sidewalks – Approve plans dated 7/6/2021 with the finding the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Deny without prejudice because the design is not compatible with the period of significance of the district.

Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA _____ - _____ ()
Office Use Only

Name of Applicant: Gbenro Oyekanmi (gbenro.oyekanmi@dallascityhall.com)

Mailing Address : Public Works, 320 E. Jefferson Blvd., Room 307

City, State and Zip Code: Dallas, TX 75203

Daytime Phone: 214-948-4490 Alternate Phone: _____

Relationship of Applicant to Owner : Owner

OFFICE USE ONLY

Main Structure:

____ Contributing

____ Non-contributing

PROPERTY ADDRESS: 10th St from I-35 to Clarendon Dr at 100 N Moore St

Historic District: 10th St Historical District

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Designing 10th St from I-35 to Clarendon St for reconstruction as part of the 2017 bond program. The design will reduce the width of 300 LF of pavement at the Clarendon Dr end of the street from 26FT to 24 Ft to retain the existing slopes and avoid impact to the cemetery at 100 N Moore St. Per the last pavement condition check performed, the existing street pavement is in poor condition. Not approving the CA will delay construction and result in further deterioration of the street.

Signature of Applicant: Gbenro Oyekanmi Date: 5/27/21

Signature of Owner: _____ Date: _____
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla SBN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in SBN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ APPROVED. Please release the building permit.
- ☐ APPROVED WITH CONDITIONS. Please release the building permit in accordance with any conditions.
- ☐ DENIED. Please do not release the building permit or allow work.
- ☐ DENIED WITHOUT PREJUDICE. Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ____Yes ____No

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 061419

SUPPLEMENTARY INFORMATION

Existing Conditions

Site Conditions



Figure 1 – Aerial view of the subject property.



Figure 2 – 10th Street, standing near end of project at I-35, facing eastward.



Figure 3 – 10th Street, facing eastward.



Figure 4 – 10th Street, facing eastward.



Figure 5 – 10th Street, facing eastward.



Figure 6 – 10th Street, facing eastward.



Figure 7 – 10th Street, toward end of project at N Moore Street, facing eastward.

Photographs



Figure 8 -- Slope and vegetation at south end of cemetery near end of 10th and N Moore streets, facing east.



Figure 9 -- Slope and vegetation at south end of cemetery near end of 10th and N Moore streets, facing west.



Figure 10 -- South end of cemetery near end of 10th and N Moore streets, facing northwest.

Proposed Changes (see folder for full set of drawings which were too large to insert)

ATTACHMENTS

Attachment 1 – 10TH Street Reconstruction – Engineer's Response

10th St Reconstruction – I-35 to Clarendon Dr – PB17V198

The request to restore 10th Street to its historical appearance as a gravel road with no concrete sidewalks, curbs or gutters, and the street raised 9 -10 feet along the cemetery as it was back in the 1930s was brought to our attention at the May 3, 2021 Landmark Commission hearing. In our opinion, the only way it can be achieved is if the street is closed to vehicular traffic and converted to an open-air museum.

The challenges of raising the street to the level of the cemetery, by 9-10 feet are as follows:

1. Impact to the cemetery – If the street is raised 9-10 feet along the cemetery, it will be necessary to slope toward the cemetery (trees and vegetation along the cemetery will need to be removed). Some of which are very close to the fence and may result in hitting unmarked graves. If this happens, the project must be put on hold to hire an archaeologist to relocate the graves as needed.
2. Impact to the abutting property at the SW corner of 10th Street at Clarendon – This property will need to be acquired and the house demolished because of the sloping necessary due to raising the street. The adjacent vacant lot will also be impacted. It will be almost impossible to build on it this property.
3. Impact to Clarendon – Will bury the intersection – How far is raising the roadway supposed to extend until we come back to current grade?
Before E. Clarendon Dr was built, E. 10th Street was intersecting N. Moore St within the current E. Clarendon Dr westbound lanes, possibly at higher elevations. We do not have record topographic information to be able to assess if, or how much, E. 10th St was lowered at the cemetery to accommodate the construction of E. Clarendon Dr. If the intention is to restore the intersection of 10th St with Moore St to the historic, pre-Clarendon level, it will be necessary to reconfigure E. Clarendon Dr. Also, the intersection of E. 10th St with E. Clarendon Dr will need to be eliminated, and retaining walls provided to mitigate the resulting elevation differences. Please note, the retaining walls will not be considered historic.
 - Impacts along both sides of the roadway due to slopes/retaining walls needed –
On Clarendon, it will be necessary to slope back at least 30 feet on the east, west and south sides. Retaining walls can be provided on the SW and NE corners of 10th St at Clarendon and on 10th St along the cemetery. The house on the south side of Clarendon Dr and part of S. Moore St will also be impacted.
 - May not be able to see people's house fronts. Right of way acquisition may be needed – The house on S. Moore St will be impacted. It will be necessary

to acquire and demolish this house because of the sloping necessary due to raising the street.

4. Changes in drainage pattern that can result in flooding – Per the City's Drainage Design Manual Section 10.4.7.1 – Drainage Area Map, there shall be no diversion of drainage between watersheds. Please see link below.

https://dallascityhall.com/departments/sustainabledevelopment/Engineering/DCH%20Documents/paving_drainage/2019_Drainage%20Design%20Manual.pdf

5. Impact to water and wastewater services – Existing water and wastewater mains are located 4 to 7 feet below the ground. With the proposed raising of 10th Street, they would then be 13 to 16 feet below ground, making them nearly impossible to access for maintenance. These pipes are 68 years old (8-inch and 12-inch water), 81 years old (6-inch wastewater) and 16 years old (12-inch wastewater) and there could be an impact to the structural stability of the pipes by adding an additional 9'-10' of fill on the pipes.
6. Impact to franchise utility services such as Atmos, AT&T, Oncor etc. – Franchise utilities are required to be a specific depth under the pavement (3' to 5', depending on the utility). Once the roadway is raised 9', these utilities will no longer be placed in the corridor they are required to be in, and they will be very difficult to access for maintenance.
7. Proposed Gravel Pavement – Per Table 5.4 in the City's Street Design Manual gravel or decomposed granite does not meet City Pavement Design Standards for this type of roadway.
8. ADA Accessibility Issues (?) – ADA compliance may be an issue, but this will need to be evaluated after the street restoration goals are clarified.
9. Feasibility study and cost implications – the request to restore the street to its 1930 historical appearance will need to be studied to determine its feasibility and a cost estimate prepared so that adequate funding can be allocated as needed.
10. Schedule – The current project scope, per the approved 2017 Bond Program, is for reconstruction of 10th St. Changing the scope to restoration of the street to the historic 1930 condition constitutes a totally new project with different scope, construction cost and schedule. This will delay the current 2017 Bond Program schedule.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-480(MLP)
LOCATION: 215 N Willomet
STRUCTURE: Main, Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87

PLANNER: Melissa Parent
DATE FILED: June 3, 2021
DISTRICT: Winnetka Heights
MAPSCO: 54-B
CENSUS TRACT: 0046.00

APPLICANT: Alfonso & Ginnette Correa

OWNER: BERNSTEIN KENNETH G & CHRISTINA A STEFFEY

REQUEST:

- 1) Paint main structure. Brand: Behr. Main: "Jojoba." Trim: "Polar Bear." Accent: "Filter Moon."
- 2) Install new wood fencing in rear yard.

BACKGROUND / HISTORY:

The structure is listed as contributing to the Winnetka Heights Historic District.

PROJECT DESCRIPTION:

The scope of the proposed work consists of a new paint scheme and new fencing in the rear yard.

ANALYSIS:

Existing color schemes on the block are predominantly shades of blue and gray. The proposed "Jojoba" green will add variety to the paint colors in this section of the district. They are adhering to the ordinance by maintaining only 3 colors. The proposed paint scheme is compatible with the property and the district.

While much of this fence will be located in the rear yard and not visible from public right-of-way, the proposed fencing does not adhere to the ordinance and is not compatible with the district. Horizontal configuration is prohibited in this district (Section 51p-87.111(b)(2)(A)(i)), and fences should be maintained in a vertical position.

STAFF RECOMMENDATION:

- 1) Paint main structure. Brand: Behr. Main: "Jojoba." Trim: "Polar Bear." Accent: "Filter Moon." - Approve proposed work with the finding the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 2) Install new wood fencing in rear yard. – Denial without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) on the basis that the proposed work will have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

TASK FORCE RECOMMENDATION:

- 1) Paint main structure. Brand: Behr. Main: "Jojoba." Trim: "Polar Bear." Accent: "Filter Moon." - Colors approved as submitted. Provide photos of surrounding neighbor house color schemes.
- 2) Install new wood fencing in rear yard. – Approve with conditions - Provide another option showing vertical board fence design with finish side to the outside (visible to street/alley). Option A Vertical has been provided and approved as submitted, Option B Horizontal owner wants to submit isn't allowed per ordinance

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 201 - 480 [MLP]
Office Use Only

Name of Applicant: Afonso and Ginnette Correa

Mailing Address: 215 N. Willomet Ave

City, State and Zip Code: Dallas, TX 75208

Daytime Phone: 214-334-6302 Fax: _____

Relationship of Applicant to Owner: Owner

PROPERTY ADDRESS: 215 N. Willomet Ave 75208

Historic District: Winnetka Heights

Building
Inspection:
Please see signed
drawings before
issuing permit:

Yes _____ No _____

Historic Planner's
Initials:

PROPOSED WORK:

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Paint the entire home. Colors: body Behr Jojoba N390-3m

Trim - Behr Polar Bear 75u, accent Behr Filter Moon M270-4M

Re-stain the front porch floor

Signature of Applicant: _____

Date: 5/19/21

Signature of Owner: _____

Date: _____

(IF NOT APPLICANT)

APPLICATION DEADLINE: JUN 03 2021

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON** (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

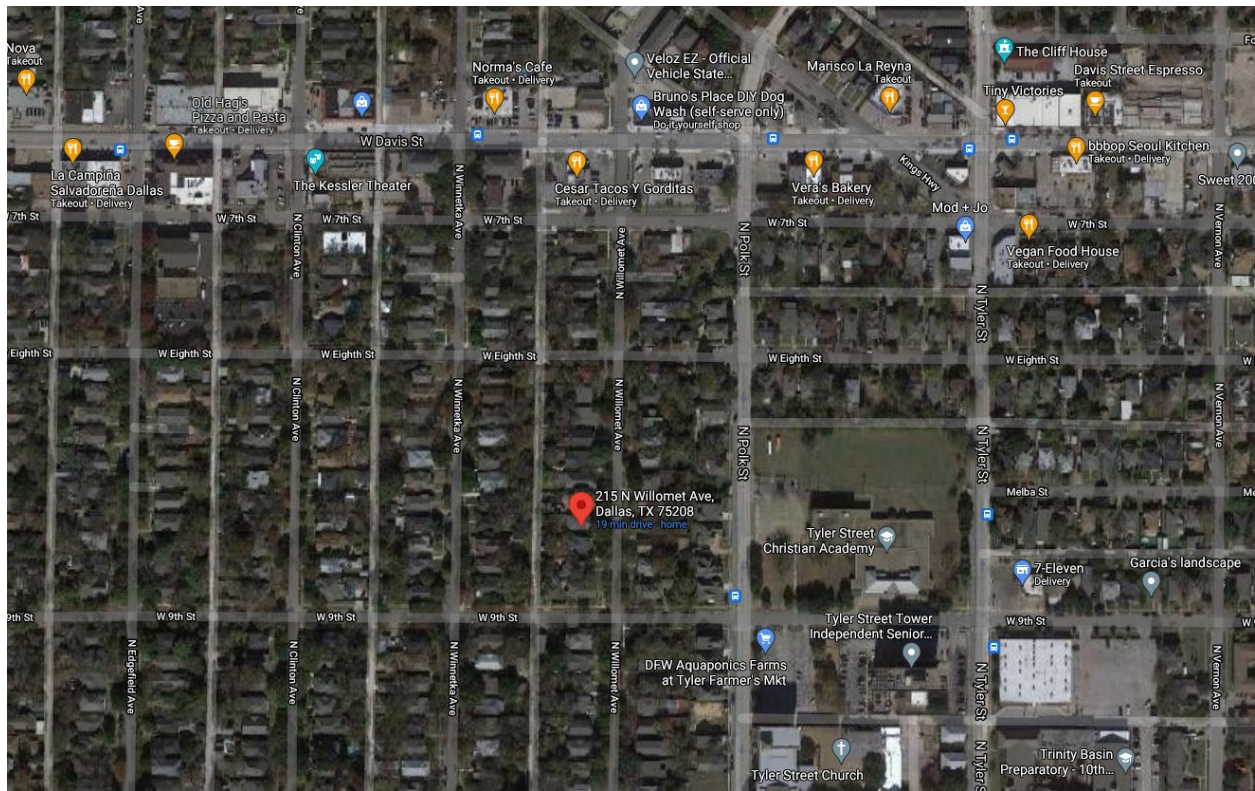
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408



Aerial image



Main Structure



Property adjacent to the right



Property adjacent to the left



View across N Willomet

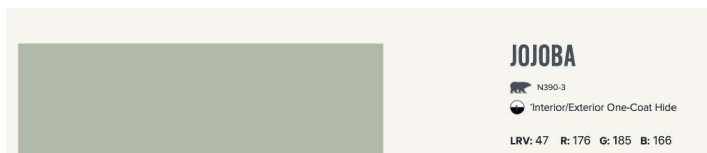


1-Trim
Polar Bear
Everything
yellow will be
Polar Bear Color
(off white)

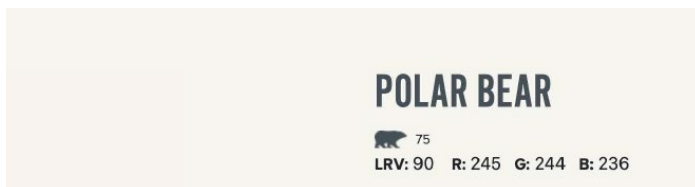
2-Body Color
Jojoba

3-Accent Color
All Red will be
Filtered Moon
(yellow)

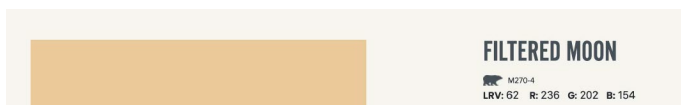
Color key



Main



Trim



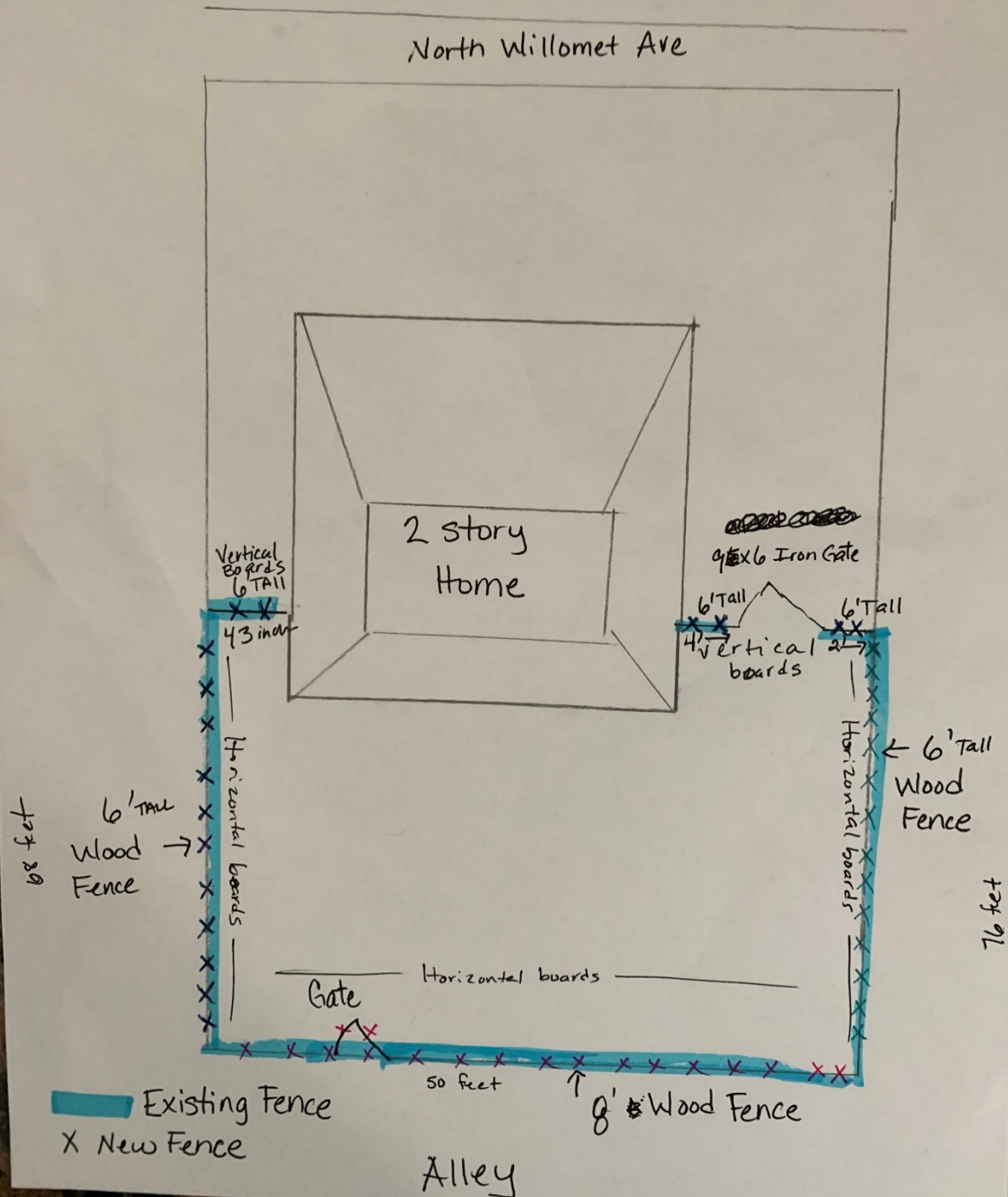
Accent

Proposed color scheme

CA201-480(MLP)

D7-7

215 N. Willomet Ave
Ginnette and Alfonso Correa



Proposed fencing



proposed fence style



proposed for street facing sections



proposed gate over driveway

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

NON-CONTRIBUTING STANDARDS:

Standards for noncontributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(ii)

The landmark commission must approve the application if it determines that:
(ii) for non-contributing structures:

The proposed work is compatible with the historic overlay district.

**A TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 06/09/2021

TIME: 5:30pm

MEETING PLACE: Virtual

APPLICANT NAME: Alfonso & Ginnette Correa

PROPERTY ADDRESS: 215 N Willomet

DATE of CA / CD REQUEST: 06/03/2021

RECOMMENDATION:

☐ Approval ☒ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

1. Provide another option showing vertical board fence design with finish side to the outside (visible to street/alley)
Option A Vertical has been provided and approved as submitted
Option B Horizontal owner wants to submit isn't allowed per ordinance
2. Colors approved as submitted
3. Provide photos of surrounding neighbor house color schemes

Task force members present

<input checked="" type="checkbox"/> Alfredo Pena	<input checked="" type="checkbox"/> Mia Ovcina	<input type="checkbox"/> Michelle Walker
<input checked="" type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Nicholas Dean	<input type="checkbox"/> VACANT (LC Resident)
<input checked="" type="checkbox"/> Jeff Cummings (Chair)	<input type="checkbox"/> Amber Teague	<input type="checkbox"/> VACANT (LC Alt)

Ex Officio staff members present ☒ Melissa Parent

Simple Majority Quorum: ☒ yes ☐ no

Maker: Mia

2nd: Fred

Task Force members in favor: all

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force	Jeff Cummings	DATE 06/09/2021
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The task force recommendation will be reviewed by the Landmark Commission on Monday, July 6, 2021 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**JULY 6, 2021**

FILE NUMBER: CA201-478(MLP)
LOCATION: 410 N Winnetka
STRUCTURE: Main & Accessory, Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87

PLANNER: Melissa Parent
DATE FILED: June 3, 2021
DISTRICT: Winnetka Heights
MAPSCO: 54-B
CENSUS TRACT: 0046.00

APPLICANT: Suzanne Haynes

OWNER: LUCERO KENNETH M

REQUEST:

- 1) Paint main and accessory structure. Brand: Sherwin Williams. Main: SW9178 "In The Navy." Gable shakes: SW6349 "Pennywise." Accent: SW7652 "Mineral Deposit." Trim: SW7007 "Ceiling Bright White."
- 2) Replace existing front doors with new craftsman wood doors and aluminum storm doors.
- 3) Install brick veneer pavers on concrete patio.

BACKGROUND / HISTORY:

The structure is listed as contributing to the Winnetka Heights Historic District.

PROJECT DESCRIPTION:

A proposal for a new color scheme on the main and accessory structure, replacement of front doors, and installation of brick veneers pavers on the front porch floor.

ANALYSIS:

While the proposed colors are complementary of each other, the palette does not adhere to the ordinance as it has too many colors and some of the colors proposed seem to compete with each other for dominant color. The proposal would see 2 main colors on the front façade – navy blue as the body color on the lower half of the structure and orange within the front gable.

Replacement of the front door is a compatible modification. The existing door is not original or compatible with the architectural style of the main structure. The new door is

much more appropriate and compatible in style with the structure and the district, and adheres to the ordinance.

Proposed application of brick veneer pavers as porch flooring is not appropriate for the style of architecture of the structure, nor is it compatible with the district. The main structure does not, and did not historically have any brick elements, and introducing this now would be considered conjectural. The porch is visible from the street, and addition of the brick veneer would be visually prominent against the grey concrete sidewalk and steps in the front yard.

STAFF RECOMMENDATION:

- 1) Paint main and accessory structure. Brand: Sherwin Williams. Main: SW9178 "In The Navy." Gable shakes: SW6349 "Pennywise." Accent: SW7652 "Mineral Deposit." Trim: SW7007 "Ceiling Bright White." - Denial without Prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with the preservation criteria for color in Section 51P-87.111(a)(8)(C) that states "All structures must have a dominant color and no more than two trim colors. The colors of a structure must be complementary of each other and the overall characteristic of the district."
- 2) Replace existing front doors with new craftsman wood doors and aluminum storm doors. - Approve drawings and specifications dated 6/7/2021 with the finding the proposed work is consistent with the criteria for windows and doors in the preservation criteria Section 51P-87.111(a)(17)(F)(iii) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 3) Install brick veneer pavers on concrete patio. - Denial without Prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with the preservation criteria for front entrances and porches in Section 51P-87.111(a)(11)(E) that states "Each main building must have a front porch or entry treatment with a shape, roof form, materials, and colors that are typical of the style and period of the building. A front entrance or porch must reflect the dominant horizontal or vertical characteristics of the main building."

TASK FORCE RECOMMENDATION:

- 1) Paint main and accessory structure. Brand: Sherwin Williams. Main: SW9178 "In The Navy." Gable shakes: SW6349 "Pennywise." Accent: SW7652 "Mineral Deposit." Trim: SW7007 "Ceiling Bright White." – Deny without Prejudice - Provide 3 colors, (1 Body, 2 Accent, 3 Trim). Provide Window color of Trim and Sash,. Consider not using the Pennywise for the gable this color seems like a heavy orange color that will weight heavy on the blue body, unless if this color is attempting to replicate a natural wood shake color, if so present actual paint to confirm this matches a natural shake color) Clarify colors selections.
- 2) Replace existing front doors with new craftsman wood doors and aluminum storm doors. - Door is approved as submittal

- 3) Install brick veneer pavers on concrete patio. – Deny without Prejudice - Brick Veneer not approved, clarify location, if this is the front then this is not approved for not being historically appropriate and not in character to the neighborhood

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 201 - 477 (MLP)
Office Use Only

Name of Applicant: Suzanne Haunes
Mailing Address: 410 N. Winnetka Ave.
City, State and Zip Code: Dallas, TX 75208
Daytime Phone: 214-803-7887 Alternate Phone: —
Relationship of Applicant to Owner: SELF

OFFICE USE ONLY

Main Structure:

☒ Contributing

☐ Non-contributing

PROPERTY ADDRESS: 410 N. WINNETKA AVE
Historic District: WINNETKA HEIGHTS

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

- Paint main structure & new shed once complete
- Replace front doors with craftsmans style wood door & storm door
- Replace existing roof
- Resurface concrete patio & install outdoor (2) Fans

Signature of Applicant: [Signature]

Date: 5/30/21

Signature of Owner: [Signature]

Date: 5/30/21

(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/870-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please **do not** release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes ☐ No

Office of Historic Preservation

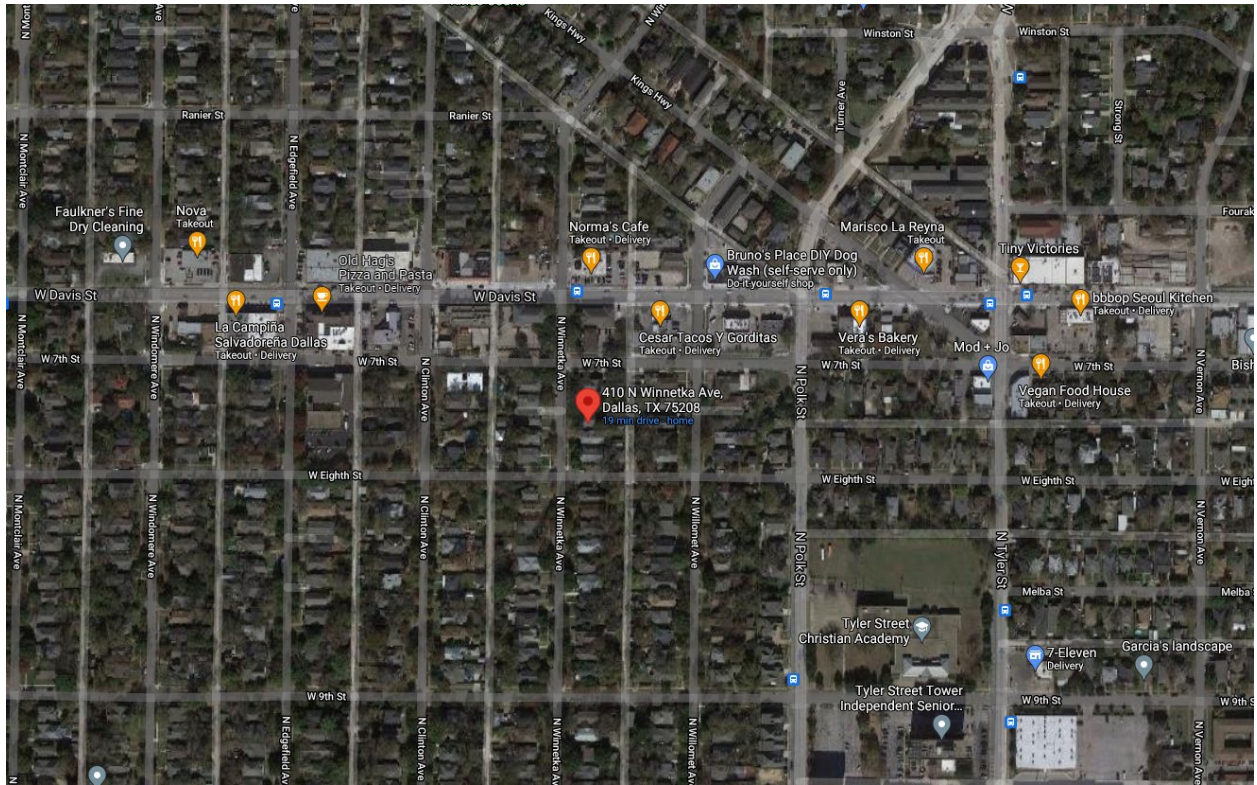
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 010220



Aerial image



Main Structure



Property adjacent to the right



Property adjacent to the left



View across N Winnetka

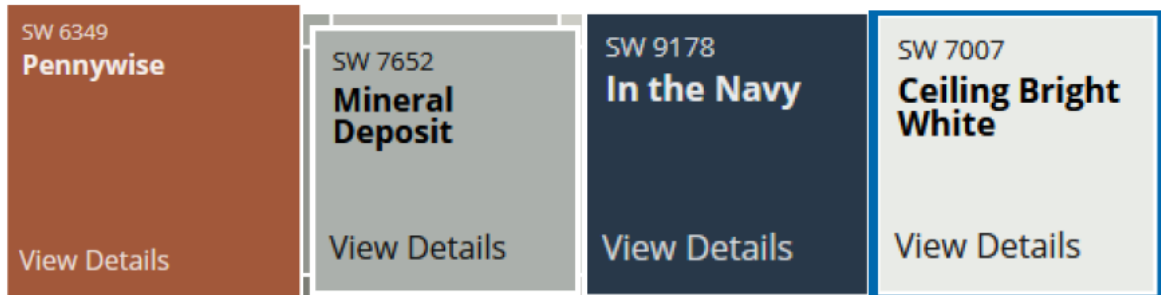
Paint Main Structures:

Gable End Shakes – Pennywise SW6349

Main Structure & New Shed : In the Navy SW9178

Trim: Mineral Deposit SW7652

Columns, Railings & Window Trim: Ceiling Bright White SW7007



Proposed colors



Existing colors



Existing door

Replace Current 36" X 84" Front Entry Door with Stained Wood Craftsman Style Door & Aluminum Retractable Screen Storm Door:



Proposed door

Resurface Concrete Patio with brick veneer paver:

Brick Size: Engineer Modular (EMD) [H 2 3/4" x L 7 5/8" x T 1 1/2"



Proposed brick for porch floor



Existing porch floor

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

Section 51P-87.111(a) Building placement, form, and treatment

(8) Color

(C) Dominant and trim colors. All structures must have a dominant color and no more than two trim colors. The colors of a structure must be complementary of each other and the overall characteristic of the district.

(11) Front entrances and porches.

(E) Style. Each main building must have a front porch or entry treatment with a shape, roof form, materials, and colors that are typical of the style and period of the building. A front entrance or porch must reflect the dominant horizontal or vertical characteristics of the main building.

(17) Windows and doors

(F) Style

(iii) All windows, doors, and lights in the front and side facades of the main building must be typical of the style and period of the building. Windows must contain at least two lights (window panes). Front doors must contain at least one light. Sidelights must be compatible with the front door.

CONTRIBUTING STANDARDS:

Standards for contributing structures: Dallas Development Code: No. 19455, Section 51A-4.501(g)(6)(C)(i):

The landmark commission must approve the application if it determines that:

(i) for contributing structures:

(aa) The proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;

(bb) The proposed work will not have an adverse effect on the architectural features of the structure;

(cc) The proposed work will not have an adverse effect on the historic overlay district; and

(dd) The proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

**A TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 06/09/2021

TIME: 5:30pm

MEETING PLACE: Virtual

APPLICANT NAME: Suzanne Haynes

PROPERTY ADDRESS: 410 N Winnetka

DATE of CA / CD REQUEST: 06/03/2021

RECOMMENDATION:

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

1. Provide 3 colors, (1 Body, 2 Accent, 3 Trim). Provide Window color of Trim and Sash.
Consider not using the Pennywise for the gable this color seems like a heavy orange color that will weight heavy on the blue body, unless if this color is attempting to replicate a natural wood shake color, if so present actual paint to confirm this matches a natural shake color) Clarify colors selections.
2. Door is approved as submittal
3. Brick Veneer not approved, clarify location, if this is the front then this is not approved for not being historically appropriate and not in character to the neighborhood
4. Provide more and clearer photos

Task force members present

<input checked="" type="checkbox"/> Alfredo Pena	<input checked="" type="checkbox"/> Mia Ovcina	<input type="checkbox"/> Michelle Walker
<input checked="" type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Nicholas Dean	<input type="checkbox"/> VACANT (LC Resident)
<input checked="" type="checkbox"/> Jeff Cummings (Chair)	<input type="checkbox"/> Amber Teague	<input type="checkbox"/> VACANT (LC Alt)

Ex Officio staff members present ☒ Melissa Parent

Simple Majority Quorum: ☒ yes ☐ no

Maker: Christine

2nd: Fred

Task Force members in favor: All

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force Jeff Cummings

DATE 06/09/2021

The task force recommendation will be reviewed by the Landmark Commission on Monday, July 6, 2021 via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.